

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
1237 6th Avenue North
April 19, 2017

Application: New construction - addition
District: Germantown Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 08209026700
Applicant: Michael Emrick, Architect
Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant proposes to construct a one-story side addition to the historic house.

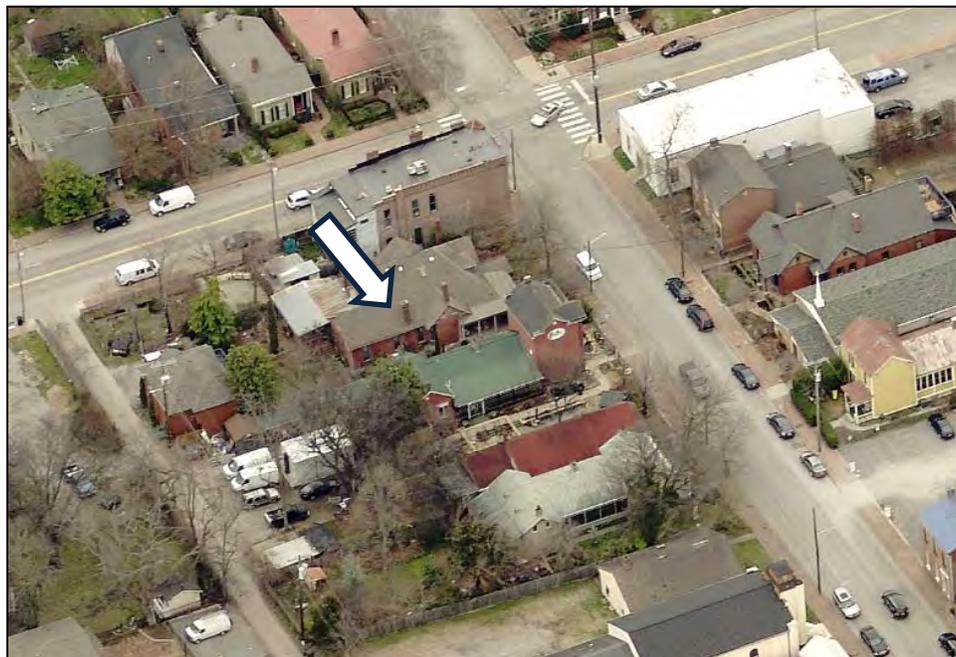
Recommendation Summary: Staff recommends approval of the proposed addition to 1237 6th Avenue North, finding it to meet the design guidelines for additions in the Germantown Historic Preservation Zoning Overlay.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

4.0 Additions

An ADDITION consists of an extension to an existing structure that increases the floor area or height of that structure.

4.1 General Principles

- 4.1.1 Guidelines apply only to the exteriors of new additions. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets – Generally facades facing the alley are not considered public facades. Non-public facades are those not visible from the public right of way, street or streets.*
- 4.1.2 The guidelines for Section 2 New Construction shall apply to all additions.

4.2 Additions to Historic Buildings

- 4.2.1 Additions should not obscure or contribute to the loss of historic character-defining features or materials.
- 4.2.2. Additions to existing historic buildings shall be compatible in scale, materials and texture; additions shall be visually compatible by not contrasting greatly with the existing historic building. Additions to historic buildings should be done in such a manner that, if such additions were to be removed in the future, the essential form and integrity of the original structure would not be impaired.
- 4.2.3 Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different exterior cladding.
- 4.2.4 The creation of an addition through enclosure of a front porch is not permitted. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.
- 4.2.5 contemporary designs for additions to existing historic properties may be permitted when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, material color, material, and character of the property, neighborhood, or environment.

7.0 Demolition

7.1 General Principles

- 7.1.1 Since the purpose of historic zoning is to protect historic properties, the demolition of a building that contributes historically and architecturally to the character and significance of the district is not appropriate and should be avoided.
- 7.1.2 Demolition is considered the removal of any structure or portion of a structure that affects the visual appearance of the building from the exterior. It includes the removal of floors or sections of the building that are enclosed by the original façade.

7.2 Guidelines

- 7.2.1 Demolition is not appropriate if a building or a major portion of a building contributes to the architectural or historical significance or character of the district.
- 7.2.2 Demolition is appropriate if a building or a major portion of a building does not contribute to the historical or architectural character and importance of the district.
- 7.2.3 Demolition is appropriate if a building or a major portion of a building has irretrievably lost its architectural and historical integrity and importance, and its removal will result in a more historically appropriate visual effect on the district.
- 7.2.4 Demolition is appropriate if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420, as amended, of the historic zoning ordinance.
- 7.2.5 Where demolition has been allowed, MHZC may require historic structures to be documented through photographs, a site plan and floor plans, and those significant architectural components of a building are salvaged.

