

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION

714 Shelby Avenue

April 19, 2017

Application: New construction-infill

District: Edgefield Historic Preservation Zoning Overlay

Council District: 06

Map and Parcel Number: 09304003300

Applicant: Jason Quiram

Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

Description of Project: Construction of a new two-family building on a vacant lot.

Recommendation Summary: Staff recommends approval of the infill with the following conditions:

1. The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. Staff recommends a redesign of the front elevation to have more traditional entry openings, more traditional roof porches, and a more principal façade.
3. New drawings be submitted that show the same porch design on both the front and side elevations;
4. All double and triple window openings have a four to six inch (4"-6") mullion in between them;
5. Staff approve the final details, dimensions and materials of windows, doors, roofing color and porch columns prior to purchase and installation;
6. The front setback is moved forward to match recently-approved new construction, and the nearest contributing building;
7. The HVAC shall be located behind the house or on either side, beyond the mid-point of the house.

With these conditions, staff finds that the proposed infill meets Section III.B.2. of the Edgefield Historic Preservation Zoning Overlay design guidelines.

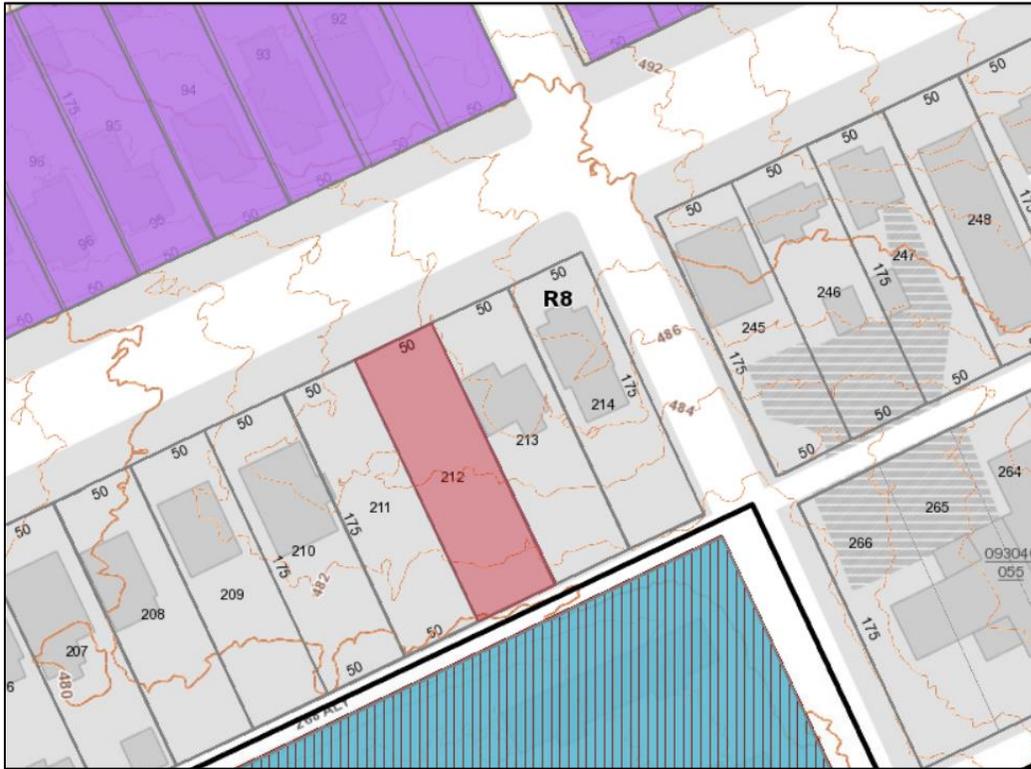
Attachments

A: Photographs

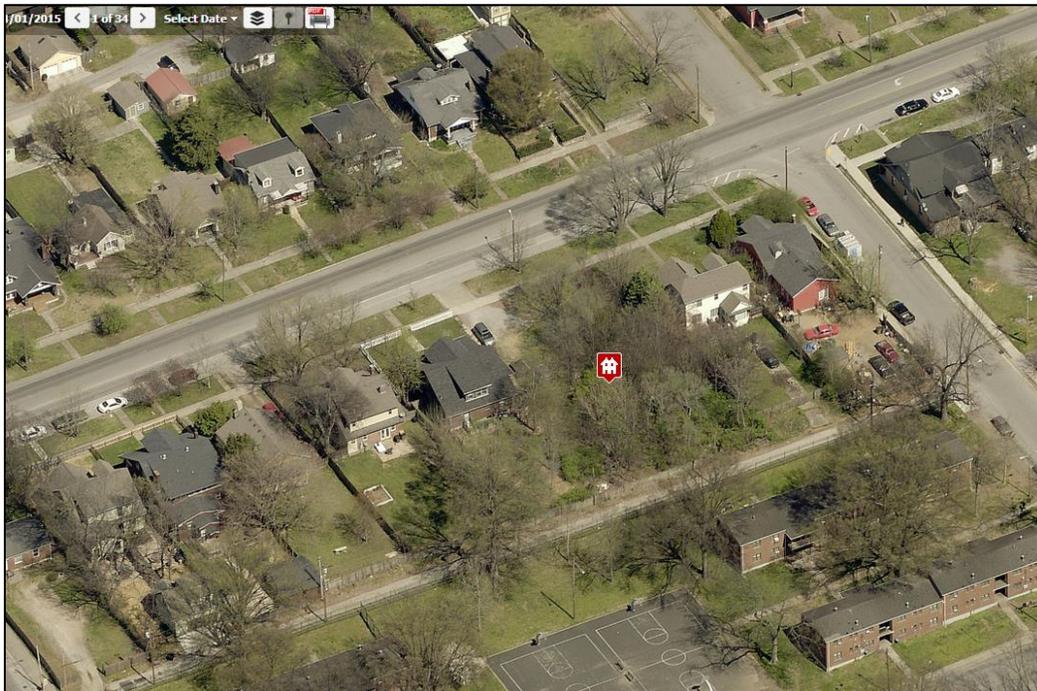
B: Site Plan

C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III.B.2 NEW CONSTRUCTION AND ADDITIONS TO HISTORIC AND NON-HISTORIC BUILDINGS.

a. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings reinforce that rhythm.

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setback reductions will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

b. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

