

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

751 Benton Avenue

April 19, 2017

Application: Setback determination - outbuilding

District: Woodland-in-Waverly Historic Preservation Zoning Overlay

Council District: 17

Map and Parcel Number: 10510031000

Applicant: Cami Ruark

Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

Description of Project: Applicant requests a rear setback determination for an already-approved outbuilding, from the approved nine feet, two inches (9'2") to five feet (5'). No changes are proposed to the height, scale or design of the outbuilding.

Recommendation Summary: Staff recommends approval of the setback determination, finding the application meets the design guidelines for the Woodland-in-Waverly Historic Preservation Zoning Overlay.

Attachments

A: Photographs

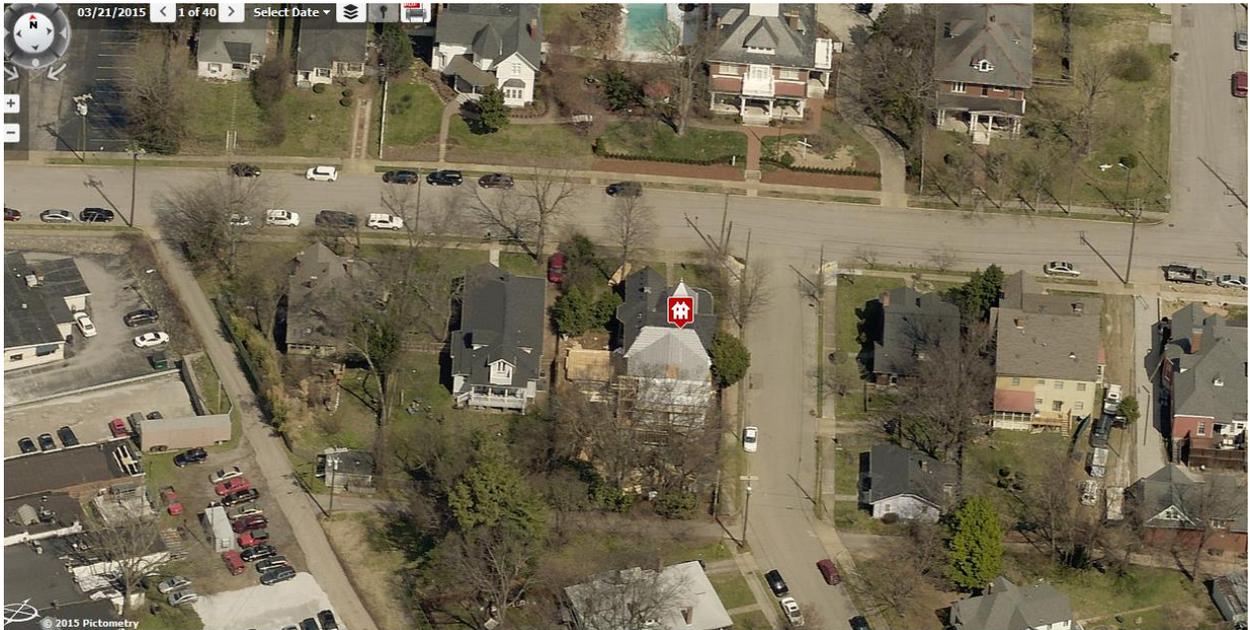
B: Site Plan

C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III. B. NEW CONSTRUCTION AND ADDITIONS TO HISTORIC AND NON-HISTORIC BUILDINGS

2. NEW CONSTRUCTION

h. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or*
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Setbacks & Site Requirements.

- To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*



Figure 1. 751 Benton Avenue

Background: 751 Benton Avenue is a contributing building in the Woodland-in-Waverly district on a corner lot. Additions to the rear and side were approved in August 2014. The Commission approved the proposed outbuilding in August 2015 with a setback of nine feet, two inches (9'2") from the rear property line.

Analysis and Findings: The applicant requests a setback determination of five feet (5') from the rear property line, to increase the separation between the outbuilding and the primary building.

Setbacks: In August 2015 the Commission approved the outbuilding with a rear setback of nine feet and two inches (9' 2"). At that time the applicant assumed that the property line was at the edge of the alley. A recent survey showed that there is a five foot (5') difference between the property line and the alley. At the setback that was approved, the distance between the rear porch of the house and the outbuilding would be approximately nine feet (9'). The applicant therefore requests a setback determination to locate the outbuilding five feet (5') from the rear property line, instead of the nine feet, two inches (9' 2") that was approved. With the setback reduced, the distance between the two buildings will be closer to fourteen feet (14'), which is more appropriate.