Background: The building at 1237 6th Avenue North is a one-story brick house with late Victorian and Classical architectural features. The building, which was constructed circa 1900, contributes to the historic character of the overlay and the Germantown Historic National Register District.



Figure 1: Front of the house

Analysis and Findings: The applicant proposes to construct a one-story side addition to the historic house.

Demolition: The project would remove the two rear-most windows on the left side of the house, along with the original stone sills and several bricks below in order to convert the openings into doors. Because of their location at the rear, partly obscured behind a projecting bay and a wrap-around porch, Staff finds that these windows do not contribute significantly to the historic character of the building. Staff finds the partial demolition to meet section 7.2.2 of the design guidelines.

Location & Removability: The proposed addition will be on the left side of the building, approximately forty feet (40') back from the front edge. The new walls of the addition will connect to the side of the house leaving the existing side wall intact. The two window openings will be altered, but their locations will not be enclosed and the full wall will not be removed. Although side additions are generally not appropriate, Staff finds that the addition proposed for 1237 6th Avenue



Figure 2: Left/rear of home

North could be reversed without a substantial negative effect on the historic character of the building. Staff finds the project to meet section 4.2.2 of the design guidelines.

Design: The addition will closely resemble the original building's detailing, with matching materials and window proportions. Its minimal size in terms of footprint and height, as well as the location toward the rear, will assure that the addition does not affect the historic character of the building as seen from the street. Staff finds the addition to meet section 4.2.2 of the design guidelines.

Materials, Texture, and Details and Material Color: The addition will have a split-faced concrete block foundation, which is compatible with the existing stone foundation yet contemporary so as to differentiate it as new construction. The walls will be clad with brick to match the existing building's walls and the roof will be standing-seam metal to match the roof on the front porch. Staff finds the materials and details of the addition to be compatible with the existing house and to meet sections 4.2.2 and 4.2.3 of the Germantown design guidelines.

Roof: The addition will have a hipped roof with a pitch of 3:12. This form is typical of porches and bays on historic houses of this age and style. Staff finds the roof to meet section 4.2.2 of the design guidelines.

Proportion and Rhythm of Openings: The front, side, and rear walls of the addition will each have one lunette window, matching an original window on the left side of the historic house. Staff finds the windows to meet section 4.2.2 of the design guidelines

Recommendation: Staff recommends approval of the proposed addition to 1237 6th Avenue North, finding it to meet the design guidelines for additions in the Germantown Historic Preservation Zoning Overlay.



THE OFFICE OF MICHAEL EMRICK, R.A.

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30 March 2017

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HOLLINGS RESIDENCE

1229 Sixth Avenue North, Nashville, TN 37208

omemrick@
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Project: Bathroom addition at the rear of the south elevation