For those lots located within the Corner Commercial Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. An additional story may be added to a building provided that, where it is adjacent to a detached house or a residential subdistrict, it is set back a minimum of 25' from the building wall or 50' from the property line. Three story building height shall not exceed 45'. All front and side buildings walls shall be a minimum of 16' in height and at the build-to line. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor.

c. Building Shape

The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

d. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

e. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Duplexes

Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

Multi-unit Developments

For multi-unit developments, interior dwellings should be subordinate to those that front the street.

Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.

For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.

f. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

g. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

i. Appurtenances Related to New Construction

For information on fences, paving, walls, et cetera, see the Appurtenances section.

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

IV. APPURTENANCES TO HISTORIC AND NON-HISTORIC BUILDINGS

1. FENCES

- a. Wood picket fences are appropriate in front or rear yards. Front yard fences can be up to 4' in height.
- b. Privacy fences are appropriate only around rear yards (see illustrations). Privacy fences can be up to 6' in height.

A rear yard is considered to be behind the mid-point on the side facades of a house. It is most appropriate for privacy fences to stop at the rear corners of a house.

- c. Chain link or woven fences are generally not appropriate for front or visible side yards. They may be appropriate along rear property lines if the fence is camouflaged with plantings, or painted black or dark green.
- d. New or reclaimed iron fencing may be appropriate for pre-1900 houses. Iron fencing is generally not appropriate for later houses.

