

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1319 Fourth Avenue North
April 19, 2017

Application: New construction – outbuilding; Setback determination
District: Germantown Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 08209017600
Applicant: Rob Williams
Project Lead: Paul Hoffman; paul.hoffman@nashville.gov

Description of Project: An application for an outbuilding with dwelling space behind the historic home, with a setback determination from twenty feet (20') to five feet (5') from the rear property line.

Recommendation Summary: Staff recommends approval of the new outbuilding and requested rear setback with the condition that Staff shall approve the final window and door selections as well as the color and texture of the roofing material prior to purchase and installation.
Staff finds that the proposed outbuilding meets section 2.9 of the design guidelines for an outbuilding in the Germantown Historic Preservation Zoning Overlay.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Applicable Design Guidelines:

2.0 New Construction within historic context

2.9 Outbuildings / Garages / Carports / Accessory Buildings

2.9.1 Historically, outbuildings, garages and carports were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide corner boards and window and door casings (trim).

2.9.2 Outbuildings, garages, carports and accessory buildings shall be located to the rear of the property. When a definite rhythm along a street/alley is established by uniform lot and building width, infill construction shall maintain that rhythm.

2.9.3 The predominant vehicular access to properties within the District should continue to be through the use of alleys. Garages and carports shall be accessed from the service alley as is typical for historic buildings in the district. For most residential lots new curb cuts on public streets are generally not appropriate. The removal of unnecessary existing curb cuts on primary streets is encouraged. It is acknowledged that in some cases alley access may not be possible or practical.

In this case, curb cuts and driveways at the public street should be minimized and the width of parking access should be limited. Curb cuts and driveways shall be located so they are visually less dominant.

2.9.4 The design of outbuildings, garages, carports and accessory buildings shall not be visually disruptive to the character of surrounding buildings.

2.9.5 The size and mass of outbuildings, garages, carports and accessory buildings in relation to open spaces and its windows and openings shall be visually compatible with the primary building and surrounding buildings.

2.9.6 Swimming pools are to be located in the rear yard or appropriately screened from view and set back from the street; fencing around swimming pools required by zoning ordinance must comply with these design guidelines.

2.9.8 Portable storage buildings less than 100 square feet are not reviewed by the MHZC.

Background: 1319 Fourth Avenue North is a contributing building in the Germantown Historic Preservation Zoning Overlay.

Analysis and Findings: The application is to construct an outbuilding with dwelling space at the rear of the lot. Despite the use the building is not considered a detached accessory dwelling unit (DADU) because of the mixed-use (MUN) zoning which allows for multi-family.

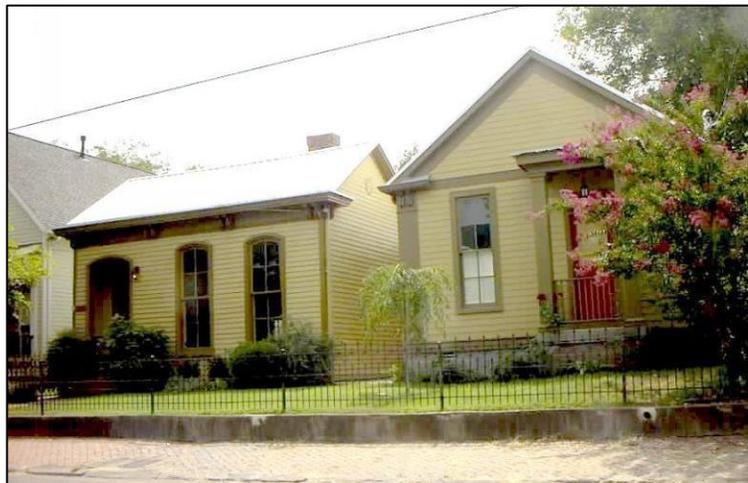


Figure 1. 1319 Fourth Avenue North

Location, Setback: The proposed outbuilding will be located at the rear of the property, approximately sixty-five feet (65') behind the house. The side setbacks are six feet, ten inches (6' 10") on the left and five feet (5') on the right. The bulk standards require a structure greater than seven hundred square feet (700 sq. ft.) to be twenty feet (20') from

the rear property line. This outbuilding is proposed at five feet (5') from the rear. Staff finds that the proposed setback determination is appropriate in this instance as outbuildings were historically located nearer to alleys than the current zoning requirements.

Site Planning:

| | MINIMUM | PROPOSED |
|---------------------------------------------------------|-------------------------------------|----------|
| Space between principal building and DADU/Garage | 20' | 65' |
| Rear setback | 20' | 5' |
| L side setback | n/a | 5' |
| R side setback | n/a | 6' 10" |
| How is the building accessed? | From the alley or existing curb cut | Alley |

Staff finds the location and setbacks of the proposed outbuilding to meet Sections 2.9.2 and 2.9.3 of the *Germantown Historic Overlay Design Guidelines*.

Height, Scale: The proposed outbuilding is one story with a ridge height of nineteen feet (19') and an eave height of nine feet, six inches (9' 6"). It will be subordinate to the principal building's overall height of twenty-one feet (21') and eave height of eleven feet (11'). The outbuilding consists of an enclosed portion with five hundred and sixty square feet (560 sq. ft.) and an attached carport which adds another three hundred and fifty-two square feet (352 sq. ft.). The covered porch is one hundred and twenty-seven square feet (127 sq. ft.) for a total covered footprint of one thousand and thirty-nine square feet (1,039 sq. ft.) which is less than half of the primary building's two thousand, two hundred and ninety-seven square feet (2,297 sq. ft.). Staff finds that the massing of the proposed outbuilding will be subordinate to the principal building and compatible with surrounding buildings.

| | Existing conditions (height of historic portion of the home to be measured from finished floor) | Proposed (should be the same or less than the lesser number to the left) |
|---------------------|----------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------|
| Ridge Height | 21' | 19' |
| Eave Height | 11' | 9.5' |

Therefore, Staff finds that the height and scale of the proposed outbuilding are appropriate and meet Section 2.9.5 of the *Germantown Historic Overlay Design Guidelines*.

Materials, Texture, and Details and Material Color: The proposed outbuilding will have a concrete slab-on-grade foundation with fiber-cement clapboard siding and a metal roof. The windows and doors will be aluminum-clad but details were not specified. Staff recommends having final approval of windows, doors and roofing color. Staff finds that the proposed materials are appropriate as they are common within the district.

Materials:

| | Proposed | Color/Texture | Approved Previously or Typical of Neighborhood | Needs Final Review |
|----------------------------|-------------------------|-----------------------------------|-------------------------------------------------------|---------------------------|
| Foundation | Concrete slab | Natural | Yes | |
| Cladding | Fiber-cement lap siding | Smooth with reveal matching house | Yes | |
| Roofing | Metal | | Yes | X |
| Trim | Cement fiber or wood | smooth | Yes | |
| Porch/Carport floor | Concrete slab | Natural | Yes | |
| Porch/Carport Posts | Wood | Not indicated | Yes | X |
| Porch Roof | Metal | | Yes | X |
| Windows | Aluminum clad wood | | Yes | X |
| Pedestrian Door | Aluminum clad | | Yes | X |

With conditions that Staff approves the windows, doors and roofing color prior to purchase and installation, the proposed outbuilding meets Section 2.9.1 of the *Germantown Historic Overlay Design Guidelines*.

Roof and Building Form: The outbuilding will have a side-gabled roof, a form that is common on outbuildings in the neighborhood historically. The primary roof has 9/12 pitch. The carport has 4/12 pitch. The porch has a lower-sloped shed roof with 3.5/12 pitch.

Roof Shape:

| Proposed Element | Proposed Form | Typical of district? |
|-------------------------|----------------------|-----------------------------|
| Primary form | Side-gable | Yes |
| Primary roof slope | 9/12 | Yes |
| Carport roof form | Side-gable | Yes |

| | | |
|--------------------|--------|-----|
| Carport roof slope | 4/12 | Yes |
| Porch form | Shed | Yes |
| Porch slope | 3.5/12 | Yes |

Staff finds the outbuilding’s roof form compatible with those of neighboring outbuildings and meets Sections 2.9.1 and 2.9.4 of the *Germantown Historic Overlay Design Guidelines*.

Proportion and Rhythm of Openings: The windows on the proposed outbuilding will be compatible with proportions or openings on historic buildings, which are generally twice as tall as they are wide. Staff finds the outbuilding’s proportion and rhythm of openings to meet Section 2.9.5. of the *Germantown Historic Overlay Design Guidelines*.

Recommendation: Staff recommends approval of the proposed outbuilding and setback determination with the condition:

1. Staff approve the final window and door selections as well as the color of the roofing material prior to purchase and installation.

Staff finds that the proposal meets the design guidelines for outbuildings in the Germantown Historic Preservation Zoning Overlay.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

GENERAL DESCRIPTION

PROJECT NAME: WILLIAMS STUDIO GARAGE/OUTBUILDING

PROJECT LOCATION: 1319 4TH AVENUE NORTH
NASHVILLE TN 37208

PROJECT SUMMARY: NEW CONSTRUCTION OF A 2 CAR CARPORT ATTACHED TO A 1 STORY OFFICE/STUDIO TO INCLUDE WOOD FRAME CONSTRUCTION, ALUMINUM CLAD WOOD DOORS AND WINDOWS, CEMENT FIBER CLAPBOARD SIDING WITH COMPOSITE WOOD TRIM, INTERIOR GYPSUM BOARD, HARDWOOD FLOORING, ELECTRICAL WIRING, MECHANICAL AND PLUMBING.

ZONING: MUN
PROPERTY IS WITHIN GERMANTOWN HISTORIC DISTRICT
PROPERTY IS WITHIN PHILLIPS JACKSON REDEVELOPMENT DISTRICT

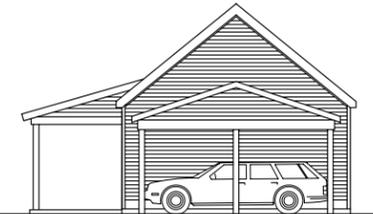
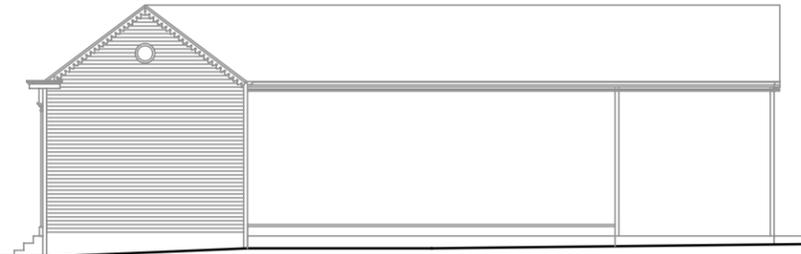
APPLICABLE CODES: 2006 INTERNATIONAL RESIDENTIAL CODE

CONSTRUCTION TYPE: IBC 2006 - TYPE V B

BUILDING OCCUPANCY:
PRIMARY RESIDENCE: EXISTING SINGLE FAMILY DWELLING UNIT
DETACHED OUTBUILDING:
CARPORT PRIVATE USE ONLY - DETACHED
1ST FLOOR STUDIO/ HOME OFFICE

