



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
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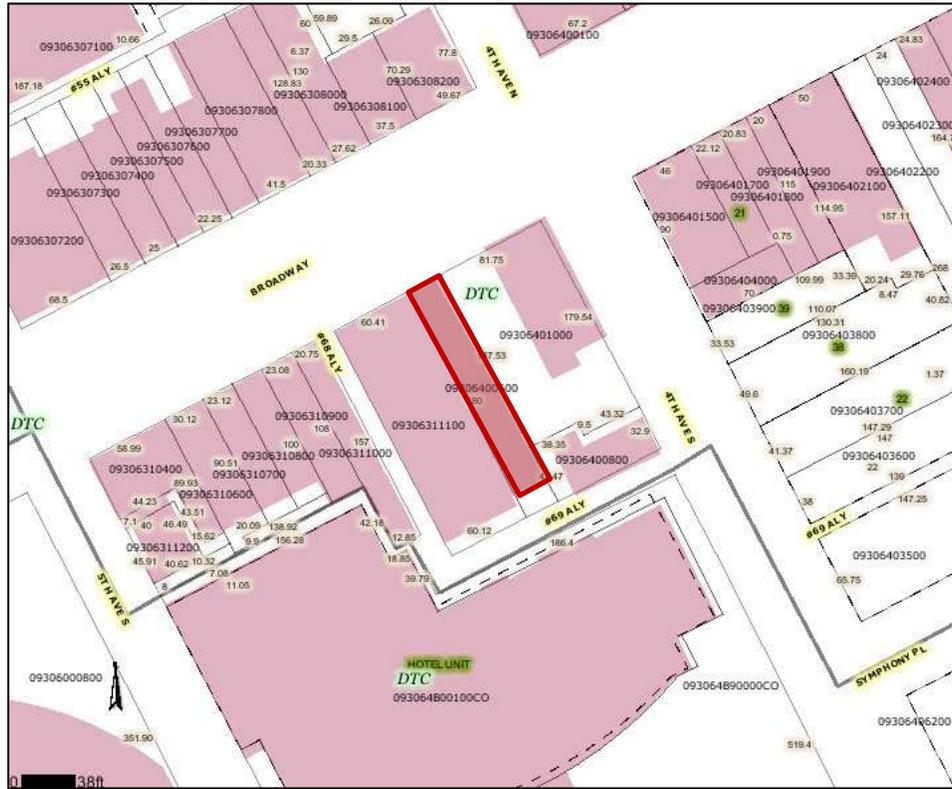
STAFF RECOMMENDATION

**409 Broadway
March 16, 2016**

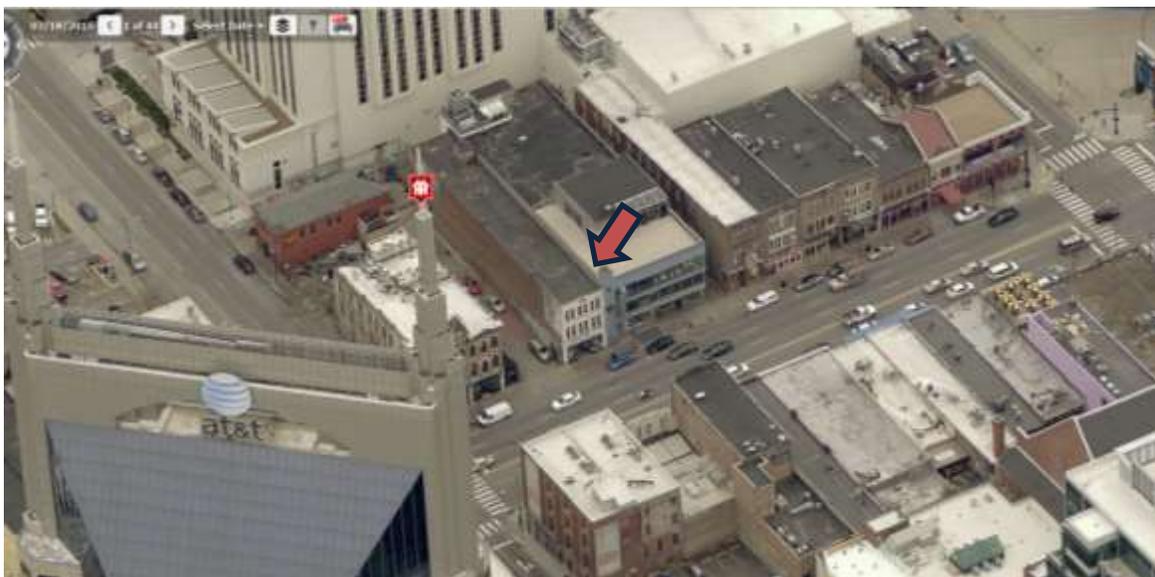
Application: Violation - signage; Rooftop addition
District: Broadway Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 09306400600
Applicant: Remick Moore
Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

<p>Description of Project: The applicant proposes a rooftop addition and approval for unpermitted chasing and flashing elements to a projecting sign, previously approved.</p> <p>Recommendation Summary: Staff recommends approval of the addition with the conditions:</p> <ol style="list-style-type: none">1. Staff approve the metal color and texture and material of posts2. And that the step-back area not be used for lighting, audio/visual equipment or any other structure that would extend above the parapet wall and have a permanent installation. <p>Staff recommends approval of the signage with the condition that the duration of the chasing be adjusted not to more than every one second.</p> <p>With these conditions, Staff finds that the proposed addition and signage meet Section III and Section IV of the design guidelines for the Broadway Historic Preservation Zoning Overlay.</p>	<p>Attachments A: Photographs B: Floor Plans C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III. NEW CONSTRUCTION

A. Additions to Existing Buildings

1. Additions to existing buildings should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.
2. Rooftop additions should not exceed one story in height and should be set back a minimum of 30 feet from the main façade of the building and 20 feet from the secondary street if it is a corner building.
3. Additions should not obscure or contribute to the loss of historic character-defining features or materials.

IV. SIGNAGE

INTRODUCTORY PROVISIONS

Intent

The purpose of these regulations is to preserve the historic character of the overall district and individual historic buildings follow the basic principles and guidance of the “Downtown Codes Sign Standards” as adopted 1/30/2013. The “Downtown Codes Sign Standards” breaks signage guidance up by “street types.” The Broadway Historic Preservation Zoning Overlay closely follows the guidance for “Pedestrian Street” type.

Applicability

- These sign regulations apply to all properties within the Broadway Historic Preservation Zoning Overlay.
- (Not referencing code since our current design guidelines do not reference code and there are permissible signs within the code that would not meet our design guidelines.)
- Signage that is cut into the face of the building is prohibited.
- Signage located on the interior of a building or attached to the inside of glass windows is not reviewed.
- Sandwich board signs and 3-dimensional sidewalk signs that are brought into the building at the close of each business day shall not be reviewed by the MHZC but may require review by Public Works.
- Historic signage should be retained. Removal of historic signage may take place as a Modification.