2. PERMANENT BUILT LANDSCAPE FEATURES

- a. Walls, curbs, steps, pavement, gravel, driveways, lighting, walkways and other such appurtenances should not contrast greatly with the style of the associated house in terms of design, size, materials, material color and location and should not contrast greatly with comparable original features of surrounding buildings.
- b. Historic retaining walls in front and side yards should be retained.
- c. Satellite dishes are not appropriate.
- d. Permanently installed fixtures such as fountains or waterfalls should be based on documentary, physical, or pictorial evidence.
- e. Above-ground swimming pools should not be publicly visible. An in-ground swimming pool should be located in a rear yard in a manner that minimizes its public visibility.

Mail boxes at the sidewalk or street are not appropriate.

Structures such as gazebos and pergolas should be appropriate to the style of the house and located in rear yards, unless documentary, physical, or pictorial historical evidence indicates otherwise.

Background: This vacant lot is located at 714 Shelby Avenue (Figure 1).



Figure 1. 714 Shelby Avenue

Analysis and Findings: The applicant proposes construction of a new one and a half story residence on the lot.

Height & Scale: The new building is one and a half stories with an average height of twenty-seven feet (27') from grade at the front. There is a slight grade drop to the rear. The range of building heights on the block face is from eighteen to twenty-eight feet (18'-28'). The foundation height is drawn at two blocks tall. The foundation height nearby is from two to four blocks, so the foundation is compatible. Staff recommends as a condition of approval that the height of the foundation and floor systems shall be verified to ensure that the finished floor level of the new construction is compatible with the historic context. The eave height is eleven feet (11') which is compatible with neighboring buildings which have eave heights from ten to twelve feet (10'-12'). The building is forty feet (40') wide, on a fifty foot (50') wide lot. This is at the upper end of the range of building widths nearby, which are from twenty-five to forty feet (25'-40').

With the condition that Staff verify the finished floor height, Staff finds that the massing and scale is similar to historic buildings in the neighborhood; therefore, staff finds the project meets section III.B.2.b. and III.B.2.c. of the design guidelines.

Setback & Rhythm of Spacing: The building is centered on the lot and is proposed at thirty four feet, three inches (34' 3") from the front property line. Recent infill at 712 Shelby was approved in 2016 at thirty-two feet, two inches (32' 2"), matching the historic building to its left. Therefore Staff recommends the new structure match the same

setback. With the condition that the setback matches recently-approved infill next door, and the nearest contributing building, Staff finds the project meets section III.B.2.a for setbacks and rhythm of spacing.

Materials:

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood
Foundation	Split face block	Natural	Yes
Primary Cladding	Cement-fiber	Smooth faced, 4” reveal	Yes
Secondary Cladding	Cedar Shake	Typical	Yes
Additional Cladding	Cement fiber board and batten	Smooth	Yes
Roofing	Architectural shingles	Not indicated	Needs approval
Trim	Wood, cement-fiber	Smooth faced	Yes
Front Porch floor	Not indicated	Not indicated	Yes
Front Porch Posts*	Wood	Typical	Yes
Side Deck	Wood	Typical	Yes
Rear Deck Posts	Wood	Typical	Yes
Rear Deck floor	Wood	Typical	Yes
Walkway	Concrete	Typical	Yes
Windows	Not indicated	Not indicated	Needs approval
Doors	Not indicated	Not indicated	Needs approval

*Staff recommends that the front porch columns have a cap and a base.

With the staff’s final approval of the windows and doors, porch columns, roofing color and any other material information that has not yet been provided, staff finds that the known materials meet Section III.B.2.g. of the design guidelines.

Building and Roof Shape: The building is side gable form with a projecting central bay with a porch on each side of the projection. The porch roof on the front elevation does not match the porch roof shown on the side elevation. In addition, staff has concerns that the front elevation looks more like a secondary entrance with its double doors, possibly flat roof porches, a central projecting bay that does not include a principal entrance or picture-type window, and posts without caps or bases. Staff recommends a redesign of

the front elevation to have more traditional entry openings, more traditional roof porches, and a more principal façade and for the drawings to be revised to match each other.

Between the side-gabled sections the house narrows and includes a wall dormer on each side. Wall dormers are not typically appropriate, but as this section of the house will be hidden from view behind the gabled part in front of it, Staff finds it appropriate in this case.