GENERAL NOTES

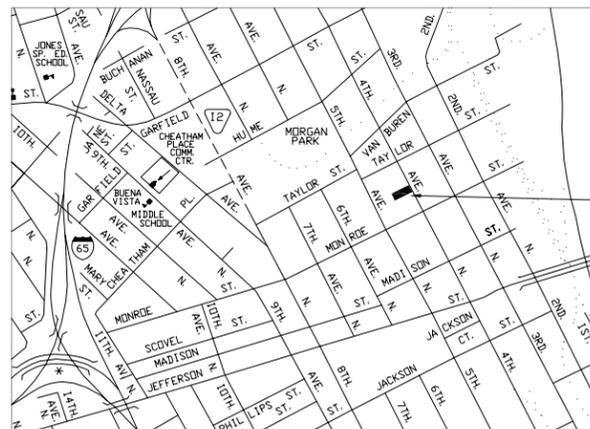
1. GENERAL CONTRACTOR TO SUBMIT WOOD FRAMING DESIGN SHOP DRAWINGS PREPARED BY STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TENNESSEE FOR NEW WALLS FLOORS AND ROOFS. SUBMIT TO OWNER FOR REVIEW BY DESIGN TEAM. DESIGN OF WOOD FRAMING SHALL BE IN ACCORDANCE WITH 2006 INTERNATIONAL RESIDENTIAL CODE.
2. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL, UNLESS NOTED OTHERWISE
3. LOCATE DOOR OPENINGS 4" FROM FINISHED FACE OF WALL (HINGE SIDE) UNLESS DIMENSIONED OTHERWISE
4. REFER TO ELEVATION SHEETS FOR WINDOW SCHEDULE - VERIFY ALL WINDOW ROUGH OPENING DIMENSIONS WITH MANUFACTURER PRIOR TO FRAMING OPENINGS.
5. REFER TO SHEET A0.3 FOR DOOR SCHEDULE
6. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF THE 2006 INTERNATIONAL RESIDENTIAL CODE: CRAWL SPACE WALL R-VALUE ≥ 10 (CONTINUOUS) / 13 (FRAMING CAVITY), WOOD FRAME WALL R-VALUE ≥ 13 , FLOOR R-VALUE ≥ 19 , CEILING R-VALUE ≥ 38 . FENESTRATION U-FACTOR $\geq .4$



DRAWING INDEX

DRAWINGS

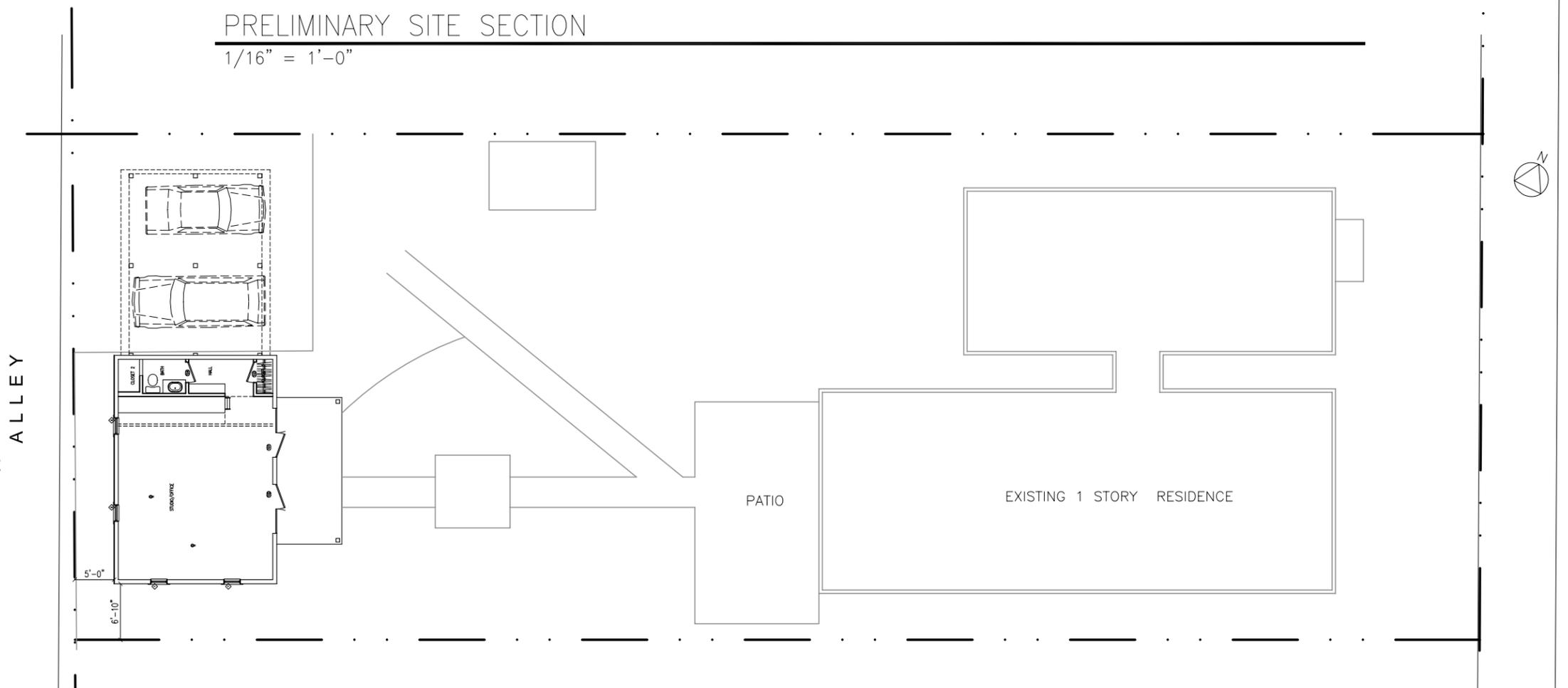
- A1.0 - SITE PLAN
- A1.1 - FOUNDATION PLAN
- A1.2 - 1ST FLOOR PLAN
- A1.3 - LOFT PLAN
- A1.4 - ROOF PLAN
- A1.5 - SCHEDULES
- A2.0 - ELEVATIONS
- A2.1 - ELEVATIONS
- A2.2 - ELEVATIONS
- A3.0 - BUILDING SECTION & INTERIOR ELEVATIONS
- A3.1 - BUILDING SECTION & INTERIOR ELEVATIONS
- A3.2 - SECTION DETAILS
- A3.3 - SECTION DETAILS
- A8.1 - REFLECTED CEILING PLAN
- A8.2 - REFLECTED CEILING PLAN



VICINITY MAP

PRELIMINARY SITE SECTION

1/16" = 1'-0"



PRELIMINARY SITE PLAN

1/16" = 1'-0"

DRAWING:

A1.0 PROJECT INFORMATION AND SITE PLAN

DATE 9-21-13

SCALE 1/16" = 1'-0"

ISSUE: ISSUE FOR PERMITTING/PRICING

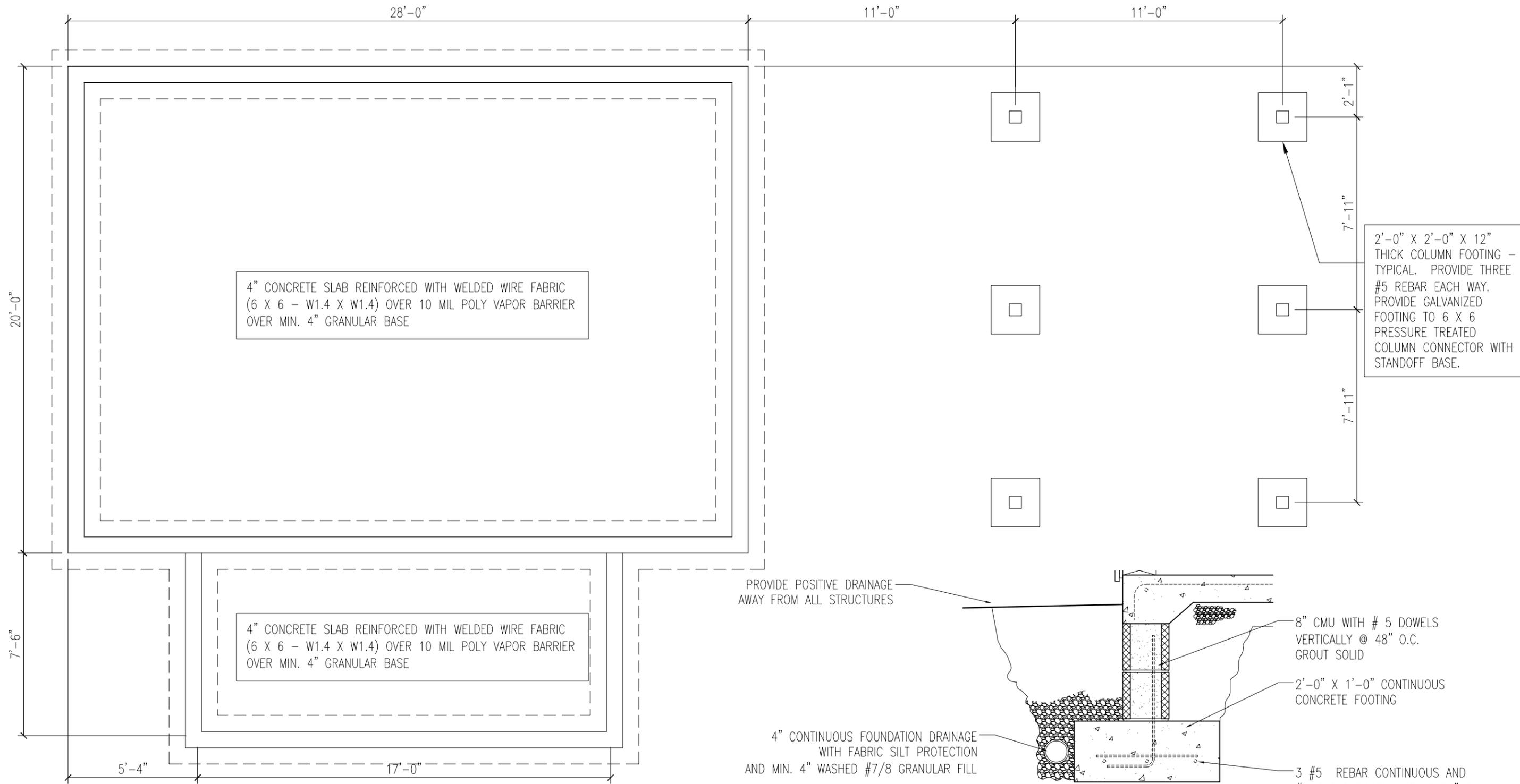
PROJECT:

WILLIAMS STUDIO

ADDITION OF DETACHED COVERED PARKING AND STUDIO
1319 4TH AVE NORTH
NASHVILLE TN 37208



BEN MOSLEY 1319 ADAMS STREET #200
NASHVILLE TN 37208 615-473-6795



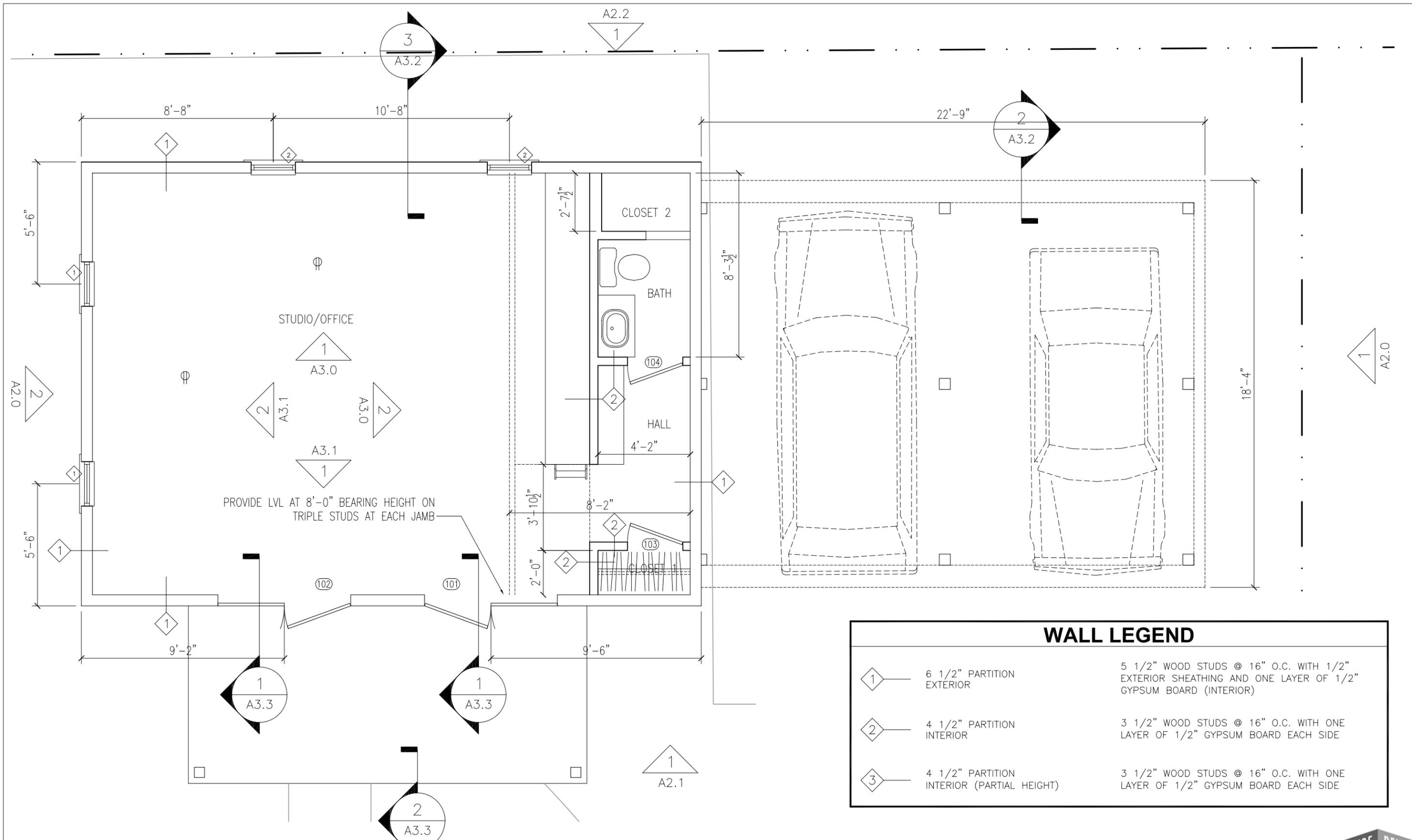
2 TYPICAL 8" FOUNDATION WALL
 3/4" = 1'-0"

DRAWING:
A1.1 FOUNDATION PLAN

DATE 9-21-13 SCALE 1/4" = 1'-0" ISSUE: ISSUE FOR PERMITTING/PRICING

PROJECT: **WILLIAMS STUDIO**
 ADDITION OF DETACHED COVERED PARKING AND STUDIO
 1319 4TH AVE NORTH
 NASHVILLE TN 37208

BEN MOSLEY ARCHITECTURE BEN MO
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| WALL LEGEND | |
|---------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>1 — 6 1/2" PARTITION EXTERIOR</p> <p>2 — 4 1/2" PARTITION INTERIOR</p> <p>3 — 4 1/2" PARTITION INTERIOR (PARTIAL HEIGHT)</p> | <p>5 1/2" WOOD STUDS @ 16" O.C. WITH 1/2" EXTERIOR SHEATHING AND ONE LAYER OF 1/2" GYPSUM BOARD (INTERIOR)</p> <p>3 1/2" WOOD STUDS @ 16" O.C. WITH ONE LAYER OF 1/2" GYPSUM BOARD EACH SIDE</p> <p>3 1/2" WOOD STUDS @ 16" O.C. WITH ONE LAYER OF 1/2" GYPSUM BOARD EACH SIDE</p> |

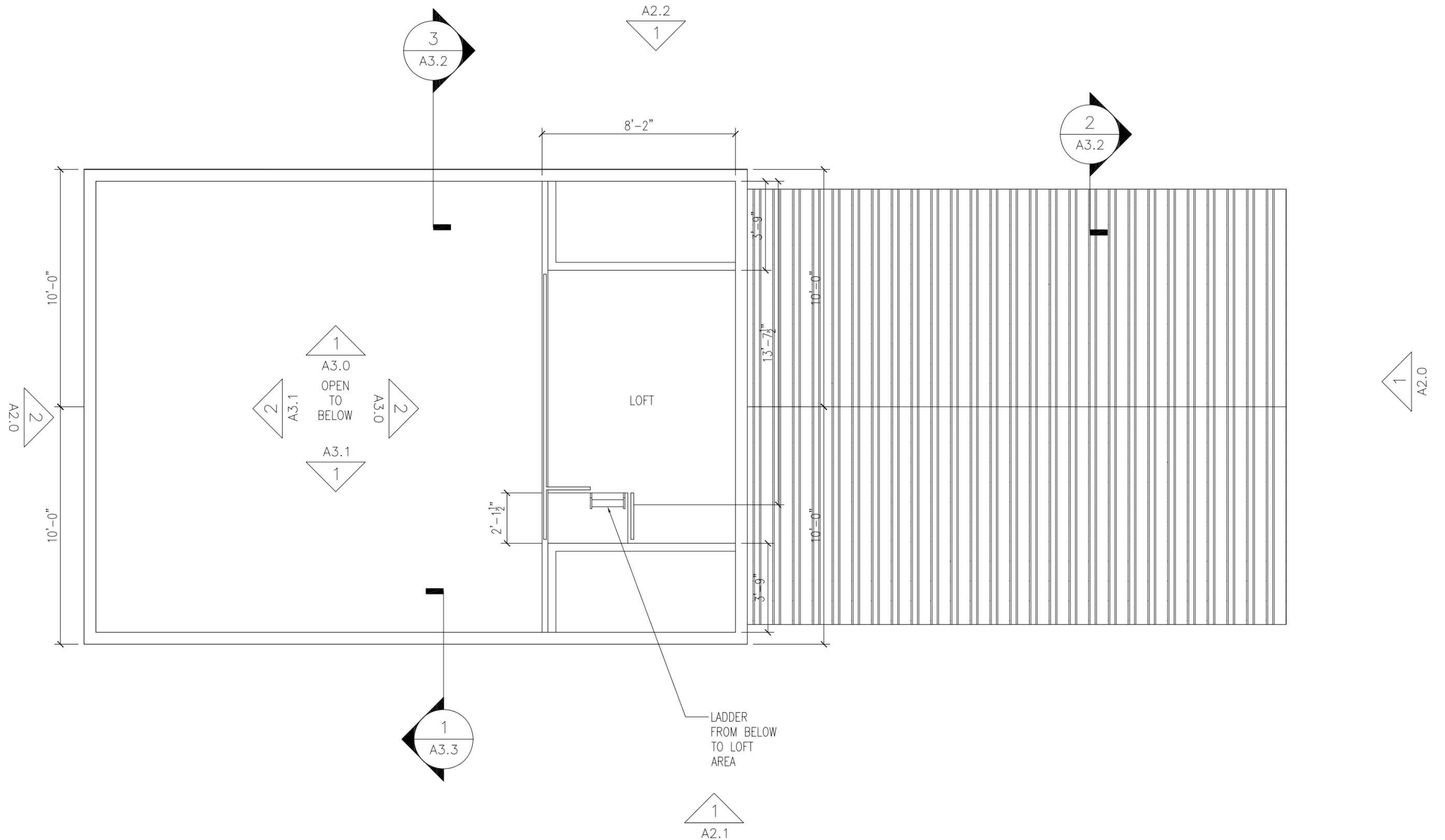
DRAWING:
A1.2 PLAN
 DATE 9-21-13

SCALE 1/4"=1'-0"

ISSUE: ISSUE FOR PERMITTING/PRICING

PROJECT: **WILLIAMS STUDIO**
 ADDITION OF DETACHED COVERED PARKING AND STUDIO
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DRAWING:

A1.3 LOFT PLAN

DATE 9-21-13

SCALE 1/4"=1'-0"

ISSUE: ISSUE FOR PERMITTING/PRICING

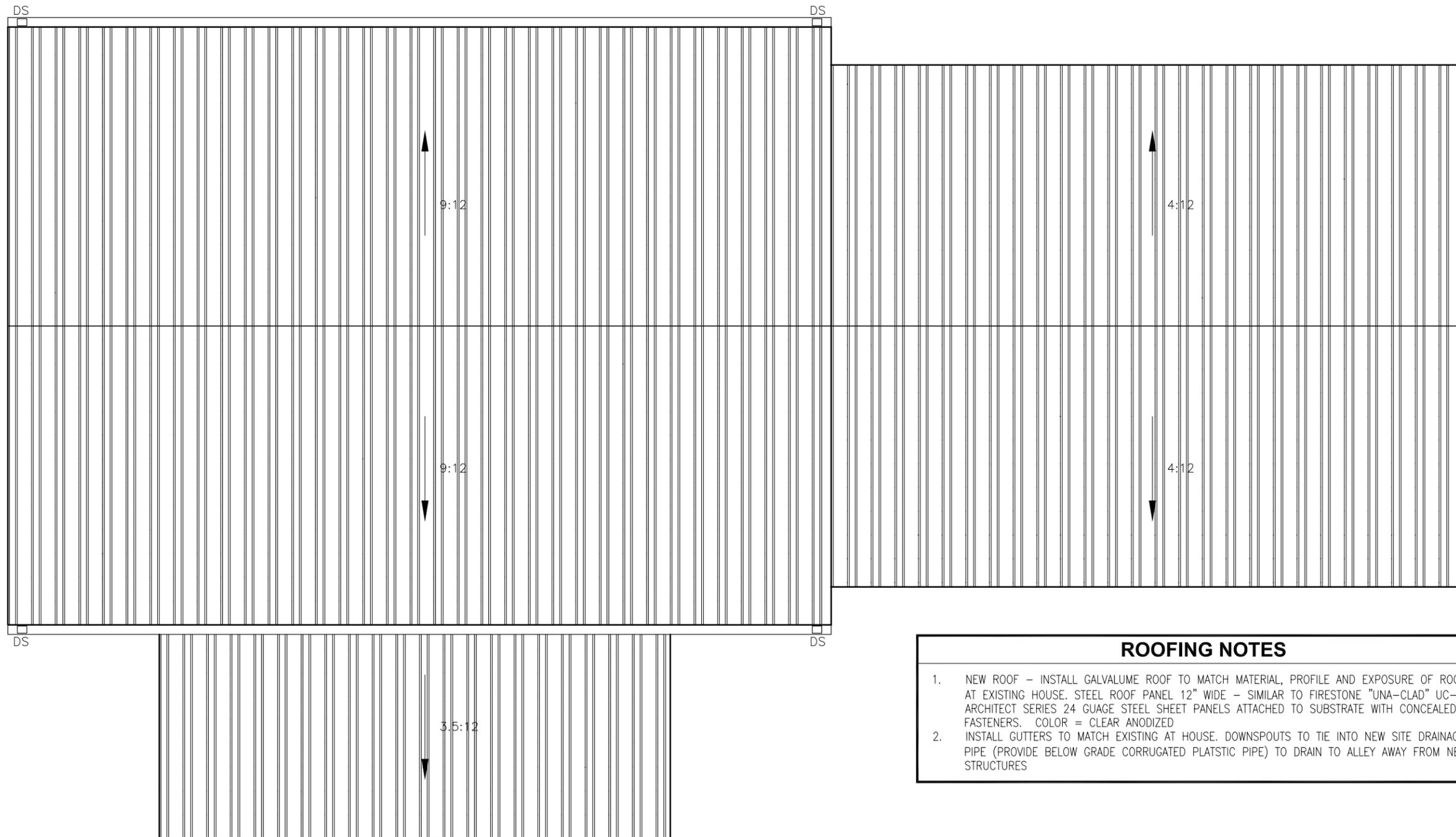
PROJECT:

WILLIAMS STUDIO

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 1319 4TH AVE NORTH
 NASHVILLE TN 37208