Staff finds the proposed setback appropriate for the following reasons: historically, outbuildings have been located near or on the rear or side property lines; there are outbuildings at this distance or closer on the same block; and recent outbuildings have been approved with a setback reduction for the rear property line. Staff finds that the project meets the design guidelines.

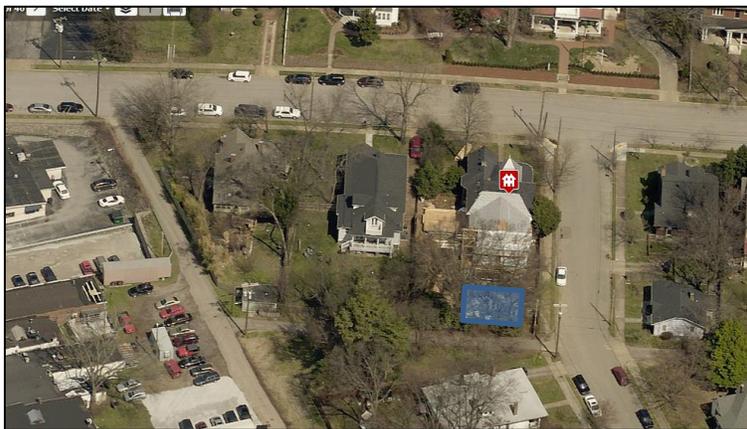
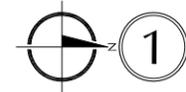
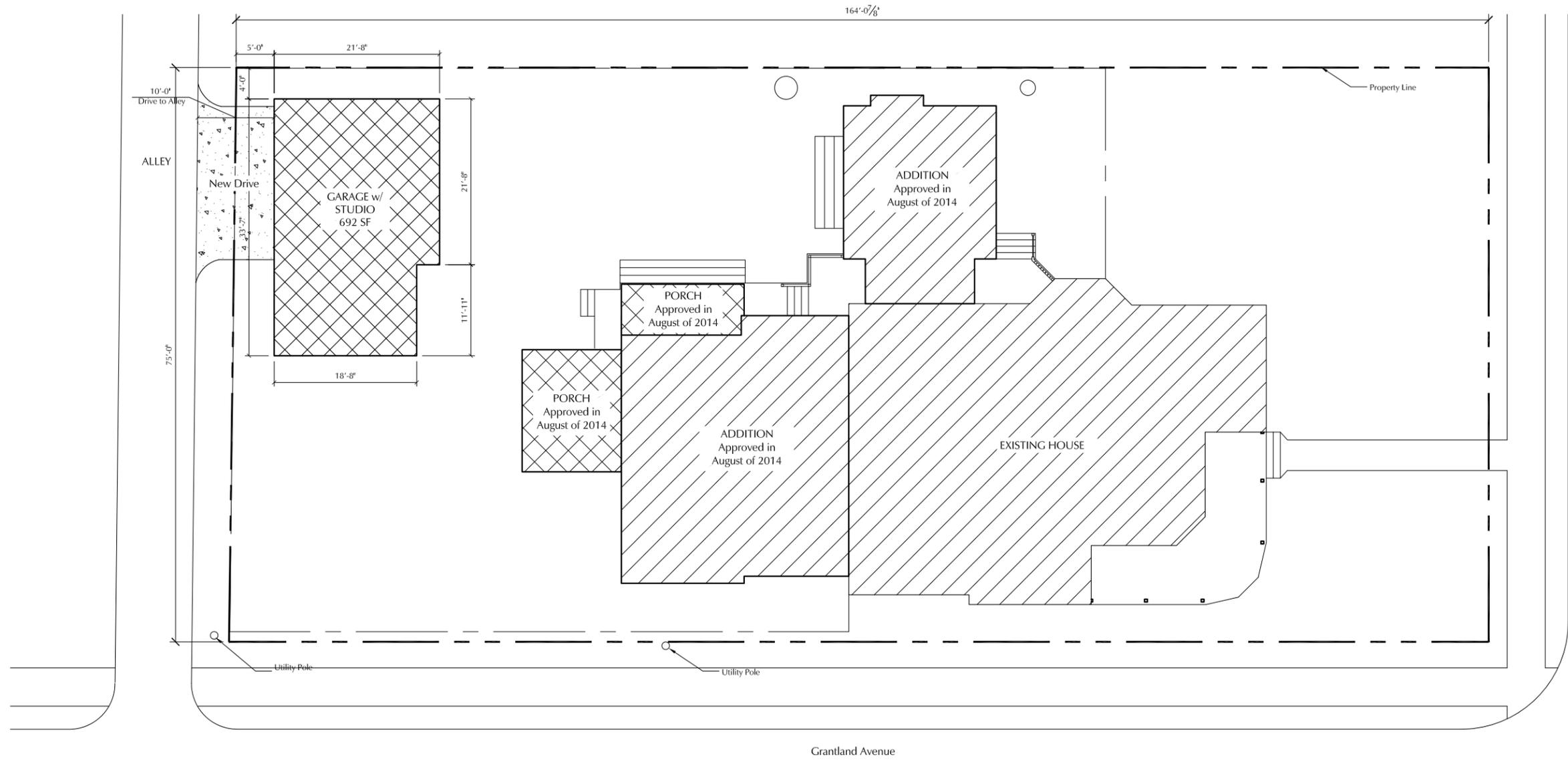