Sign Permit Applications

Applications for sign permits shall be made with and reviewed by the Metro Historic Zoning Commission (MHZC). All sign applications that do not involve Modifications shall only require MHZC administrative approval.

Common Sign Plan

A common signage plan regulates signage for multiple businesses or tenants within one building or complex. A common sign plan is mandatory for all new developments and sign Modifications.

- A common signage plan shall provide for consistency among signs with regard to at least four of the following: materials; location of each sign on the building; sign proportions; color scheme; lighting; lettering or graphic style.
- The common signage plan shall establish an allowable area of signage for existing and future tenants with regard to all allowed sign types.
- The common signage plan shall indicate existing nonconforming signs as well as the amount and locations of on-premise signage to be allocated to each tenant under the new plan.

MODIFICATIONS

Sign Permit Modifications

Requests for modifications to sign standards are reviewed by the Metro Historic Zoning Commission. If the property is also within a MDHA redevelopment district, approval from the MHZC is all that is needed. Two additional types of Modifications for signage related permits may be requested and are outlined below.

Modifications for Exceptional Design

Creative signage that does not fit the specific regulations of these guidelines may be considered by the MHZC, based on its merits, as they relate to all of the following design criteria:

- Architecture
- The configuration or location of the building or property
- Building scale
- Legibility
- Technical competence and quality in design, construction and durability

Applications for this type of Modification require submittal of a common sign plan for the property in question. Approval of any related structure (i.e. canopy) will require review by all applicable agencies. Exceptional design modifications shall not permit electronic changeable copy where it is otherwise not permitted.

RIGHT OF WAY ENCROACHMENTS

Where a sign is proposed to encroach into the public right-of-way an application shall be made with the Public Works Department in addition to the sign permit application with the MHZC. Both applications shall include the requirements of the Public Works Department available at their website: www.nashville.gov/Public-Works/Developer-Services.aspx, in addition to the MHZC submittal requirements.

NON-CONFORMING SIGNS

Sections 17.40.660 and 17.40.690 of the Metro Zoning code apply. This section further clarifies them.

Building Signs

A sign shall be brought into compliance with the provisions of these design guidelines if a sign permit is required to rebuild the sign. This does not include a panel change in a non-conforming cabinet sign, which shall be permitted.

Ground Signs

An existing ground sign may change the face or panel of a sign that does not meet the area or height standards within these design guidelines. However, in no instance shall there be an increase in the degree of nonconformity. All new panels shall conform to all illumination standards therein.

A sign shall be brought into compliance with the provisions of these design guidelines if at any time the sign is altered, repaired, restored or rebuilt to the extent that the cost exceeds fifty percent of the estimated replacement cost of the sign (in current dollar value). All permits within any six consecutive calendar months shall be aggregated for purposes of measuring the fifty percent standard.

All Signs

If the alteration or repair is caused by involuntary damage or casualty, the design may be altered or repaired to its pre-damaged condition.

Repair and Maintenance

A sign may be removed or taken off-site for repair and maintenance. The sign must be returned to the original location within 90 days of removal.

Allocation of Sign Area

The maximum sign area for each type of sign is established in the following tables. Specific requirements for each sign type are shown on the subsequent pages.

For each cell in the table, there is a maximum allowed sign area that may be utilized with any combination and any number of signs associated with that cell, unless otherwise noted.

The measurements for “linear feet” shall be at grade.

Building Signs

Wall, Awning, Canopy and Projecting Signs—1.5 square feet of sign area per 1 linear foot of building façade or 36 square feet, whichever is greater. When a projecting sign is used on a building, an additional .50 square feet of sign area per 1 linear foot of building façade shall be permitted, for a total 2 square feet per 1 linear foot of building façade.

Shingle Sign: 9 square feet per sign

Ground Signs

Monument Sign-24 square feet

Skyline Signs

75'-110'—480 square feet

101'-200'—600 square feet

201' and taller-720 square feet

GENERAL STANDARDS

Materials

All permanent, on-premises signs shall be constructed of a rigid, weatherable material such as hard plastic, wood, MDO plywood, aluminum, steel, PVC, glass, fiberglass and or Plexiglass. On-premises permanent signs shall not be constructed of nonrigid materials including, but not limited to, vinyl, fabric, canvas, or corrugated plastic. The provisions of this subsection shall not apply to approved, permitted canopies, awnings and porticoes.

Building Façade and Street Frontage Measurement

In determination of number of stories of a building, rooftop additions shall not be considered within the number of stories.

OTHER SIGN TYPES

Building Sign: Projecting Sign

Description

A projecting sign is a type of building sign that projects outward from the façade, typically at a ninety degree angle. Projecting signs are typically, but not always, vertically oriented and generally mounted above the first floor.

General Provisions

- A projecting sign must be located at least 25 feet from any other projecting sign. When building width prohibits adherence to this standard, flexibility shall be permitted through Modification to be reviewed by staff.
- A projecting sign may be erected on a building corner when the building corner adjoins the intersection of two streets. Allocation of sign area from both streets may be used, however, in no case shall the sign exceed the maximum dimensional standards below.
- A projecting sign shall be located below the windows sills of the third story.
- The top of a projecting sign shall not extend above the building eave or top of parapet.
- A projecting sign can be externally or internally illuminated in accordance with the Illumination design guidelines.
- Projecting signs that are 3-dimensional may be permitted through a modification.
- A projecting sign cannot cover windows or architectural details.

Design Standards

A Overall area allocation (max)—see allocation of sign area

B Height (max)

1 story buildings—10 feet

2 and 3 story buildings—16 feet

- 4 or more story buildings—20 feet
- C Average spacing from façade (min)—1 foot
- D Projection Width (max)—6 feet
- E Depth of Cabinet (max)—2 inch or 18 inches for internally lighted or neon signs

Illumination

Illumination of signs shall be in accordance with the following requirements:

External Illumination

- External light sources shall be placed close to, and directed onto the sign and shielded to minimize glare into the street, sidewalks or onto adjacent properties.
- Projecting light fixtures used for externally illuminated signs shall be simple and unobtrusive in appearance. They should not obscure the sign.

Internal Illumination

- Channel letters may be internally lit or back-lit.
- For cabinet signs, the background must be opaque. Only graphics, text and logos may be illuminated, and a halo of one inch around graphics, text, and logos may be non-opaque.
- Exposed neon may be used for lettering or as an accent.

Prohibited Light Sources

The following light sources are prohibited:

- Blinking, flashing, chasing, and sequential lighting. This type of lighting may be allowed for Broadway (not the district but the street) only through a modification. In these cases, the chase or flash should not last less than every three seconds.
- Bare bulb illumination.

Raceways and Transformers

- Visible transformers are prohibited.