With the condition that the front contrast greatly with the historic context, and the application meets sections III.B.2.c and III.B.2.d.

Orientation: The duplex has two primary porches that face Shelby Avenue with double doors facing the street and single doors to the side. Two concrete walkways will be added from the sidewalk to the front porches. Vehicular access to the site will be via the rear alley, which is appropriate. With the aforementioned changes to the front entries, staff finds that the infill meets Section III.B.2.e. of the design guidelines.

Proportion and Rhythm of Openings: As mentioned under “Orientation,” the double door front entries are not a typical or an appropriate entry door size for a small 1.5 story duplex. In addition, the windows on the ground floor of the front projecting bay are too small for such a prominent architectural feature and wall. There are multiple solutions such as removing the projecting bay, the front entrances to the bay or larger picture windows.

The remaining windows on the house are generally twice as tall as they are wide, thereby meeting the historic proportion of window openings. There are no large expanses of wall space without a window or door opening. Staff recommends that all paired and triple window openings have a four to six inch (4”-6”) mullion in between them.

With a redesign of the front elevation and the inclusion of four to six inch (4”-6”) mullions on all paired and triple window openings, staff finds the project’s proportion and rhythm of openings to meet Section III.B.2.f. of the design guidelines.

Appurtenances & Utilities: No fencing was included on the site plan. Staff reminds the applicant that all fencing must be reviewed and approved by MHZC. Two walkways will be added from Shelby Avenue to the front porches. The location of the HVAC units and other utilities was not noted. Staff recommends a condition that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house. With this condition, the project meets section III.i and IV.1 and 2.

Recommendation Summary: Staff recommends approval of the infill with the following conditions:

1. The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;

2. Staff recommends a redesign of the front elevation to have more traditional entry openings, more traditional roof porches, and a more principal façade.
3. New drawings be submitted that show the same porch design on both the front and side elevations;
4. All double and triple window openings have a four to six inch (4"-6") mullion in between them;
5. Staff approve the final details, dimensions and materials of windows, doors, roofing color and porch columns prior to purchase and installation;
6. The front setback is moved forward to match recently-approved new construction, and the nearest contributing building;
7. The HVAC shall be located behind the house or on either side, beyond the mid-point of the house.

With these conditions, staff finds that the proposed infill meets Section III.B.2. of the Edgefield Historic Preservation Zoning Overlay design guidelines.

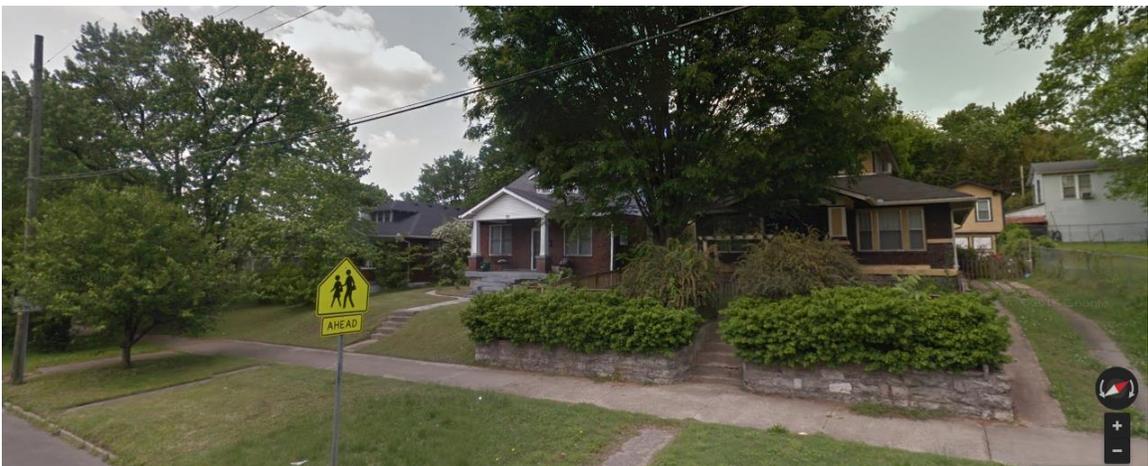
Context Photos:



Intersection of N 8th Street and Shelby Avenue, to the left of the site



View to the west of the site



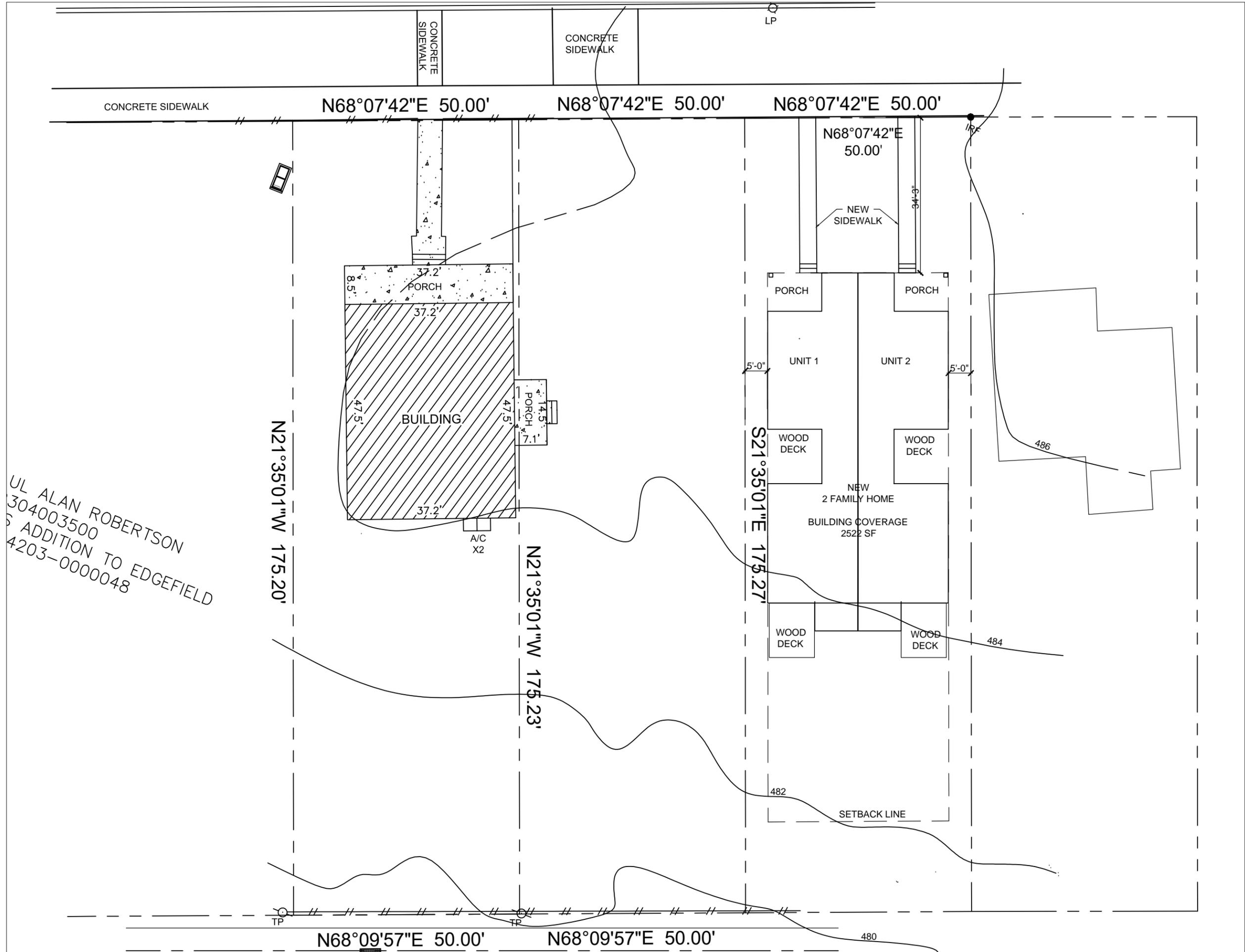
Houses across the street from the site.