Figure 2. The approximate location of the proposed outbuilding is outlined. On the same alley is an outbuilding on the rear property line.



Figure 3. Alley view of the rear of the lot.

Recommendation: Staff recommends approval of the setback determination, finding that the application meets the design guidelines for the Woodland-in-Waverly Historic Preservation Zoning Overlay.



Site Plan



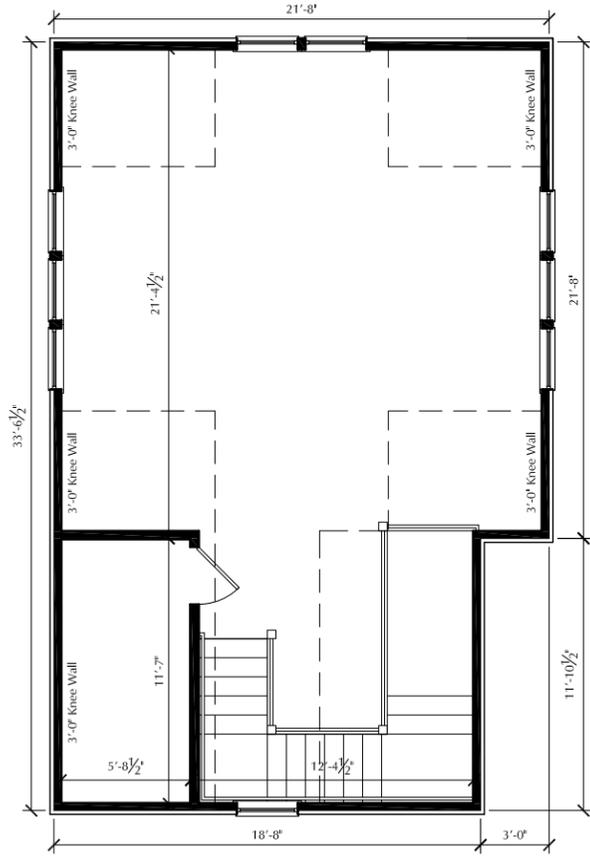
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Drawings:
Site Plan
Date:
04.03.17