Changeable copy signs shall be in accordance with the following requirements:

Description

- Manual changeable copy sign. A sign or portion of a sign that has a readerboard for the display of text information in which each alphanumeric character, graphic or symbol is defined by objects, not consisting of an illumination device. Changeable copy is changed or re-arranged manually or mechanically without altering the face or the surface of the sign.
- Electronic changeable copy sign. A sign or portion of a sign that displays information in which each alphanumeric character, graphic, or symbol is defined by a small number of matrix elements using different combinations of light emitting diodes (LED’s), fiber optics, light bulbs or other illumination devices within the sign.

Usage

- Manual and Electronic changeable copy is allowed for Tourist Oriented Businesses only when used in conjunction with a wall sign or a monument sign provided the changeable copy portion is no greater than 50% of the built sign area.
- An electronic changeable copy sign is not allowed in a Redevelopment District or on Interstate frontage.

Spacing

- The closest edge of an electronic changeable copy sign must be a minimum distance of 100 feet from any residential zoning district.
- An electronic changeable copy sign must be separated from another electronic changeable copy sign by at least 50 feet.

Duration

- Any image or message or portion of the image or message must have a static display for minimum duration of eight seconds.
- Transition time must be immediate.
- No portion of the image or message may flash, scroll, twirl, change color or in any manner imitate movement.

Brightness

- The sign must not exceed a maximum illumination of 7,500 nits during daylight hours and a maximum illumination of 750 nits between dusk to dawn as measured from the sign’s face at maximum brightness.
- Electronic changeable copy signs must have an automatic dimmer control to produce a distinct illumination change from a higher illumination level to a lower level.

Background: 409 Broadway is a three-story commercial building. Alterations to the storefront and signage have been recently approved.

Analysis and Findings:

The applicant proposes a rooftop addition and a modification for unpermitted flashing and chasing elements to previously approved signage.

Rooftop Addition:

Height & Scale, Location: The design guidelines set a maximum height at one story and fifteen feet (15’) above the parapet wall. An existing addition at the rear of the rooftop is already in place housing the elevator and other mechanicals, and is not proposed to be added to.

The proposed addition has a shed roof that slopes from left to right and that is ten feet (10’) above the parapet wall at its highest point. The addition meets the design guidelines for height (section III.H.2), and Staff finds that it will be compatible in the district.



Figure 1. 409 Broadway in 2016

The design guidelines specify that a rooftop addition should be located at least thirty feet (30’) from the front wall of the building. The front wall of the proposed addition is forty-two feet (42’) away from the front wall of the building. The front edge of the overhang is thirty feet (30’) from the front of the building, and the location of the addition meets the setback requirements.

The applicant is also proposing to install a railing on the roof, abutting the parapet wall. Along the Broadway façade, the railing will not extend above the line of the parapet, and therefore it does not need to be recessed eight feet (8’), as is typically required. Since it will be obscured by the parapet wall, Staff finds the railing appropriate in its location.

Staff recommends that the thirty foot (30') step back area not be used for lighting, audio/visual equipment or any other structure that would extend above the parapet wall and have a permanent installation. Rooftop signage is also inappropriate. With this condition, the project meets section III.H.2.

Roof Shape: The design guidelines require that the roof shape of new construction be similar to what is found in the district. All the roof forms are flat (parapet walls) with a few early buildings that have a pitched roof, including a low hipped roof and side gables. Due to the low-profile and simple design of the addition and the fact that the building is narrower than most buildings in the district, further minimizing the rooftop addition, staff finds the shed roof form to be appropriate and meet section III.D.

Materials: The addition will have corrugated metal siding on the left side and metal panels on the right side. Siding on the front will be corrugated metal but the closest wall to the existing front wall is approximately thirty-nine feet back. In addition, this section does not cover the full width of the building. The roofing material is corrugated metal. The material of the posts was not noted. Railings will be steel. Because of the minimal visibility of the materials and the fact that the commission had approved similar materials for new construction, staff finds the material to meet section III.F of the design guidelines, with the condition that Staff approve all metal color.

Signage:

The projecting sign was approved administratively in November 2016, as it met the design guidelines and did not require a modification for flashing or chasing lighting. The sign has since been installed with flashing and chasing elements. The proposal is for the primary lettering "Nudie's Honky Tonk" to flash and the LED lights highlighting the arrow chase. Staff recommends approval based on previous approvals of chasing and flashing lights with the condition that the chasing and flashing not be less than every 1 second.

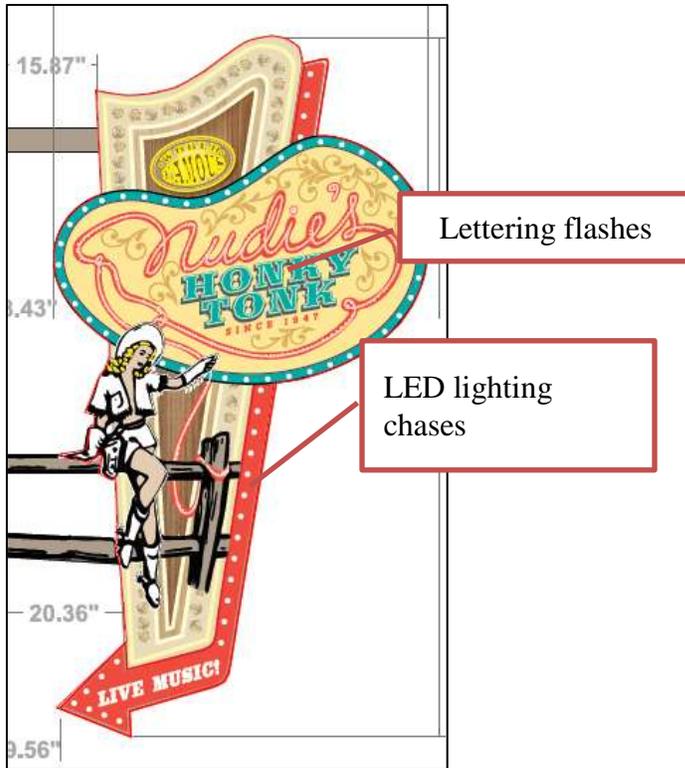


Figure 2. The sign was administratively approved without flashing lettering and chasing lighting.

With these conditions, Staff recommends approval of the modification.

Recommendation Summary:

Staff recommends approval of the addition with the conditions:

1. That staff approve the metal color and texture and material of posts and;
2. That the step back area not be used for lighting, audio/visual equipment or any other structure that would extend above the parapet wall and have a permanent installation.

Staff recommends approval of the signage with the condition that the duration of the chasing be adjusted not to more than every one second.

With these conditions, Staff finds that the proposed addition and signage meet Section III and Section IV of the design guidelines for the Broadway Historic Preservation Zoning Overlay.