BEN MOSLEY 1319 ADAMS STREET #200
 NASHVILLE TN 37208 615-473-6795



- ROOFING NOTES**
1. NEW ROOF – INSTALL GALVALUME ROOF TO MATCH MATERIAL, PROFILE AND EXPOSURE OF ROOF AT EXISTING HOUSE. STEEL ROOF PANEL 12" WIDE – SIMILAR TO FIRESTONE "UNA-CLAD" UC-1 ARCHITECT SERIES 24 GAUGE STEEL SHEET PANELS ATTACHED TO SUBSTRATE WITH CONCEALED FASTENERS. COLOR = CLEAR ANODIZED
 2. INSTALL GUTTERS TO MATCH EXISTING AT HOUSE. DOWNSPOUTS TO TIE INTO NEW SITE DRAINAGE PIPE (PROVIDE BELOW GRADE CORRUGATED PLATSTIC PIPE) TO DRAIN TO ALLEY AWAY FROM NEW STRUCTURES

DRAWING:

A1.4 ROOF PLAN

DATE 9-21-13

SCALE 1/4"=1'-0"

ISSUE: ISSUE FOR PERMITTING/PRICING

PROJECT:

WILLIAMS STUDIO

ADDITION OF DETACHED COVERED PARKING AND STUDIO
 1319 4TH AVE NORTH
 NASHVILLE TN 37208



BEN MOSLEY 1319 ADAMS STREET #200
 NASHVILLE TN 37208 615-473-6795

| DOOR SCHEDULE | | | | | | | | | |
|---------------|----------------|--------|---------|------|----------|--------|---------|-------|-------|
| DOOR | | | | | | | | | NOTES |
| MARK | WIDTH X HEIGHT | THK | HEAD HT | TYPE | MATERIAL | FINISH | GLAZING | FRAME | |
| 101 | 2'-8" X 7'-0" | 1 3/4" | 7'-0" | A | AL CLAD | PAINT | 1/2 | WOOD | PAIR |
| 102 | 2'-8" X 7'-0" | 1 3/4" | 7'-0" | A | AL CLAD | PAINT | 1/2 | WOOD | PAIR |
| 103 | 2'-6" X 7'-0" | 1 3/8" | 6'-8" | C | SC WOOD | PAINT | - | WOOD | |
| 104 | 2'-6" X 7'-0" | 1 3/8" | 6'-8" | C | SC WOOD | PAINT | - | WOOD | |

NOTES:

1. ALL DOOR SILLS TO BE CLEAR ANODIZED ALUMINUM
2. WEATHER STRIPPING TO BE WHITE
4. INTERIOR HINGES (INSWING) TO BE BRUSHED NICKEL US15
5. ALL HARDWARE TO BE BRUSHED NICKEL (US15) TO MATCH EXISTING HARDWARE
6. SLIDING BARN DOOR HARDWARE TO BE STANDARD FLAT TRACK #402 STRAIGHT, COLOR = BLACK SEE BARNDOORHARDWARE.COM (888) 836-1944

| WINDOW SCHEDULE | | | | | |
|-----------------|--------------------|---------------|----------|----------|---------------------------------------------------|
| TAG | FRAME SIZE (W X H) | TYPE | TYPE | HEAD HT. | NOTES |
| 1 | 2'-0" X 5'-0" | AL. CLAD WOOD | DBL HUNG | 7'-0" | |
| 2 | 2'-0" X 2'-4" | AL. CLAD WOOD | CASEMENT | 7'-0" | LOFT WINDOWS MOUNTED AT 14'-0" ABOVE FINISH FLOOR |
| 3 | | | | | |
| 4 | | | | | |

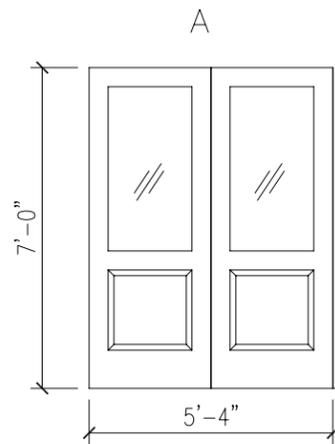
NOTES:

1. WINDOW HARDWARE OF NEW CONSTRUCTION TO BE BRUSHED NICKEL (US15)
2. PROVIDE LOW E INSULATED GLASS AT ALL WINDOWS INSTALLED AT CONDITIONED AREAS.

| FINISH LEGEND | | | |
|---------------|-----------------------------|------|------------------------------------|
| SC-1 | SEALED CONCRETE | WD-3 | 1 X 6 PINE T&G DECKING |
| CT-1 | TILE (6\$ PER SF ALLOWANCE) | WD-4 | 5/4" PRESSURE TREATED WOOD DECKING |
| WD-1 | HARDWOOD FLOOR (WHITE OAK) | PT | PAINT (REF. OWNER SELECTIONS) |
| WD-2 | 6" PRIMED WOOD BASE | | |

| FINISH LEGEND | | | | | |
|---------------|-------|------|------|---------|-------|
| ROOM NAME | FLOOR | BASE | WALL | CEILING | NOTES |
| STUDIO/OFFICE | SC-1 | WD-2 | PT | PT | |
| HALL | SC-1 | WD-2 | PT | PT | |
| CLOSET-1 | SC-1 | WD-2 | PT | PT | |
| CLOSET-2 | SC-1 | WD-2 | PT | PT | |
| BATHROOM | SC-1 | WD-2 | PT | PT | |
| PORCH | SC-1 | N/A | N/A | N/A | |
| LOFT | WD-1 | WD-2 | PT | PT | |

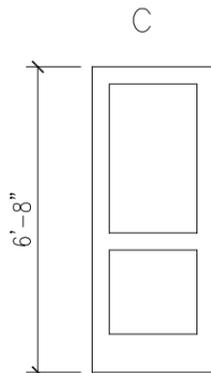
1. WOOD BASE 1 X 6 POPLAR PAINT GRADE - TYPICAL UNLESS NOTED OTHERWISE
2. DOOR WINDOW AND CASED OPENING HEAD CASING 1 X 6 MDF
3. DOOR WINDOW AND CASED OPENING JAMB AND SILL CASING 1 X 4 MDF



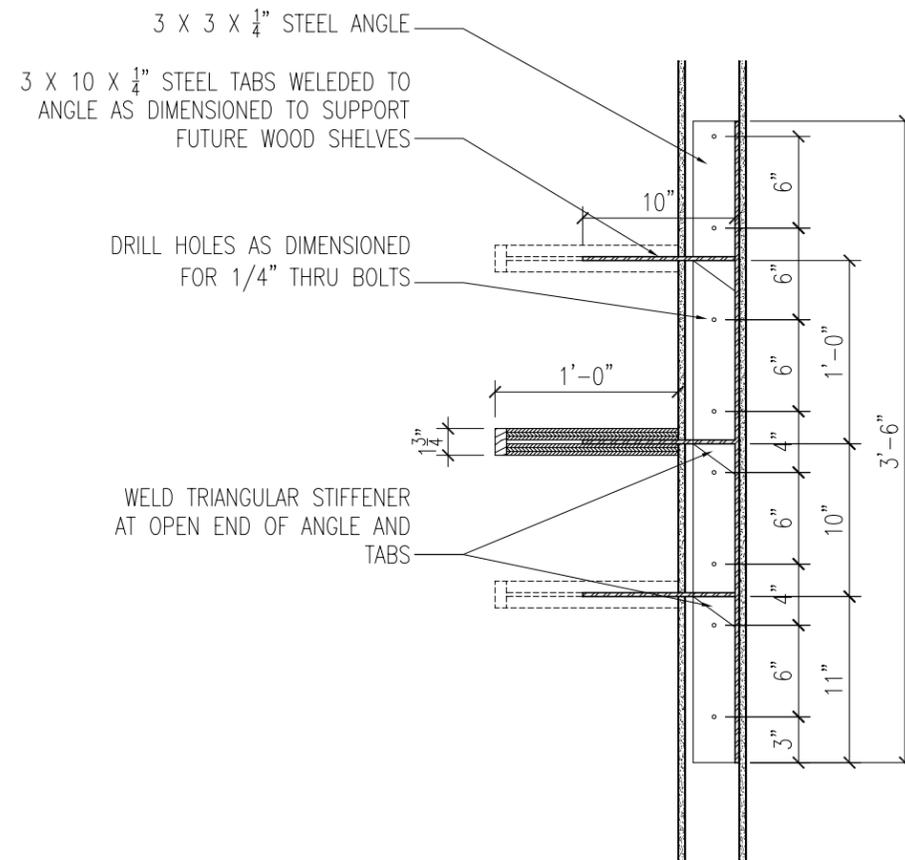
ALUM CLAD WOOD EXTERIOR DOOR
1/2 GLASS



NOT USED



INTERIOR
2 PANEL DOOR AS SELECTED
BY OWNER
SOLID CORE WOOD



1 FLOATING SHELF SUPPORT
1"=1'-0"

DRAWING:

A1.5 SCHEDULES

DATE 9-21-13

SCALE 1/4"=1'-0"

ISSUE: ISSUE FOR PERMITTING/PRICING

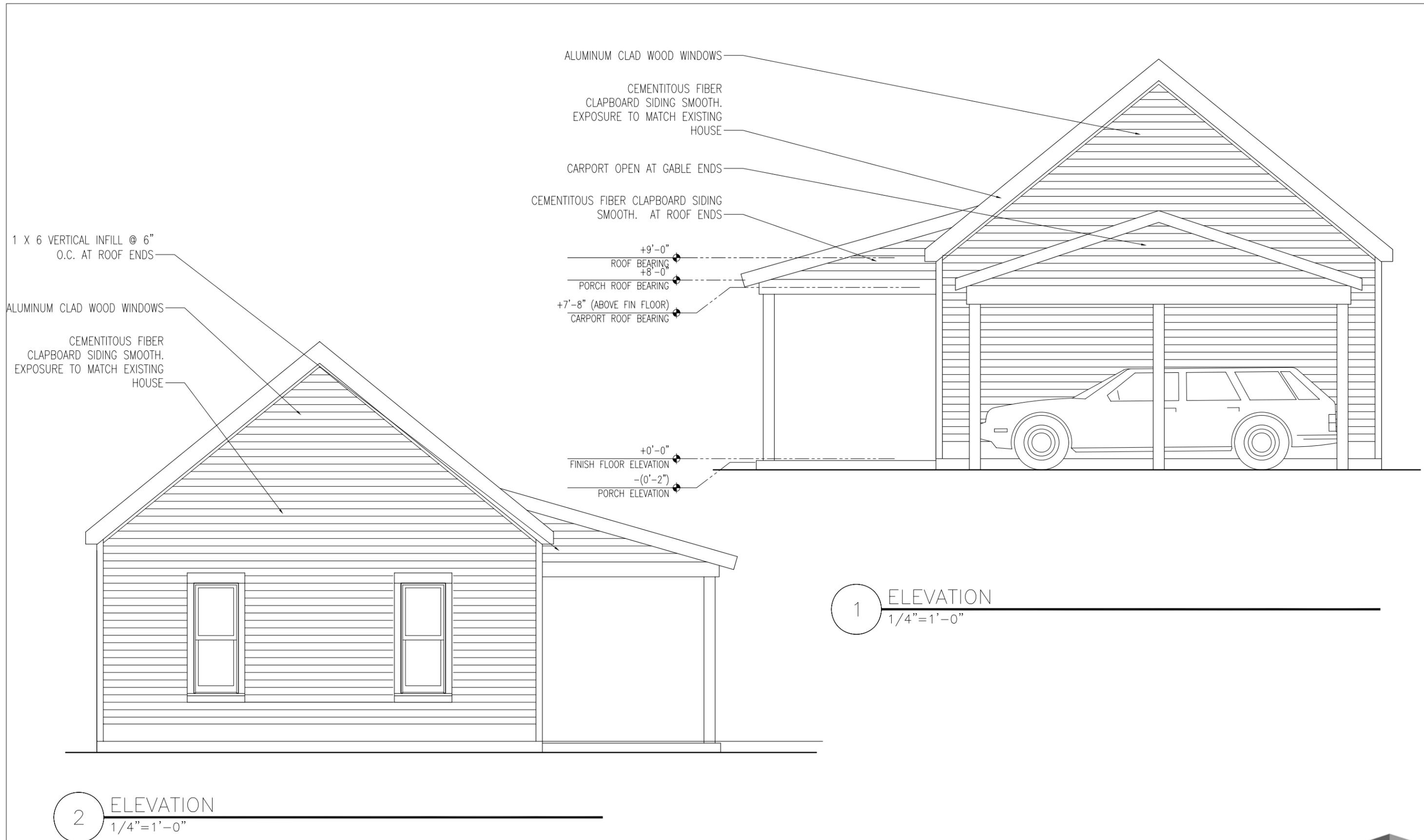
PROJECT:

WILLIAMS STUDIO

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BEN MOSLEY 1319 ADAMS STREET #200
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1 X 6 VERTICAL INFILL @ 6"
O.C. AT ROOF ENDS

ALUMINUM CLAD WOOD WINDOWS

CEMENTITIOUS FIBER
CLAPBOARD SIDING SMOOTH.
EXPOSURE TO MATCH EXISTING
HOUSE

ALUMINUM CLAD WOOD WINDOWS

CEMENTITIOUS FIBER
CLAPBOARD SIDING SMOOTH.
EXPOSURE TO MATCH EXISTING
HOUSE

CARPOT OPEN AT GABLE ENDS

CEMENTITIOUS FIBER CLAPBOARD SIDING
SMOOTH. AT ROOF ENDS

+9'-0"
ROOF BEARING
+8'-0"
PORCH ROOF BEARING
+7'-8" (ABOVE FIN FLOOR)
CARPORT ROOF BEARING

+0'-0"
FINISH FLOOR ELEVATION
-(0'-2")
PORCH ELEVATION

1 ELEVATION
1/4"=1'-0"

2 ELEVATION
1/4"=1'-0"

DRAWING:

A2.0 NORTH & SOUTH ELEVATION

DATE 9-21-13

SCALE 1/4"=1'-0"

ISSUE: ISSUE FOR PERMITTING/PRICING

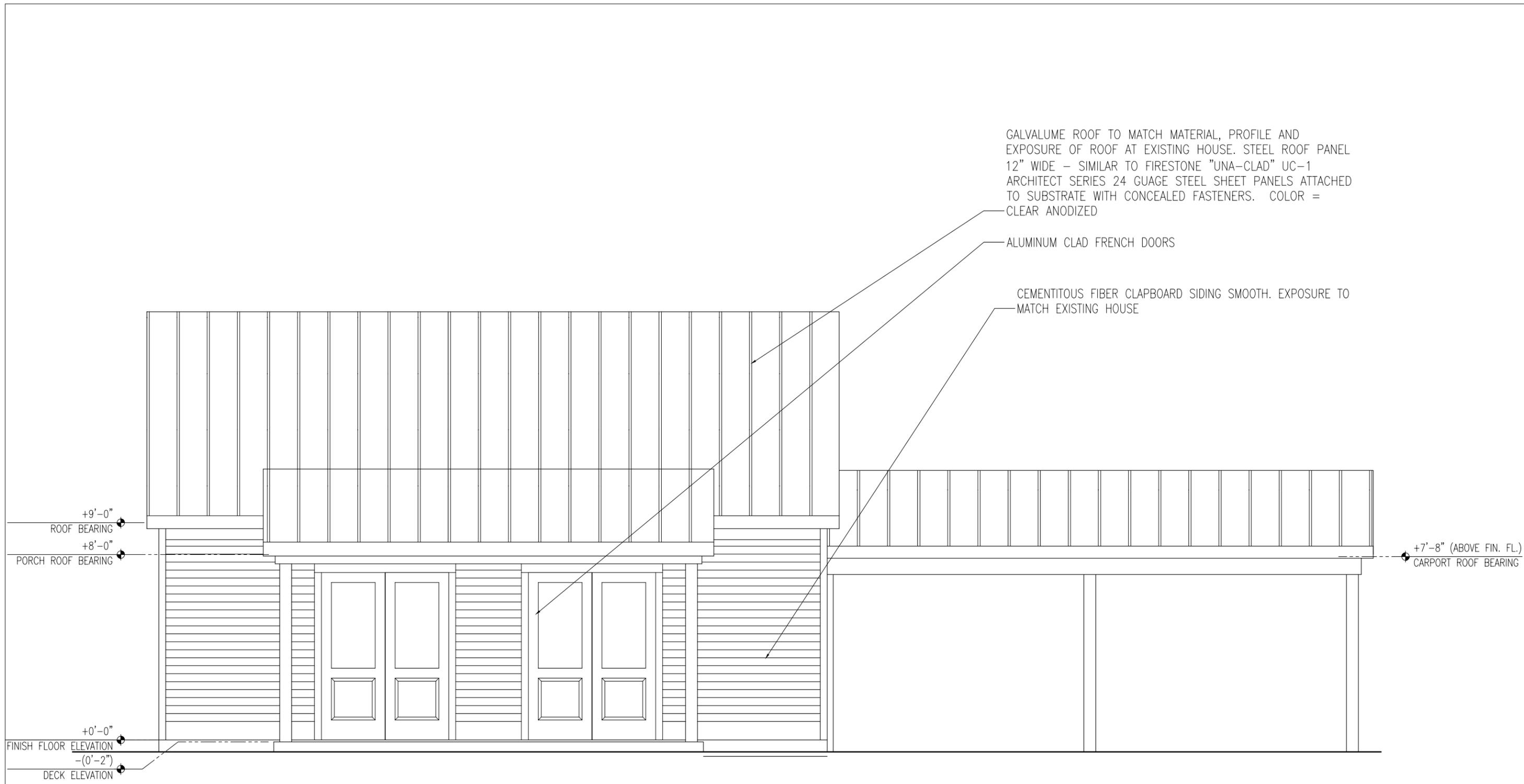
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GALVALUME ROOF TO MATCH MATERIAL, PROFILE AND EXPOSURE OF ROOF AT EXISTING HOUSE. STEEL ROOF PANEL 12" WIDE - SIMILAR TO FIRESTONE "UNA-CLAD" UC-1 ARCHITECT SERIES 24 GAUGE STEEL SHEET PANELS ATTACHED TO SUBSTRATE WITH CONCEALED FASTENERS. COLOR = CLEAR ANODIZED

ALUMINUM CLAD FRENCH DOORS

CEMENTITIOUS FIBER CLAPBOARD SIDING SMOOTH. EXPOSURE TO MATCH EXISTING HOUSE

+9'-0"
ROOF BEARING

+8'-0"
PORCH ROOF BEARING

+0'-0"
FINISH FLOOR ELEVATION

-0'-2"
DECK ELEVATION

+7'-8" (ABOVE FIN. FL.)
CARPORT ROOF BEARING

1 ELEVATION
1/4" = 1'-0"

DRAWING:
A2.1 EAST ELEVATION
DATE 9-21-13 SCALE 1/4" = 1'-0"

ISSUE: ISSUE FOR PERMITTING/PRICING

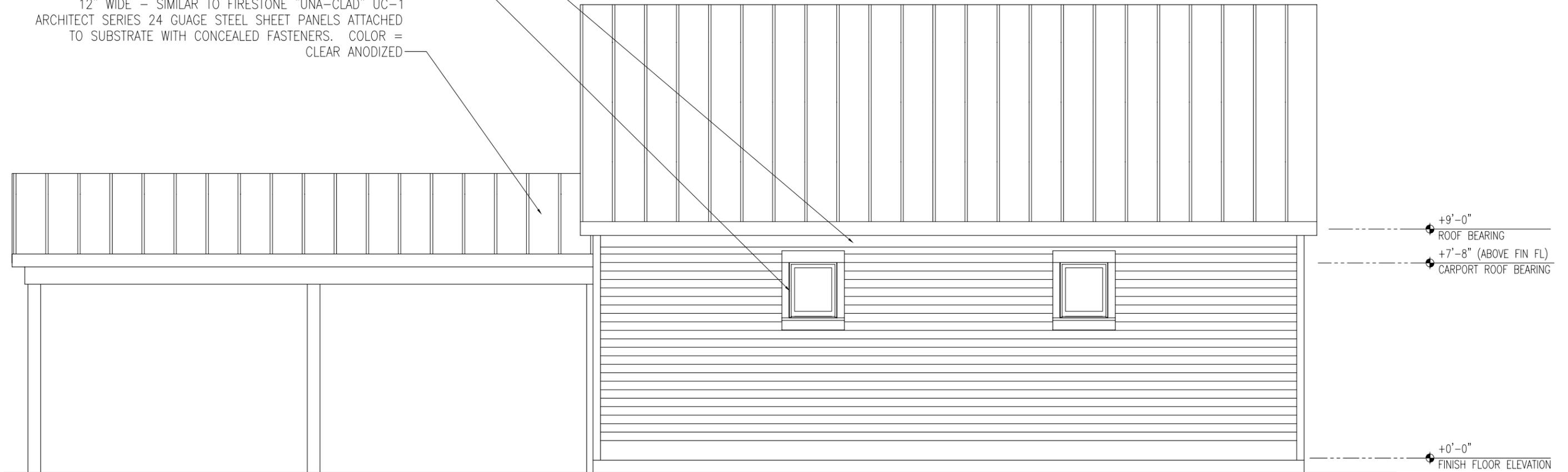
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BEN MOSLEY ARCHITECTURE BEN M
BEN MOSLEY 1319 ADAMS STREET #200
NASHVILLE TN 37208 615-473-6795

CEMENTITIOUS FIBER CLAPBOARD SIDING SMOOTH. EXPOSURE TO MATCH EXISTING HOUSE

ALUMINUM CLAD WOOD WINDOWS

GALVALUME ROOF TO MATCH MATERIAL, PROFILE AND EXPOSURE OF ROOF AT EXISTING HOUSE. STEEL ROOF PANEL 12" WIDE - SIMILAR TO FIRESTONE "UNA-CLAD" UC-1 ARCHITECT SERIES 24 GAUGE STEEL SHEET PANELS ATTACHED TO SUBSTRATE WITH CONCEALED FASTENERS. COLOR = CLEAR ANODIZED



1 ELEVATION
1/4" = 1'-0"

DRAWING:

A2.2 WEST ELEVATION

DATE 9-21-13 SCALE 1/4" = 1'-0"

ISSUE: ISSUE FOR PERMITTING/PRICING

PROJECT:

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3
A3.2

PAINTED DRYWALL CEILING

FALSE BEAM

INSTALL STEEL ANGLE SUPPORTS @
32" O.C. (QTY 5) WITH STEEL PLATE
TABS THRU WALL FINISH TO
SUPPORT FUTURE OWNER FURNISHED
FLOATING SHELVES. SEE 1/A5.1 FOR
DETAIL.