1. Drawings Submitted

1: Site Plan, bathroom plan, and elevation

2. Demolition

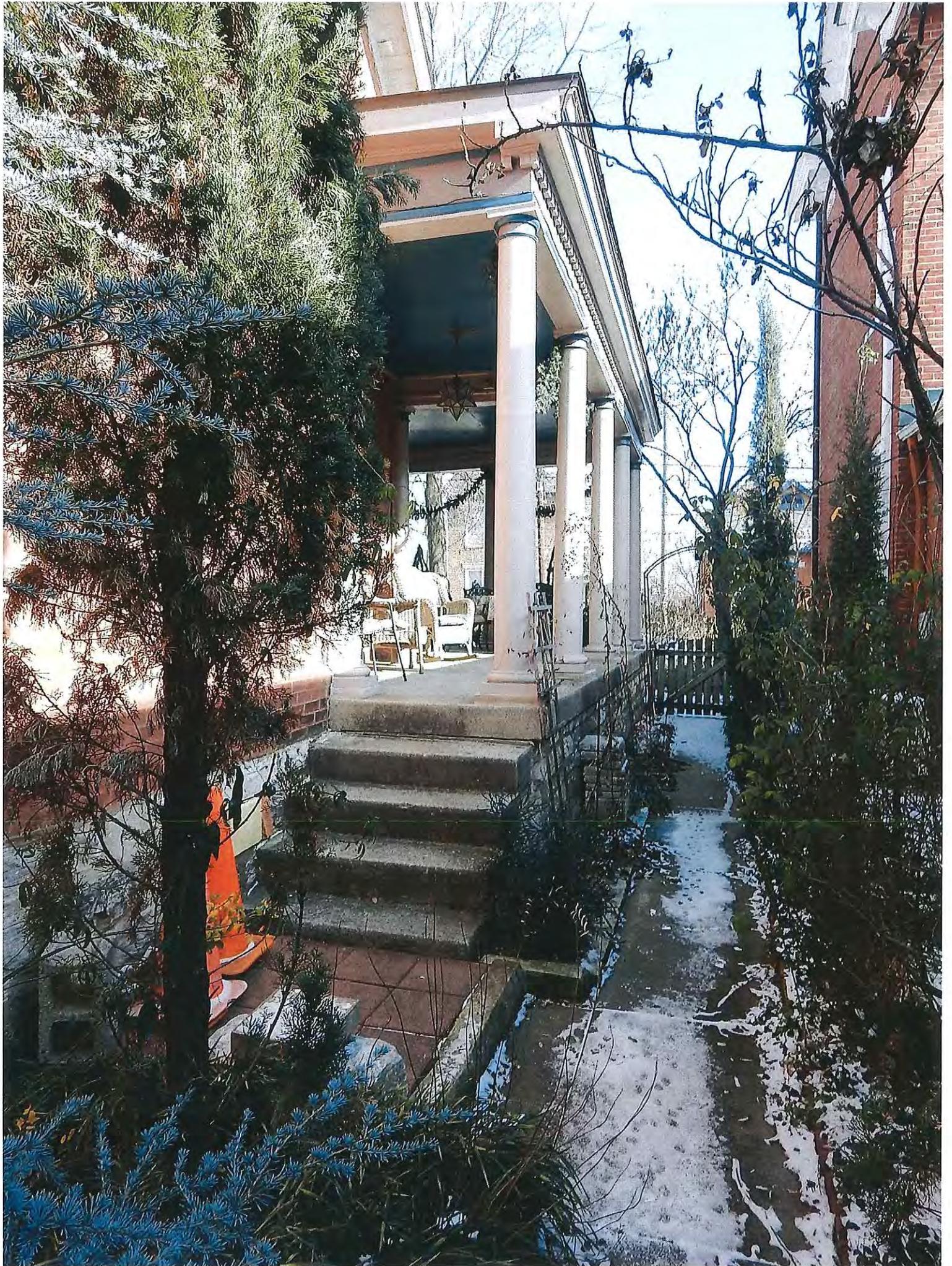
This will consist only of the replacement of two existing bedroom windows as doorways into the new addition.

3. Exterior materials:

- .1 Walls: Foundation: split-face CMU. Brick veneer, to match existing residence brick.
- .2 Roofing: Sheet metal (standing seam, which would match the front porch roofing.
- .3 Windows: Wood arched (3, one on each elevation.