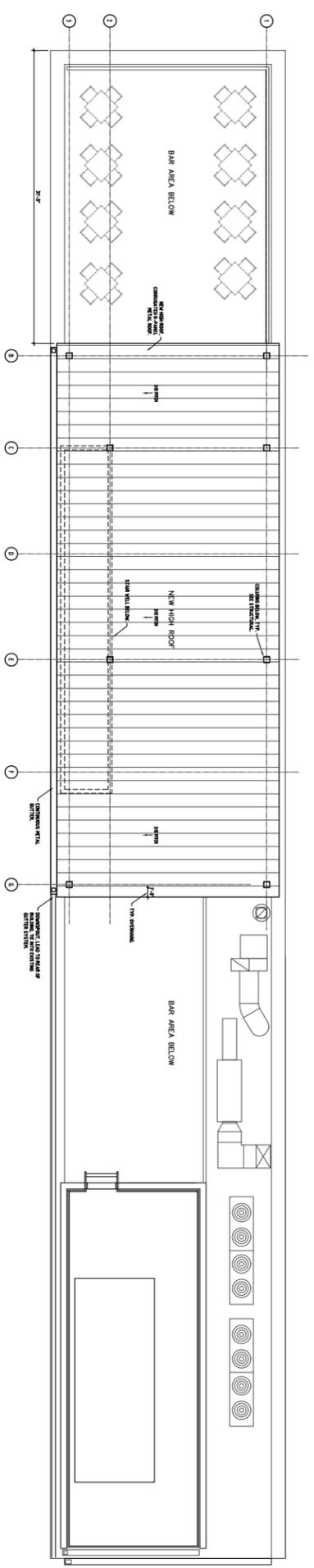


REMIK MOORE
ARCHITECT

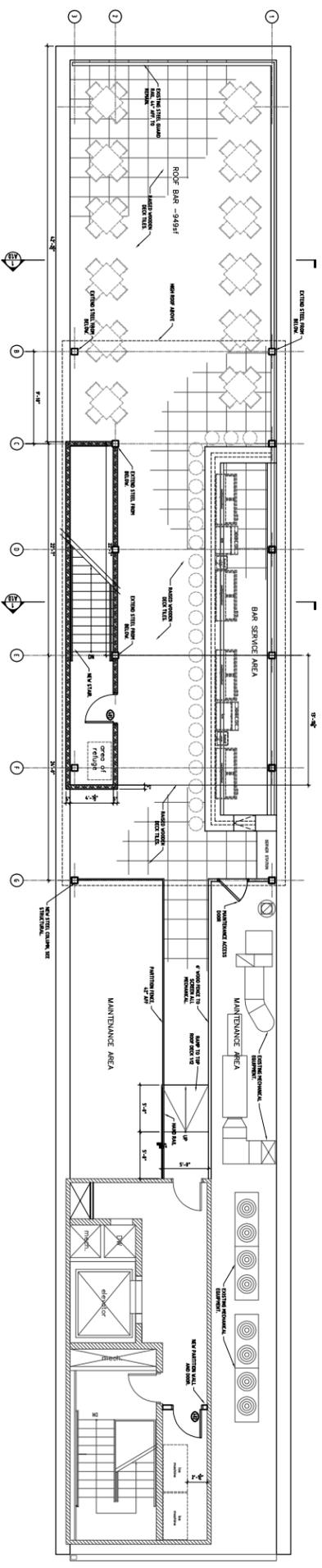
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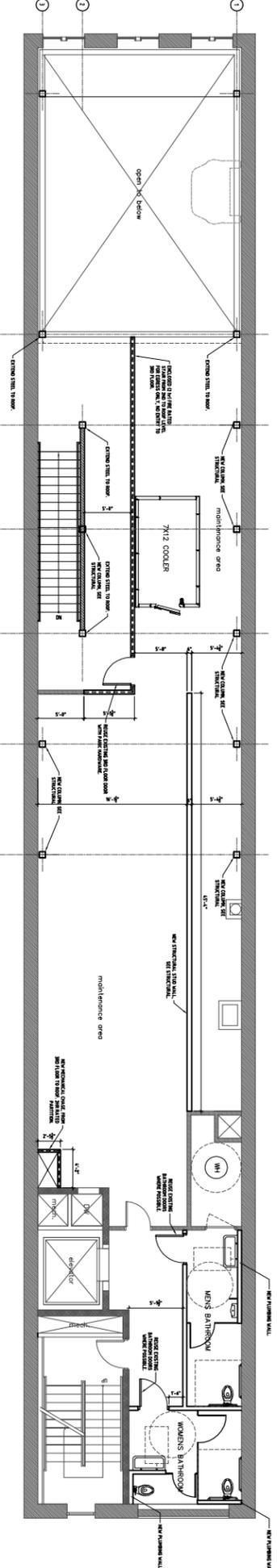
1 HIGH ROOF
1/16"=1'



2 ROOF
1/16"=1'



3 THIRD
1/16"=1'



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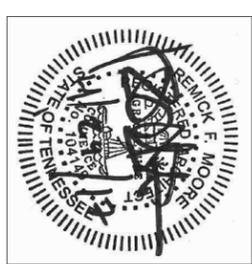
plans