BASE CABINETS
AND COUNTER TOP
BY OWNER

1 INTERIOR ELEVATION
1/4"=1'-0"

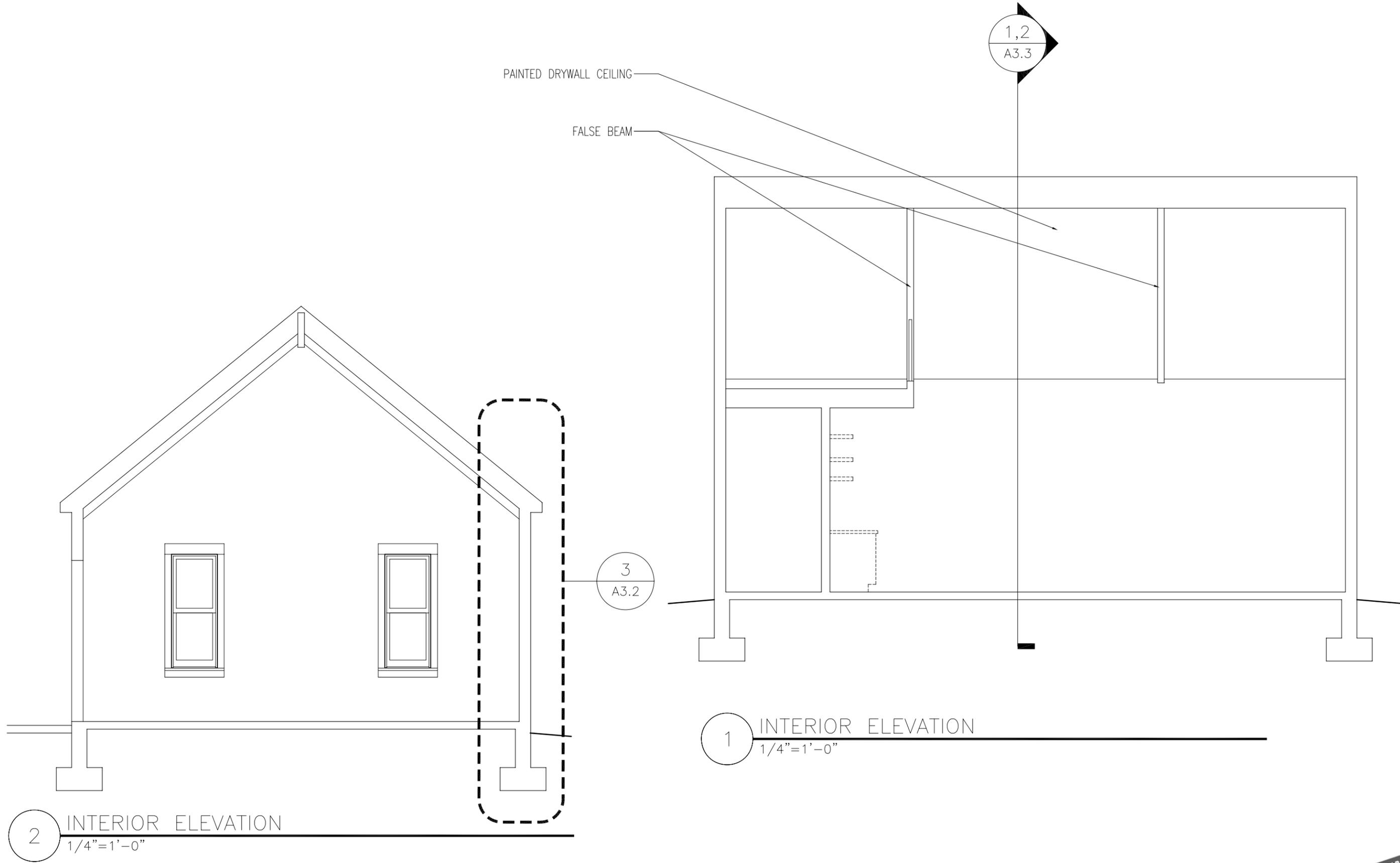
2 INTERIOR ELEVATION
1/4"=1'-0"

DRAWING:
A3.0 SECTION/INTERIOR ELEVATIONS

DATE 9-21-13 SCALE 1/4"=1'-0" ISSUE: ISSUE FOR PERMITTING/PRICING

PROJECT: **WILLIAMS STUDIO**
ADDITION OF DETACHED COVERED PARKING AND STUDIO
1319 4TH AVE NORTH
NASHVILLE TN 37208

BEN MOSLEY ARCHITECTURE BEN M
BEN MOSLEY 1319 ADAMS STREET #200
NASHVILLE TN 37208 615-473-6795



DRAWING:

A3.1 SECTION/INTERIOR ELEVATIONS

DATE 9-21-13

SCALE 1/4" = 1'-0"

ISSUE: ISSUE FOR PERMITTING/PRICING

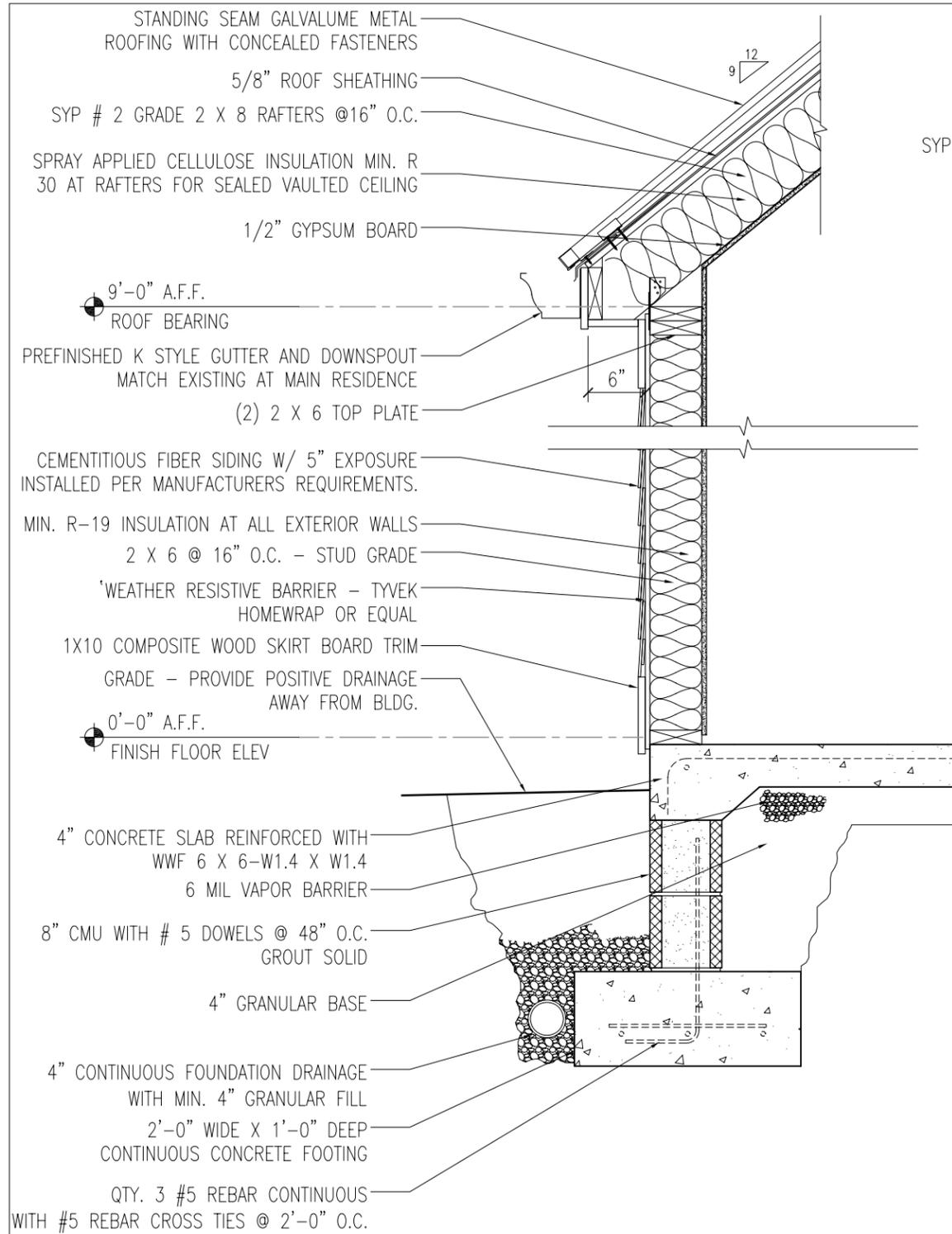
PROJECT:

WILLIAMS STUDIO

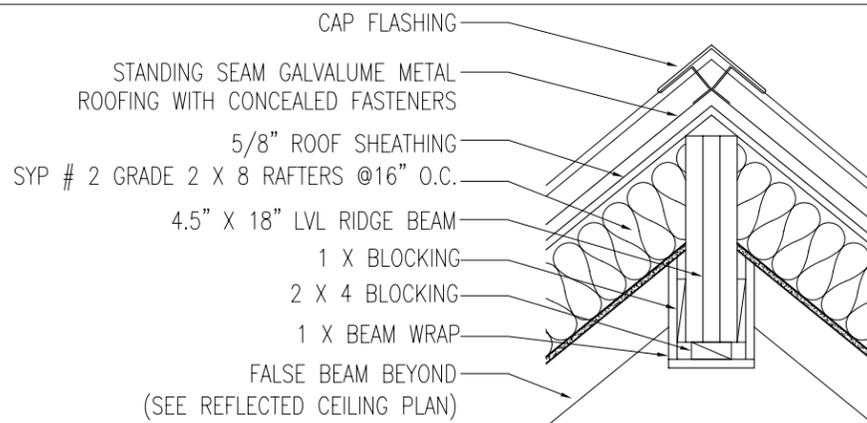
ADDITION OF DETACHED COVERED PARKING AND STUDIO
 1319 4TH AVE NORTH
 NASHVILLE TN 37208



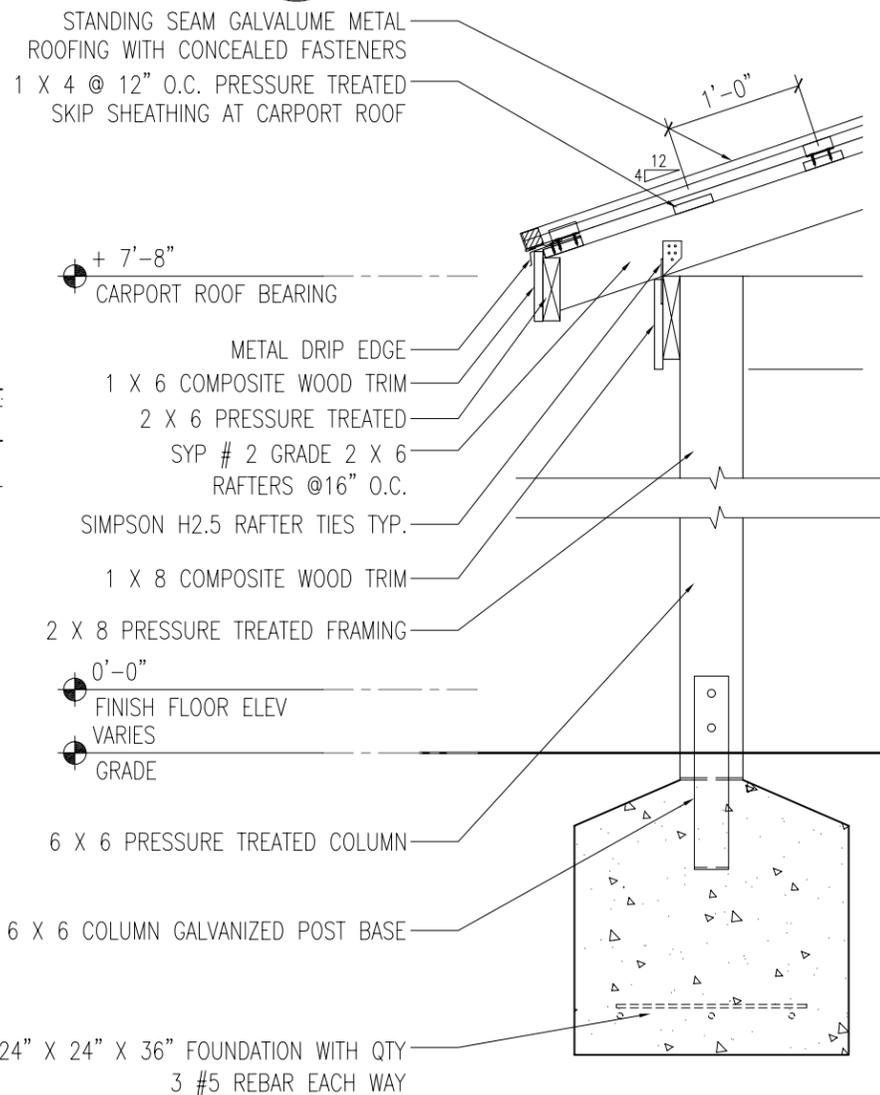
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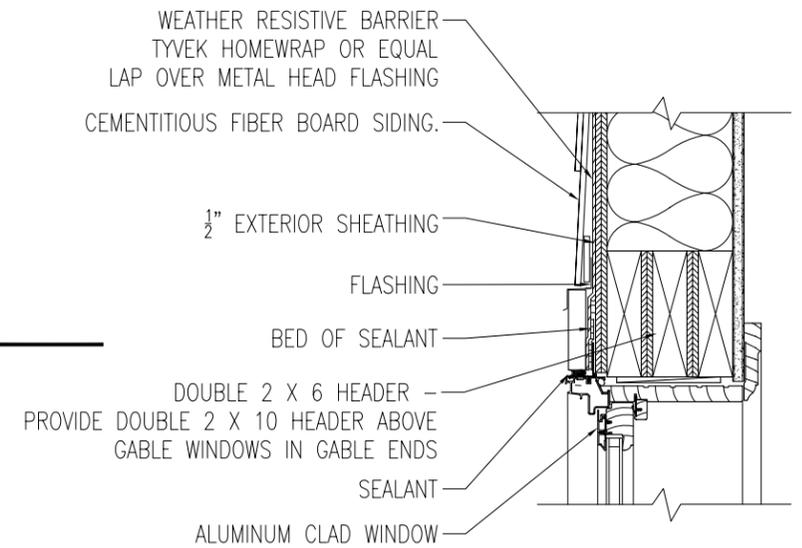
3 TYPICAL WALL SECTION
3/4" = 1'-0"