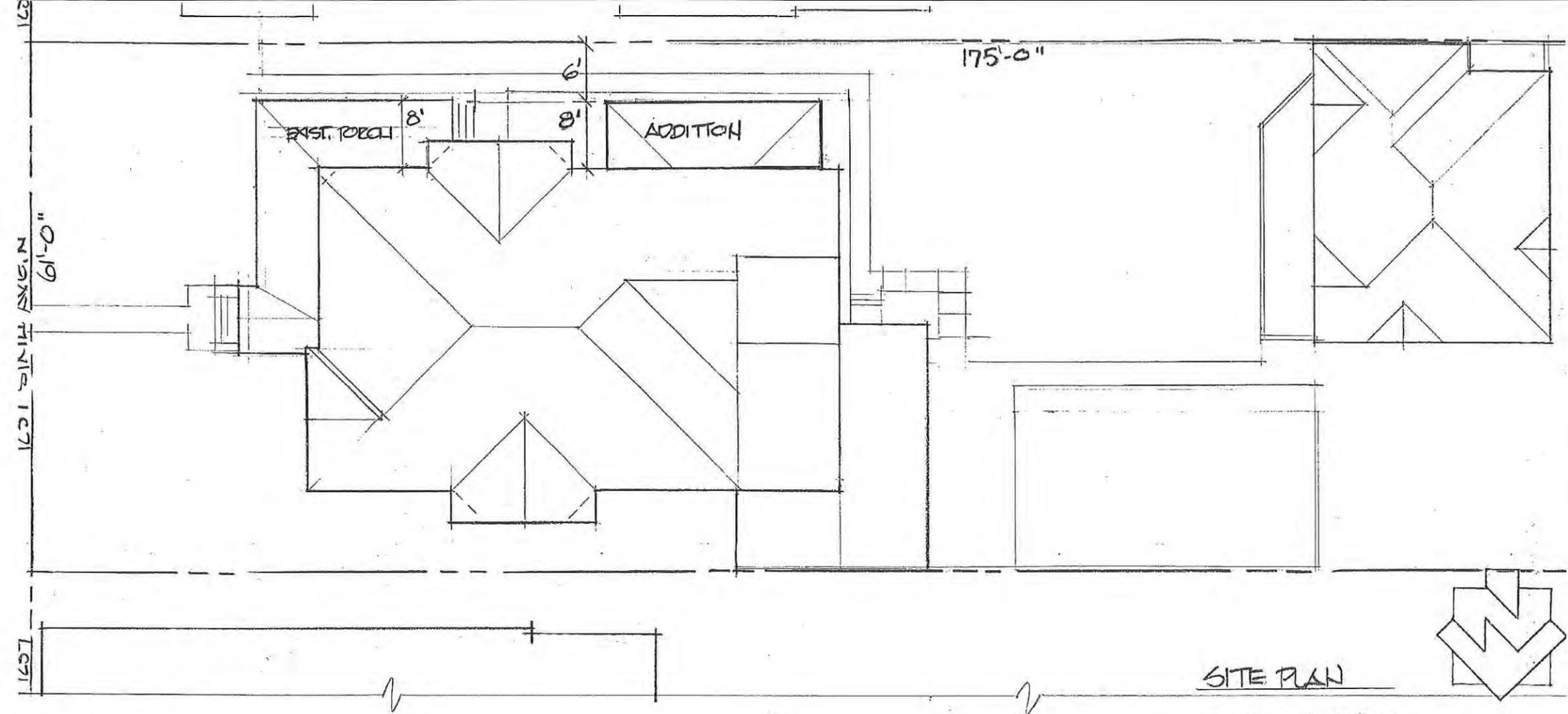
4. Photos

1. South elevation of the existing front porch looking towards the street.
2. View of rear section of the south elevation – dashed line indicates start of bathroom addition.
3. View from rear of the south elevation. Dashed line indicates the starting point (front) of the addition.









0-19
N 3/4 S 1/4 1 271

175'-0"

ADDITION

EXIST. REAR

8'

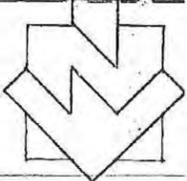
8'

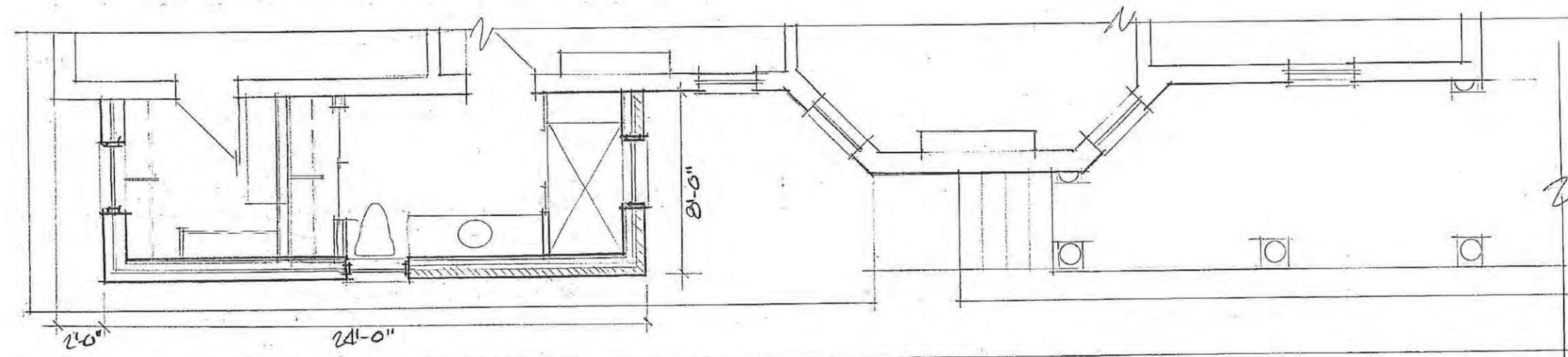
6'

1 271

SITE PLAN

SCALE: 1"=10'-0"





ADDITION TO THE HOLLING'S RESIDENCE
 1237 SIXTH AVE. N. / NASHVILLE

SCALE: 1/4" = 1'-0"

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