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historic submittal
4-12-17



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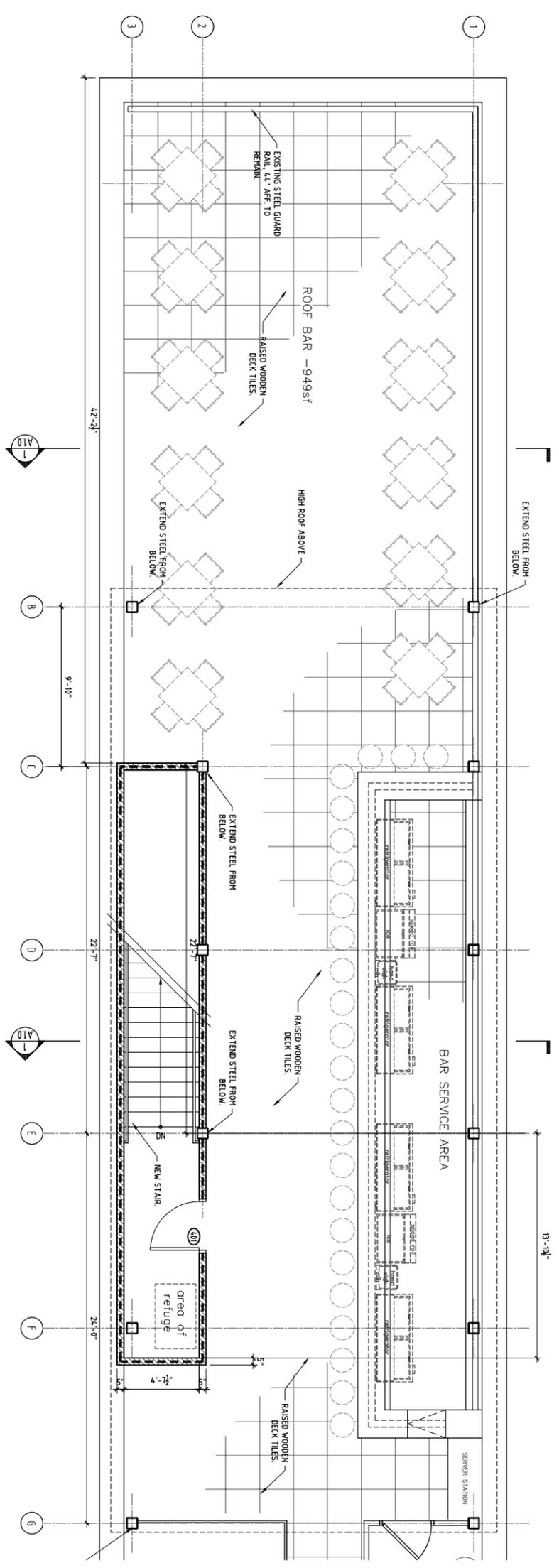
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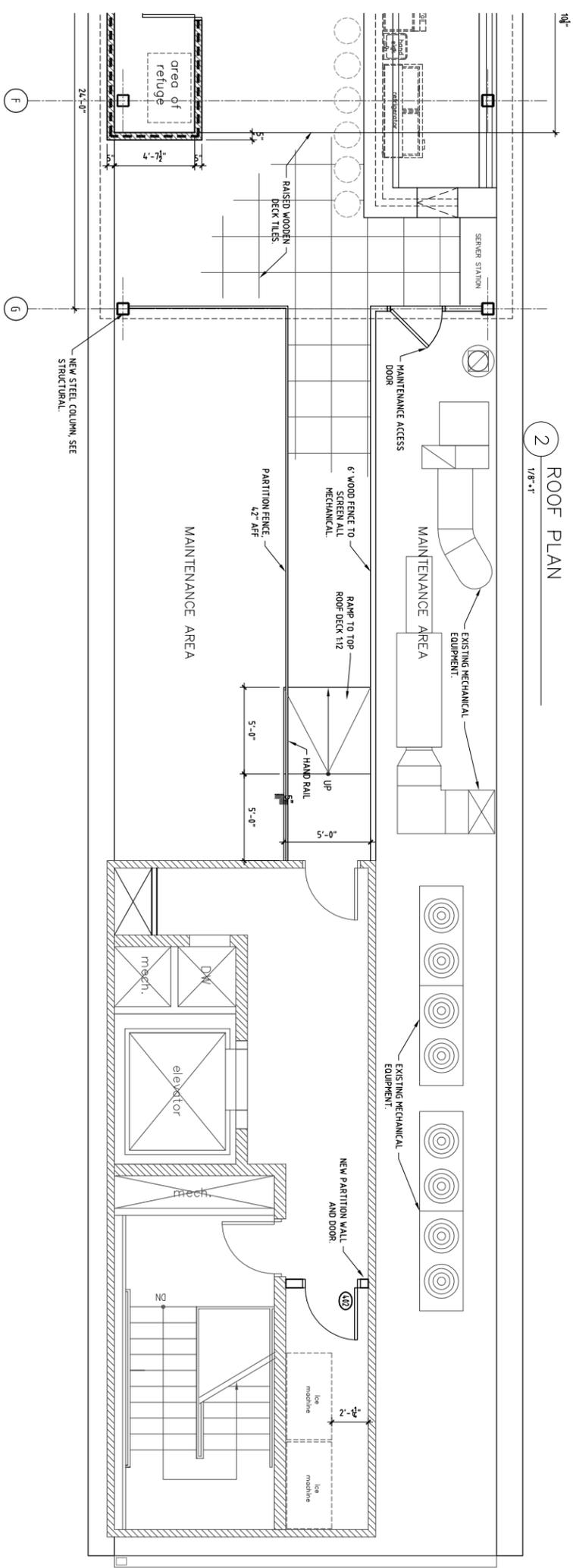
409 Broadway - Rooftop
Nashville, TN 37203

plans

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historic submittal
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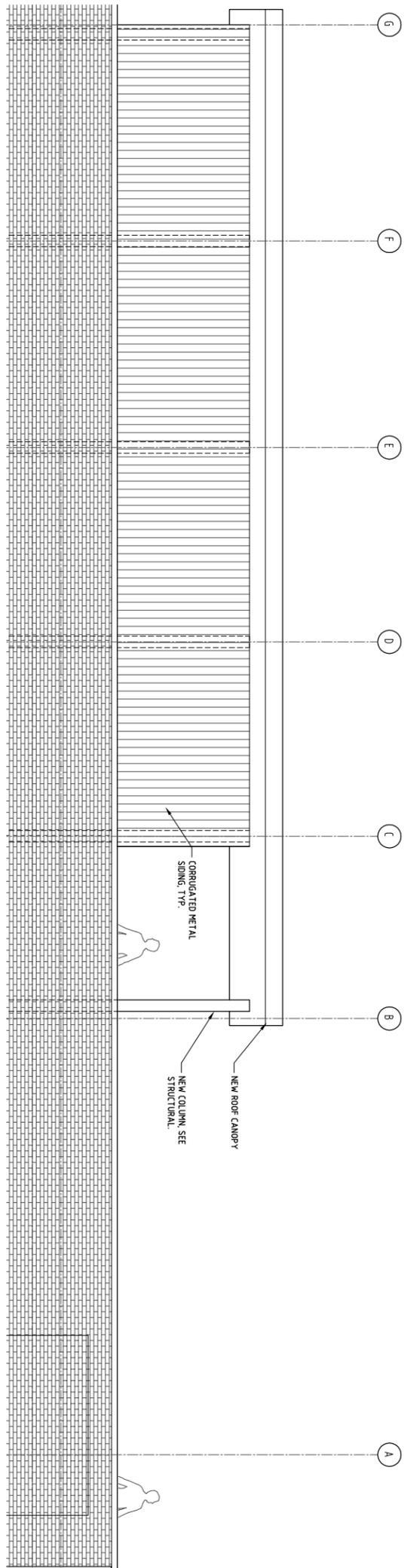
2 ROOF PLAN
1/8\"/>



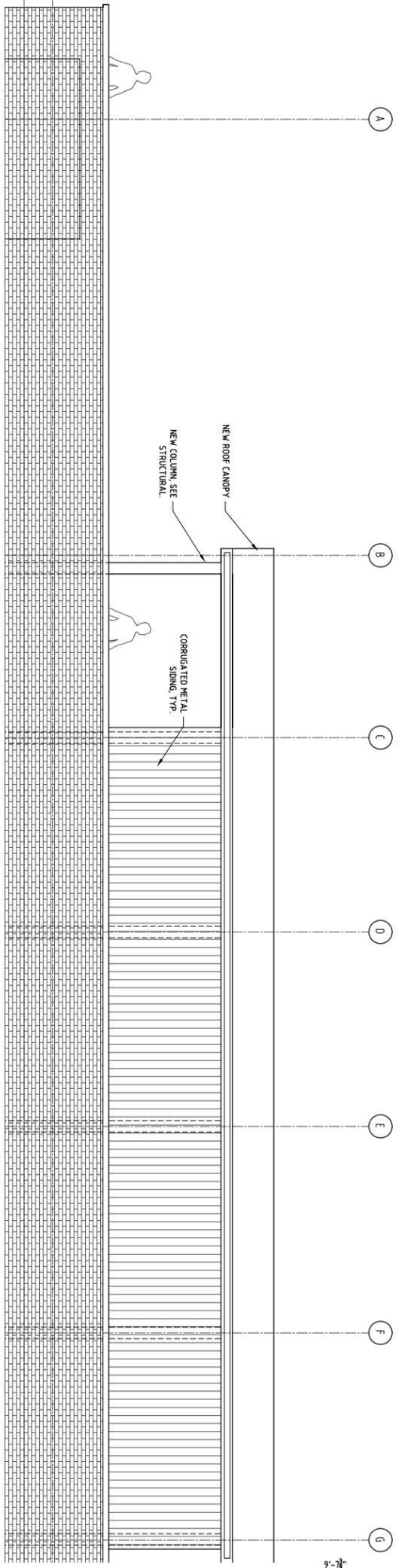
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WALL LEGEND