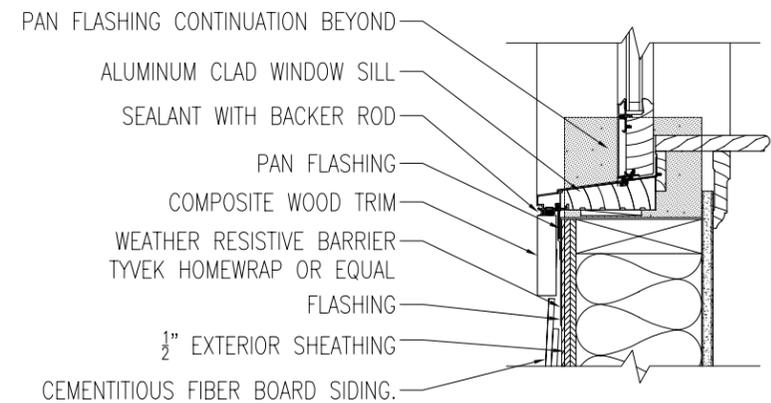
5 RIDGE BEAM DETAIL
1 1/2" = 1'-0"



2 TYPICAL CARPORT COLUMN AND ROOF EDGE
3/4" = 1'-0"



4 TYPICAL WINDOW HEAD DETAIL
1 1/2" = 1'-0"



1 TYPICAL WINDOW SILL DETAIL
1 1/2" = 1'-0"

DRAWING:

A3.2 WALL SECTIONS

DATE 9-21-13 SCALE

ISSUE: ISSUE FOR PERMITTING/PRICING

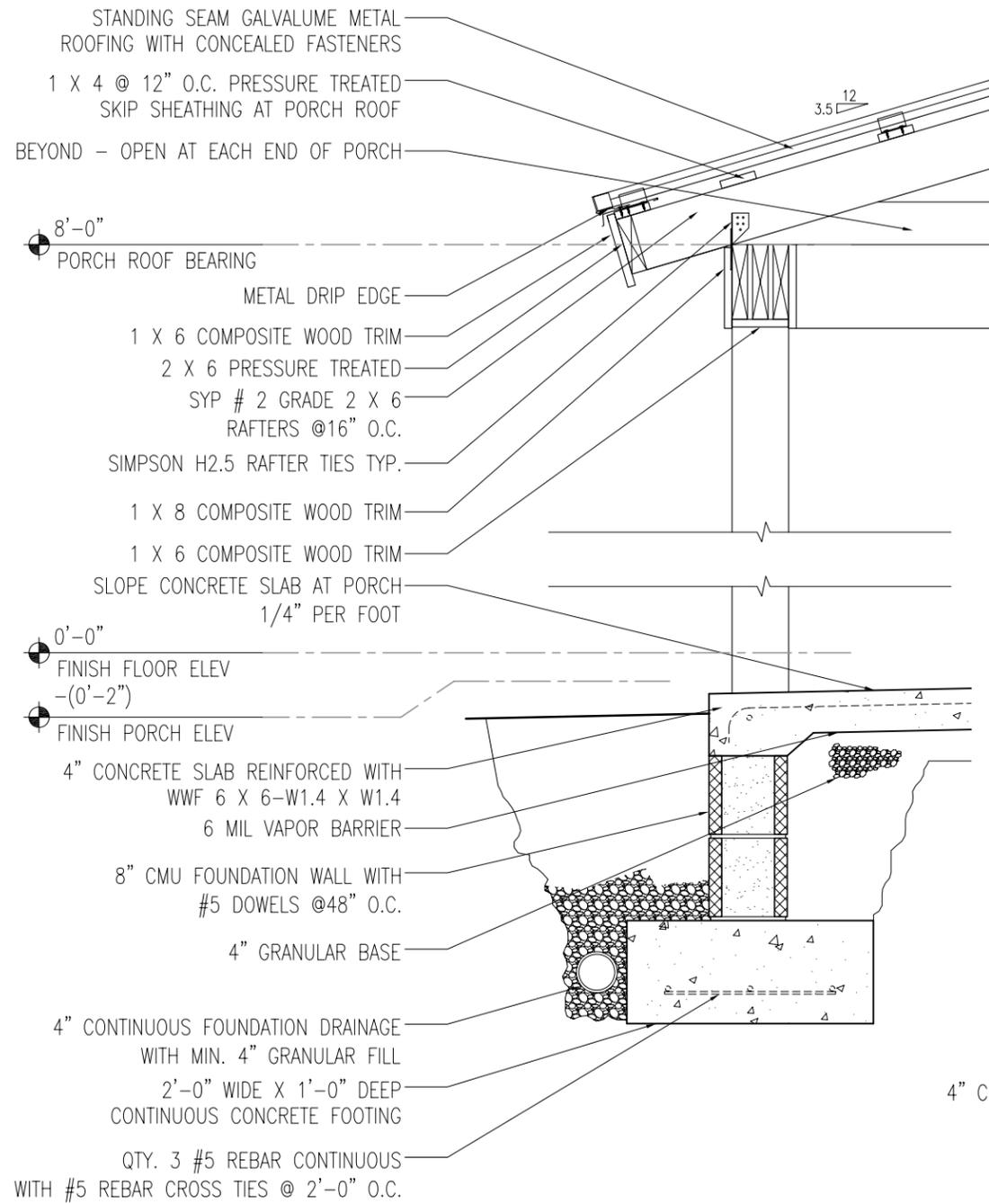
PROJECT:

WILLIAMS STUDIO

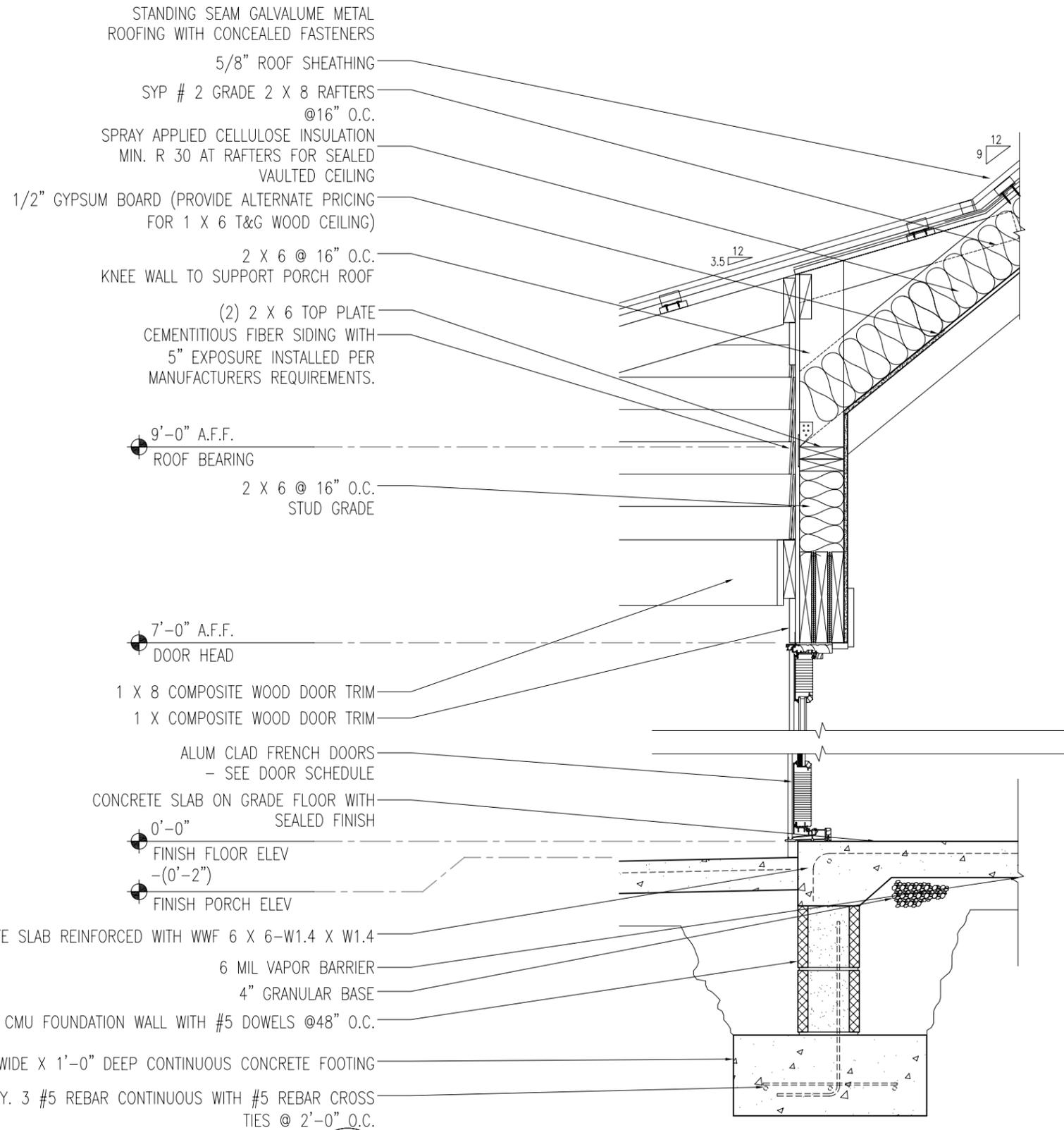
ADDITION OF DETACHED COVERED PARKING AND STUDIO
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2 PORCH COLUMN AND ROOF EDGE
3/4" = 1'-0"



1 WALL SECTION @ COVERED PORCH/SLIDING DOOR
3/4" = 1'-0"

DRAWING:

A3.3 WALL SECTIONS

DATE 9-21-13 SCALE 3/4" = 1'-0"

ISSUE: ISSUE FOR PERMITTING/PRICING

PROJECT:

WILLIAMS STUDIO

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MECHANICAL NOTES

1. PROVIDE WALL MOUNT DUCTLESS MECHANICAL UNIT CENTERED BETWEEN WINDOWS ON WEST WALL OF STUDIO SPACE. VERIFY FINAL LOCATION AND MOUNTING HEIGHT WITH OWNER.