NEW 2-FAMILY RESIDENCE

ADDRESS:
714 SHELBY AVE
NASHVILLE TN, 37206

Q DESIGN SHOP
615.516.9031
JQUIRAM@YAHOO.COM

SITE PLAN



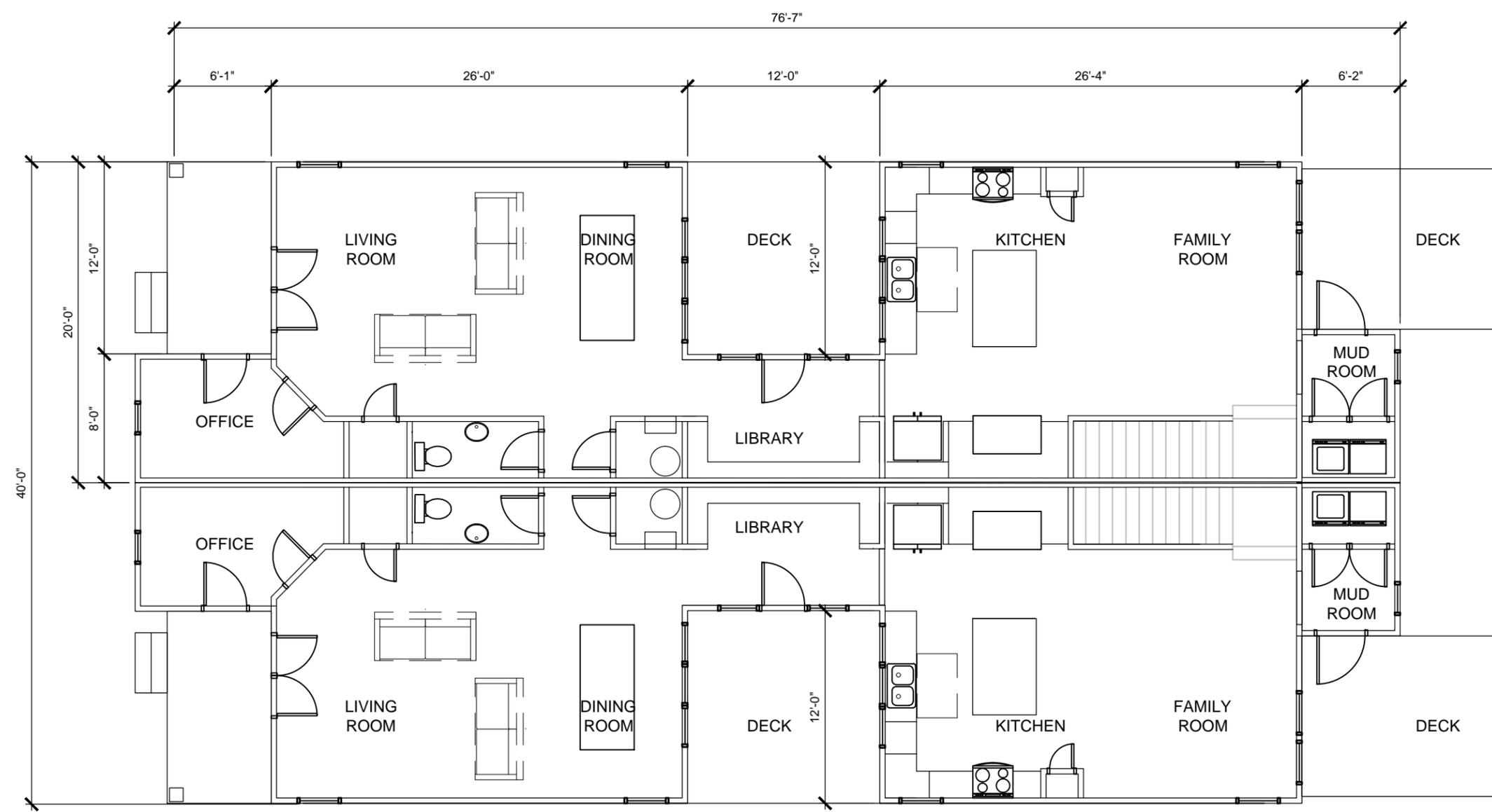
UL ALAN ROBERTSON
304003500
5 ADDITION TO EDGEFIELD
4203-0000048