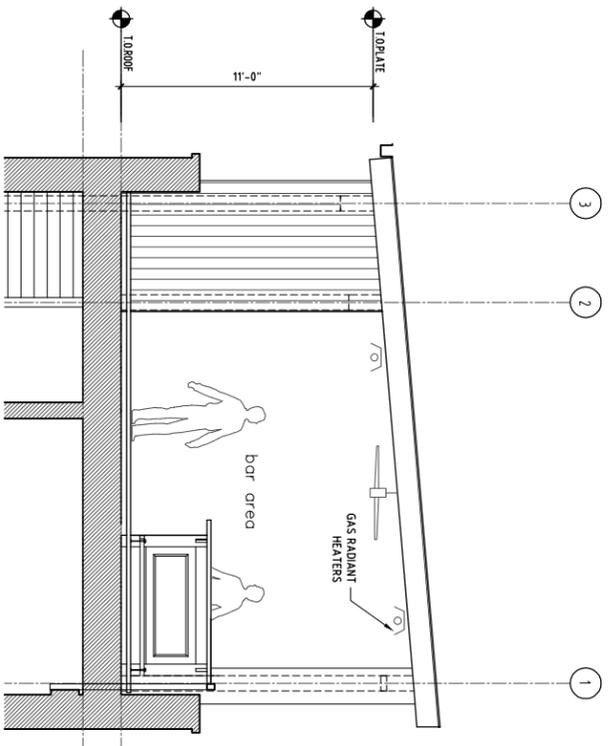
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	3-5/8\"/>
	2 HR RATED PARTITION



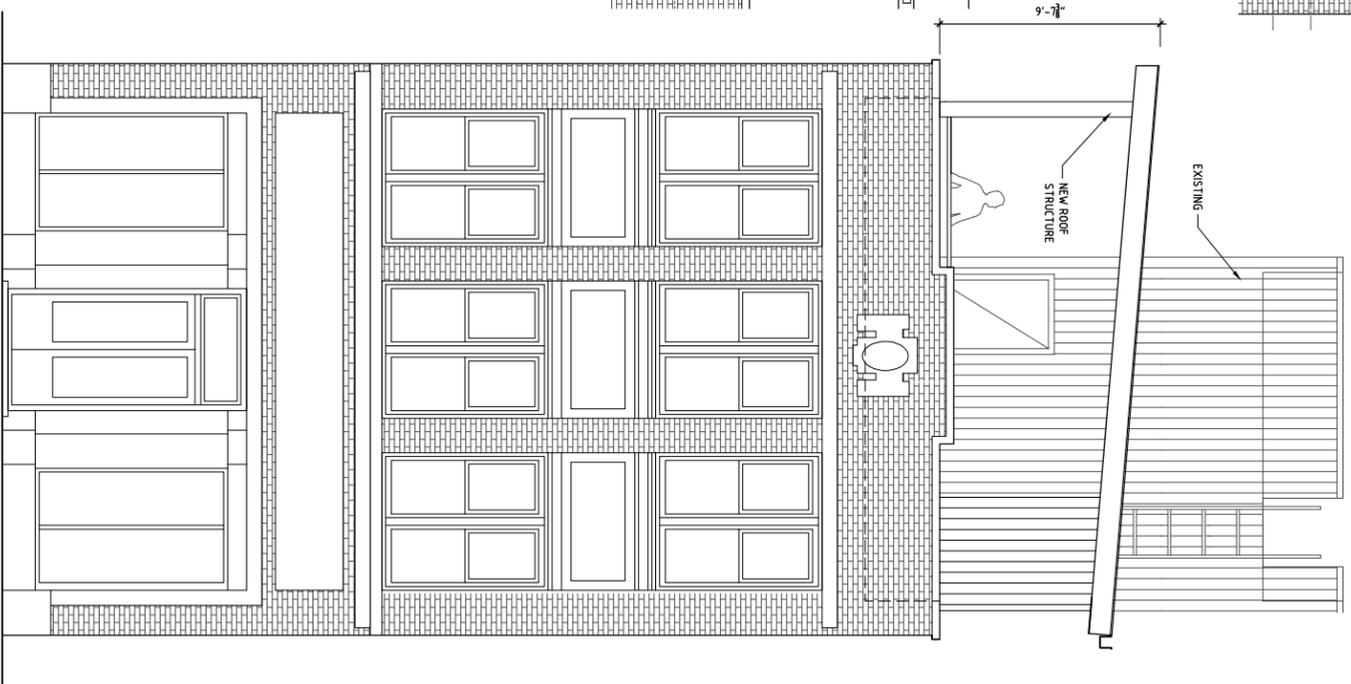
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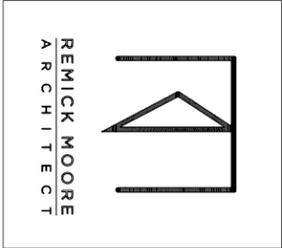
2 WEST ELEVATION
1/8"=1'