CEILING HT LEGEND

- A** 8'-0"
- B** OPEN TO ABOVE
- C** SLOPES WITH STRUCTURE

CEILING NOTES

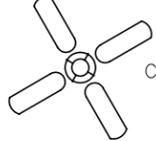
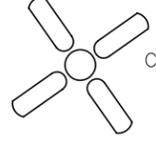
1. CEILING HEIGHTS ARE REFERENCED FROM FINISHED FLOOR ELEVATION RELATIVE TO THE SPACE INDICATED
2. ALL CEILINGS ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE
3. UNLESS NOTED OR DIMENSIONED OTHERWISE CENTER FIXTURES IN SPACE INDICATED
4. REFERENCE OWNER PROVIDED SELECTION SHEET FOR FIXTURE SELECTIONS AND INFORMATION

ELECTRICAL NOTES

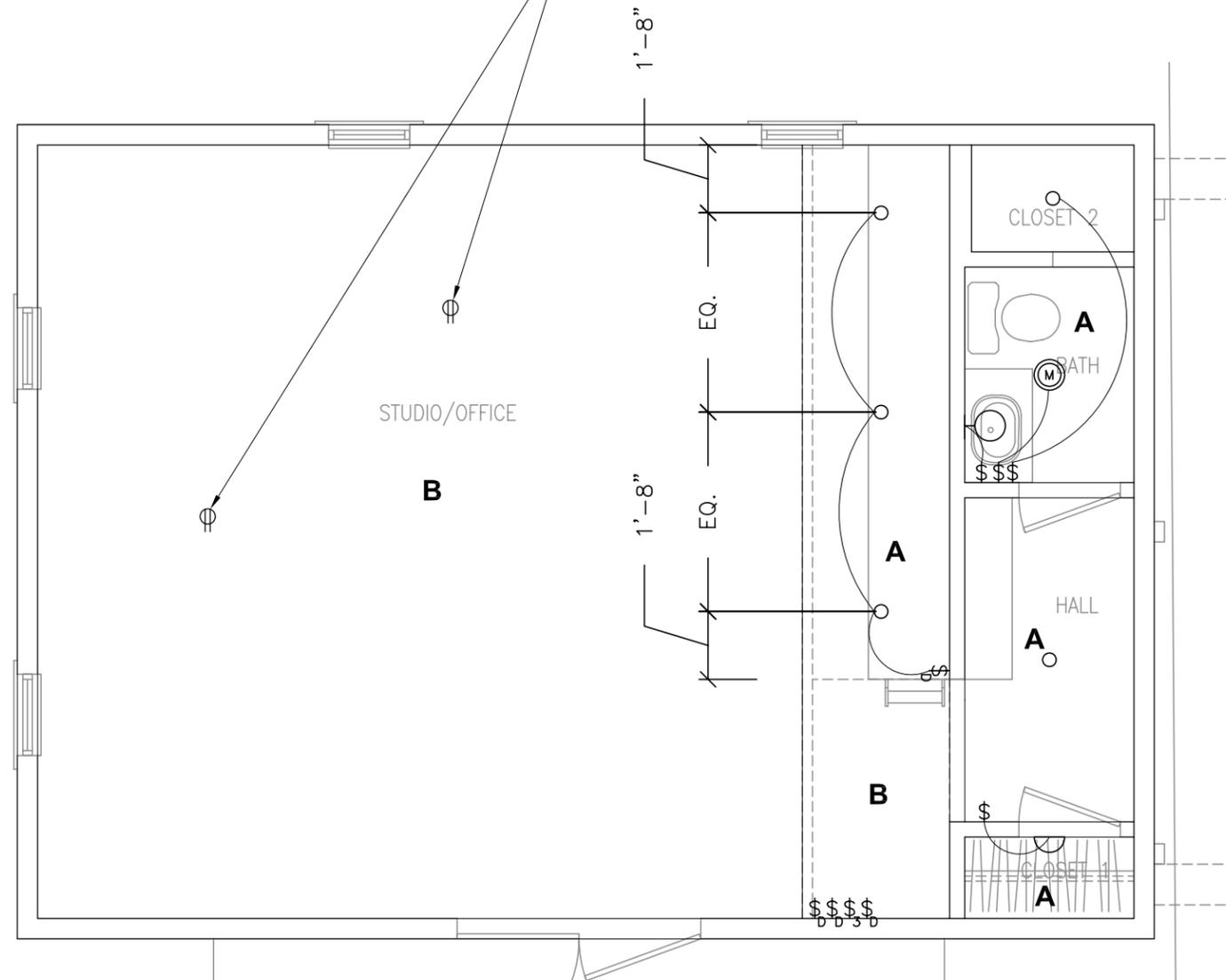
GENERAL NOTE: ELECTRICAL AND LOW VOLTAGE IS SHOWN FOR INFORMATION PURPOSES AND OWNER REQUESTED LOCATIONS. DRAWING SHOULD NOT BE USED NOR IS DRAWING INTENDED TO SATISFY ELECTRICAL CODE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. A QUALIFIED ELECTRICAL ENGINEER SHOULD BE CONSULTED WHERE REQUIRED FOR ELECTRICAL ENGINEERING SERVICES AND DOCUMENTATION.

1. ELECTRICAL OUTLETS SHOWN ARE FOR SPECIAL CONDITIONS ONLY - ELECTRICIAN TO PROVIDE CODE REQUIRED ELECTRICAL OUTLETS FOR ALL LOCATIONS NOT INDICATED ON PLANS.
2. FINAL ELECTRICAL LOCATIONS - JUNCTION BOXES INDICATED ON PLANS ARE FOR VERIFICATION OF QUANTITIES AND GENERAL LOCATION PURPOSES. OWNER TO WALK THRU WITH ELECTRICIAN AFTER COMPLETION OF FRAMING AND BEFORE ELECTRICAL ROUGH IN TO VERIFY LOCATION AND GIVE PRECISE DIMENSIONS AND OR LOCATIONS FOR ELECTRICAL OUTLETS.
3. REFERENCE OWNER PROVIDED SELECTION SHEET FOR FIXTURE SELECTIONS AND ELECTRICAL INFORMATION.
4. COORDINATE WITH SECURITY INSTALLER TO PROVIDE OUTLET FOR LOW VOLTAGE SECURITY CONTROLLER IN UTILITY CLOSET. OUTLET TO ACCOMMODATE 12 V TRANSFORMER SHALL BE LOCATED IN AN INCONSPICUOUS LOCATION.
5. ALL EXTERIOR OUTLETS INDICATED TO BE GFI PROTECTED.

FIXTURE LEGEND

- | | | | |
|---------------------------------------------------------------------------------------|---------------------------------------------------------|---------------------------------------------------------------------------------------|----------------------------------------------------------------------|
|  | CEILING FAN WITH LIGHT KIT |  | SPECIALTY CEILING MOUNT FIXTURE (SEE OWNER SELECTION SHEET FOR INFO) |
|  | CEILING FAN |  | 4" DIA. RECESSED LIGHTING WITH WHITE BAFFLE |
|  | WALL MOUNT FIXTURE (SEE OWNER SELECTION SHEET FOR INFO) |  | 2.5" UNDER CABINET PUCK LIGHTS |
|  | BATHROOM EXHAUST FAN |  | JUNCTION BOX |
|  | WALL MOUNT FIXTURE |  | TELEVISION BOX (COAXIAL CABLE) |
| | |  | COMMUNICATIONS BOX (CAT 5) |

FLOOR OUTLET (2 LOCATIONS) TO BE PLACED BY OWNER PRIOR TO POURING SLAB.



DRAWING:

A8.1 REFLECTED CEILING PLAN

DATE 9-21-13 SCALE 1/4"=1'-0"

ISSUE: ISSUE FOR PERMITTING/PRICING

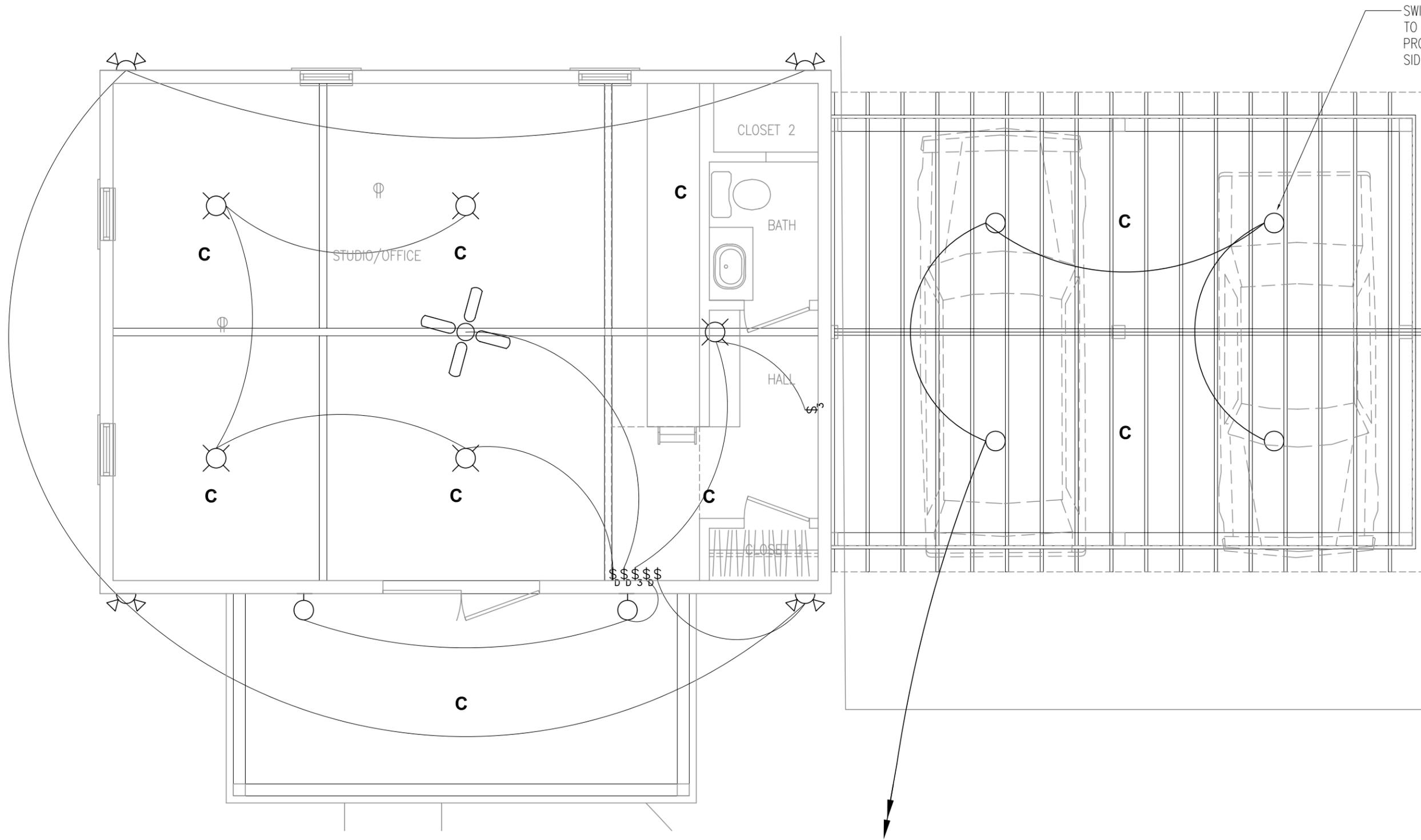
PROJECT:

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SWITCH FOR CARPORT LIGHTS TO 3WAY TO BACK DOOR AT EXISTING HOUSE. PROVIDE MOTION SENSOR AT WEST SIDE OF CARPORT FOR 4 LIGHTS

DRAWING:
A8.2 REFLECTED CEILING PLAN

DATE 9-21-13 SCALE 1/4"=1'-0" ISSUE: ISSUE FOR PERMITTING/PRICING

PROJECT: **WILLIAMS STUDIO**
 ADDITION OF DETACHED COVERED PARKING AND STUDIO
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