NEW 2-FAMILY RESIDENCE

ADDRESS:
714 SHELBY AVE
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FLOOR PLANS



○ FIRST FLOOR PLAN SCALE 1/8" = 1'

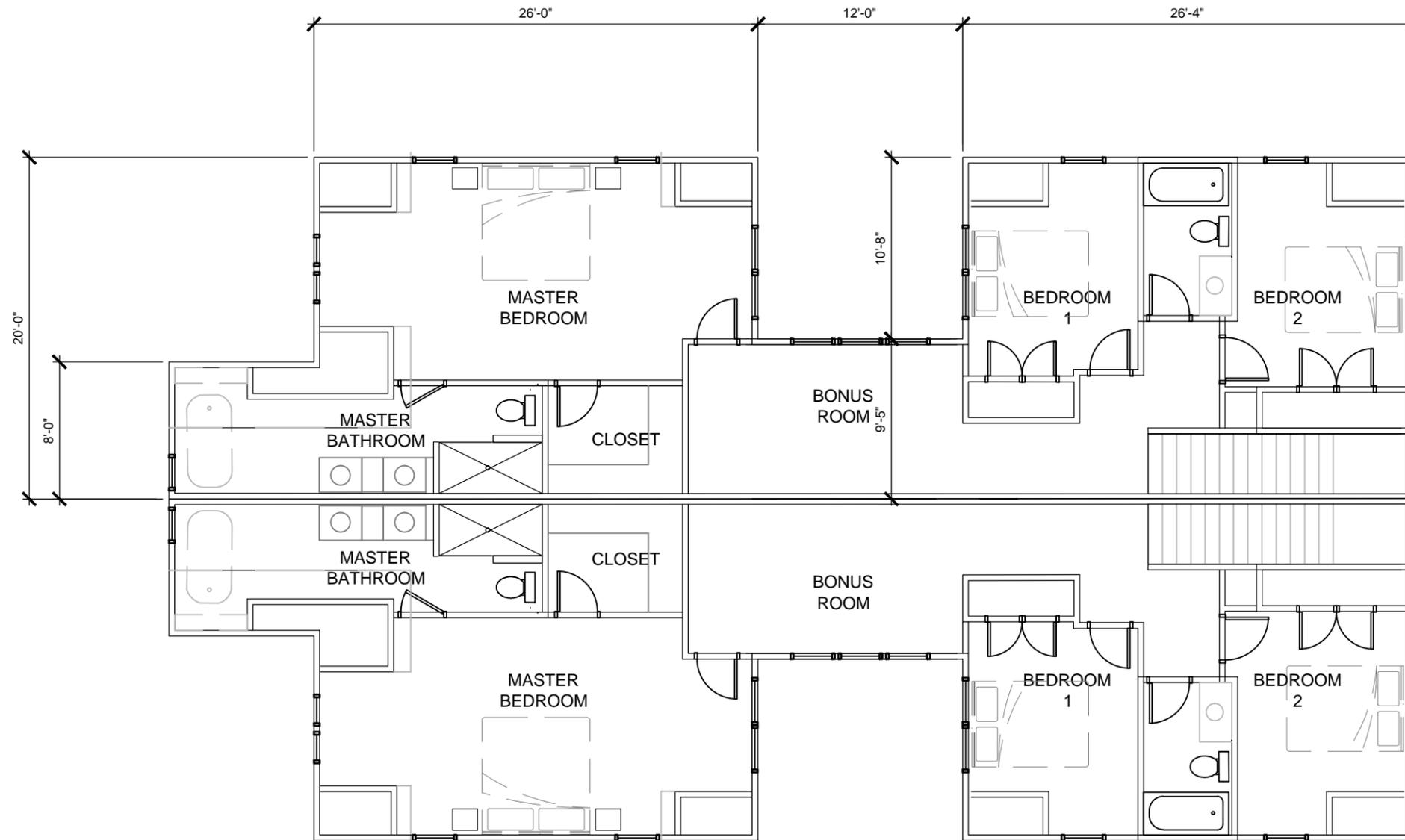
NEW 2-FAMILY RESIDENCE

ADDRESS:
714 SHELBY AVE
NASHVILLE TN, 37206

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FLOOR PLANS



○ SECOND FLOOR PLAN SCALE 1/8" = 1'

NEW 2-FAMILY RESIDENCE

ADDRESS:
714 SHELBY AVE
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ELEVATIONS