3 SOUTH ELEVATION
1/8"=1'



4 NORTH ELEVATION
1/8"=1'



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elevations

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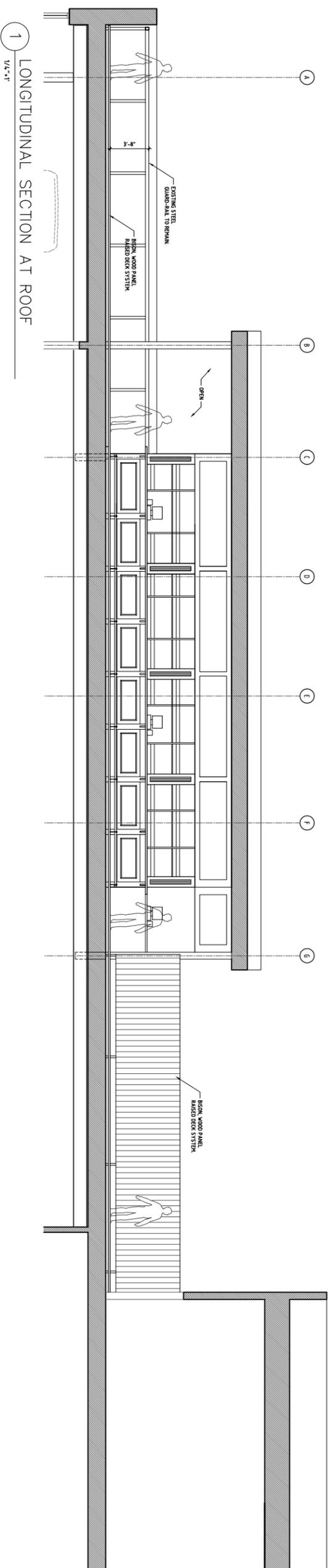
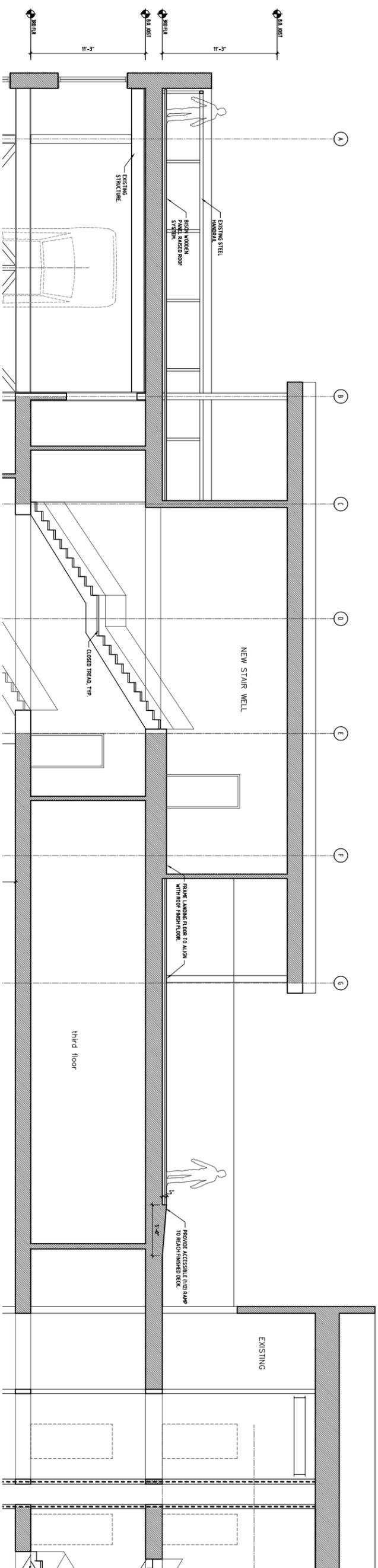
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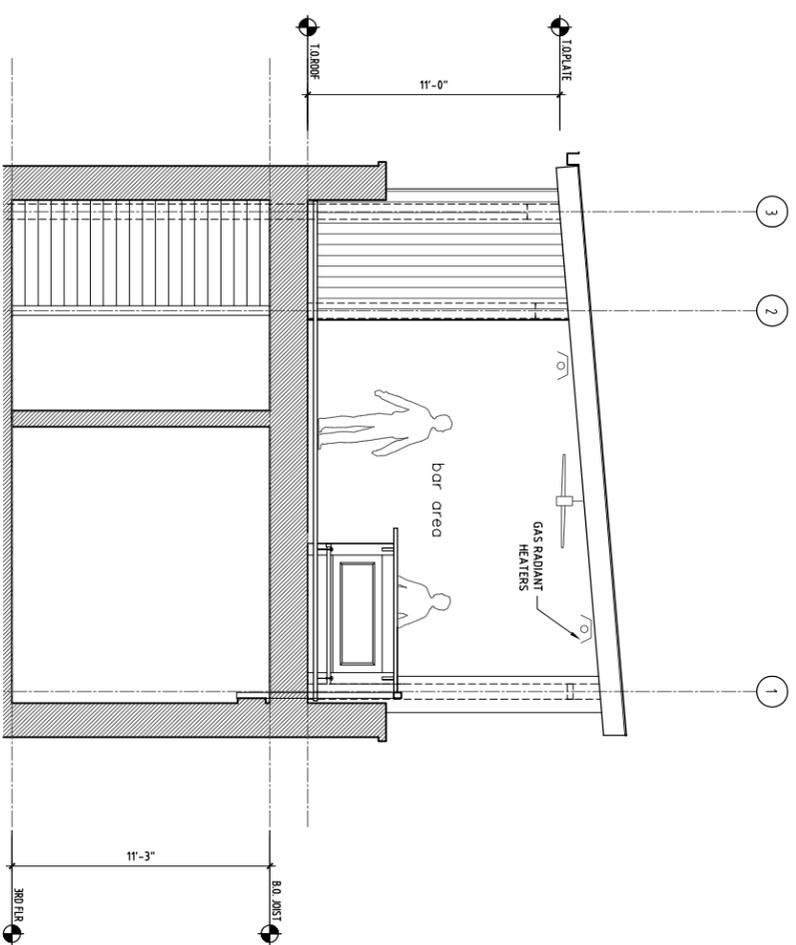
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Nashville, TN 37203

sections

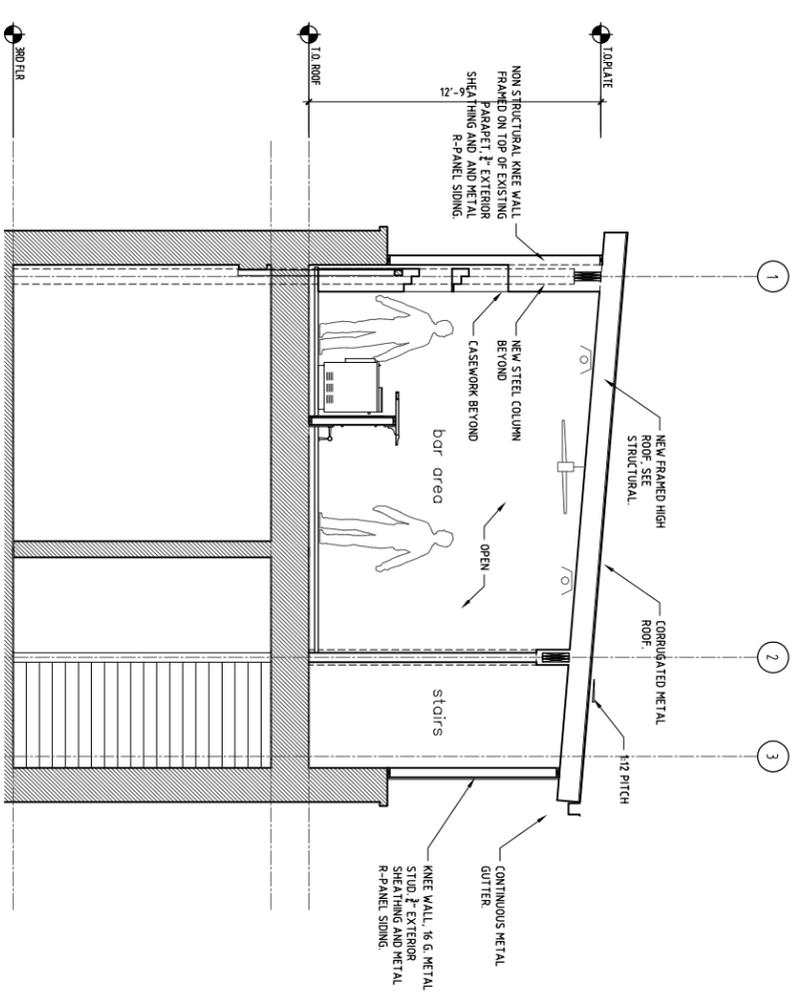
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4-12-17