RIGHT ELEVATION SCALE 1/8" = 1'

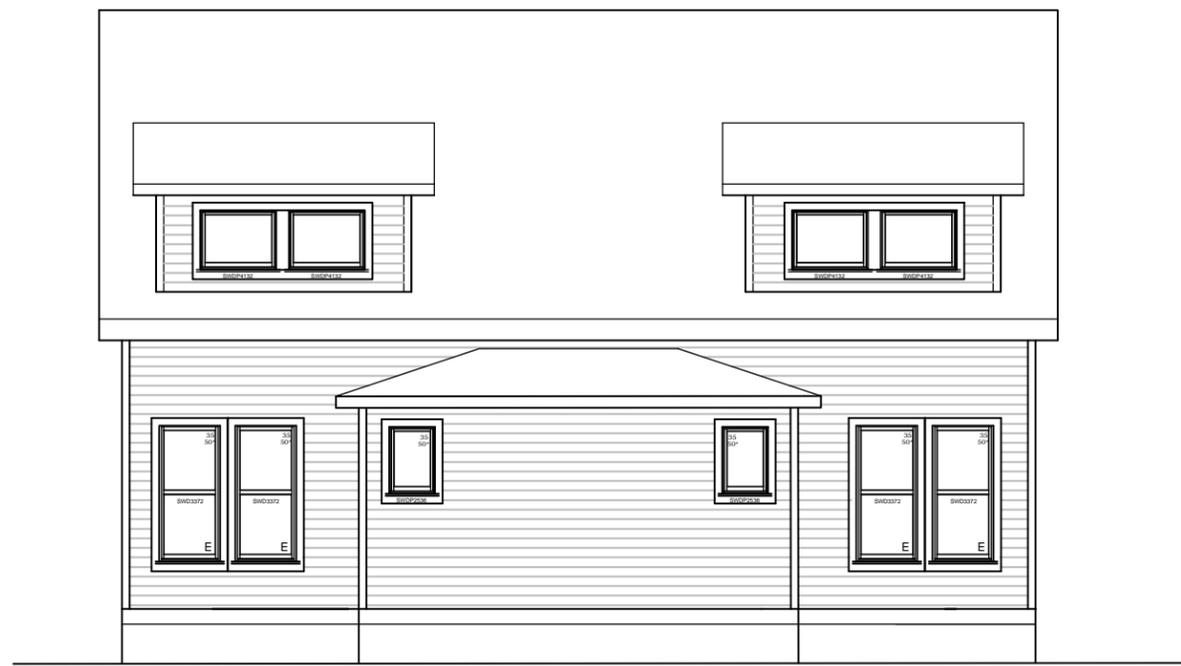


LEFT ELEVATION SCALE 1/8" = 1'



- BOARD AND BATTEN CEMENT SIDING
- DOUBLE HUNG WINDOW W/ 4" TRIM
- ARCHITECTURAL SHINGLES
- 5" SMOOTH CEMENT BOARD SIDING
- 4" SMOOTH FIBER CEMENT TRIM
- FRENCH DOOR
- 8" SPLIT FACE CMU

○ FRONT ELEVATION SCALE 1/8" = 1'



○ REAR ELEVATION SCALE 1/8" = 1'

NEW 2-FAMILY RESIDENCE

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ELEVATIONS