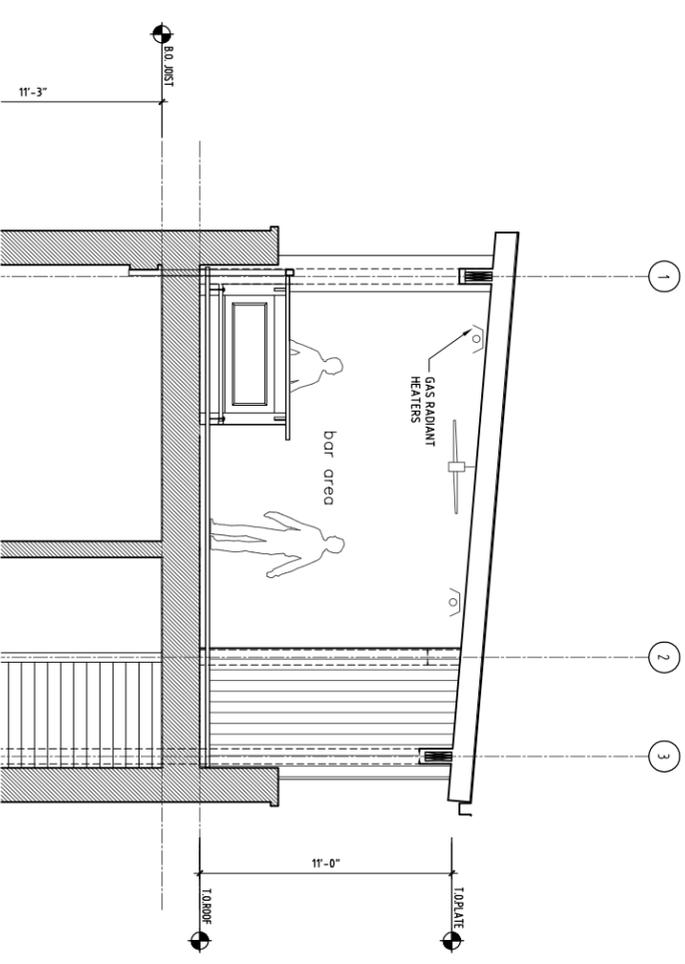
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1/4"=1'-0"



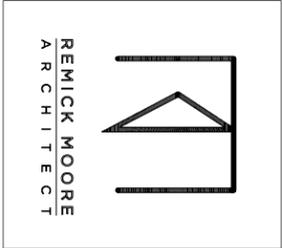
1 TRANSVERSE SECTION AT ROOF
1/8"=1'



1 TRANSVERSE SECTION AT ROOF
1/8"=1'



2 TRANSVERSE SECTION AT ROOF
1/8"=1'



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409 Broadway - Rooftop
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sections

A203
historic submittal
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409 BROADWAY NUDDIES ROOFTOP

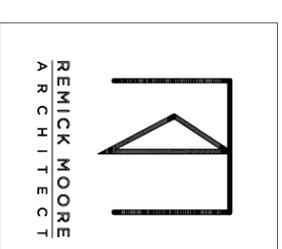
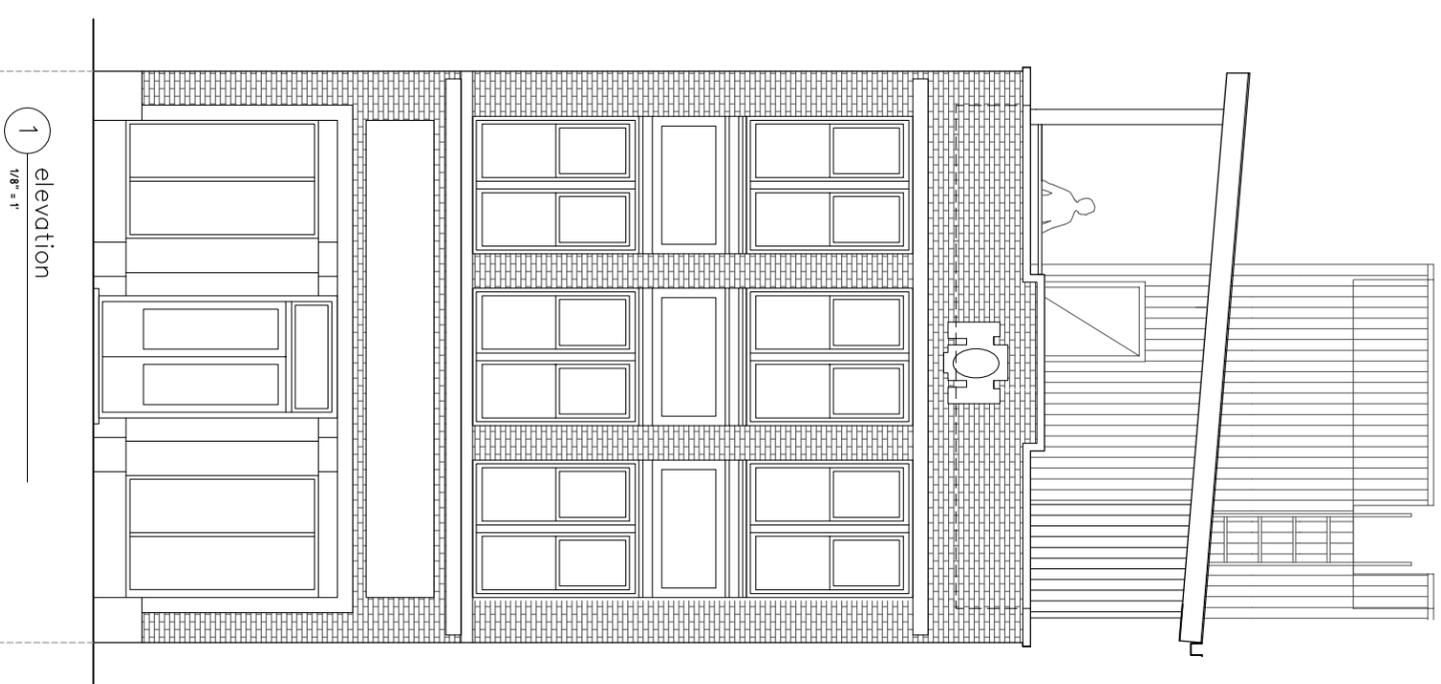
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cover sheet

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