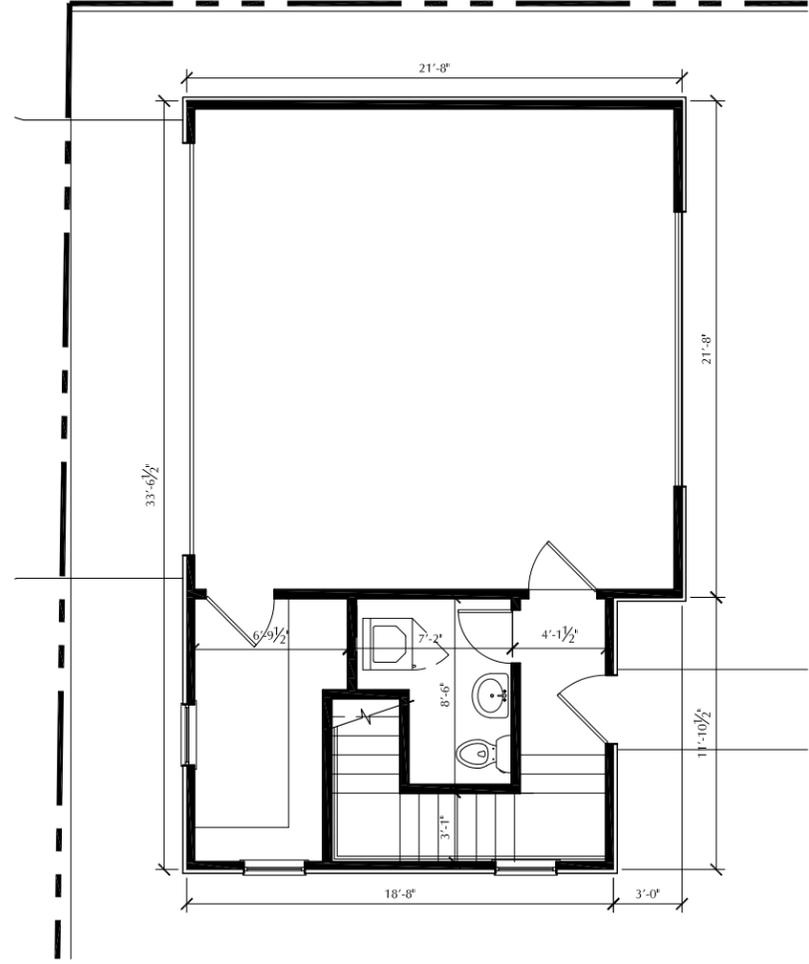
ALLARD WARD
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A New Garage for:
The Ruark Residence
751 Benton Avenue
Nashville, TN 37204

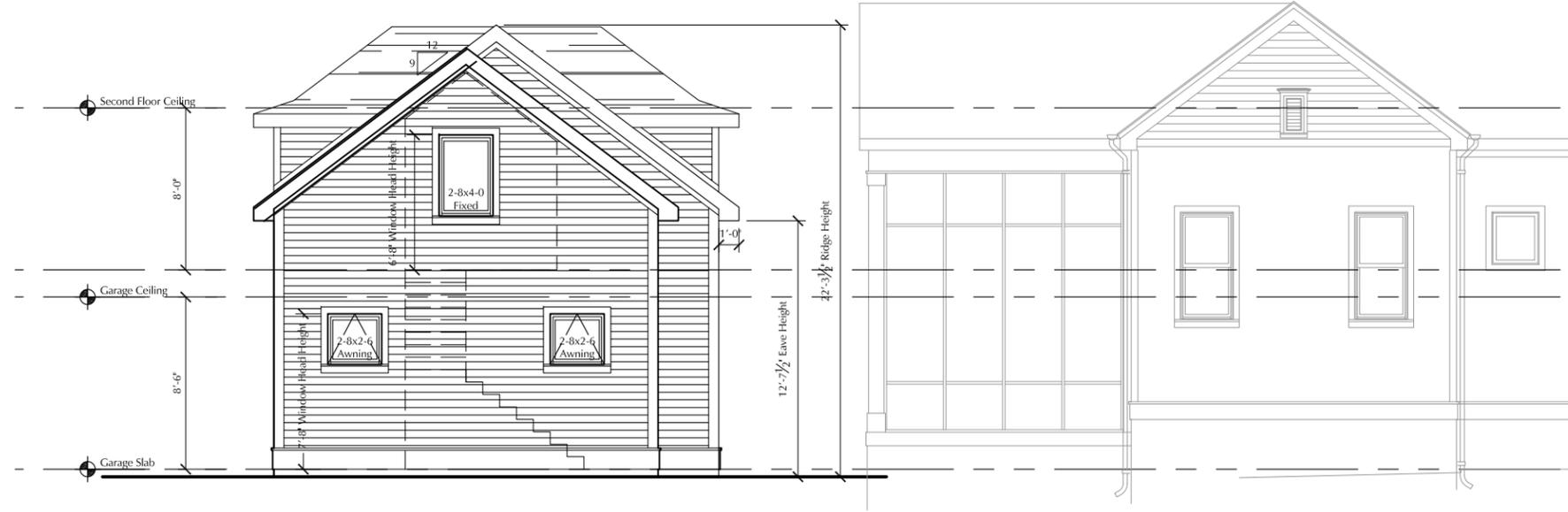
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2 Second Floor Plan
 Scale: 1/8" = 1'-0"
 2' 1' 0' 2' 4' 6' 8' 12'



1 First Floor Plan
 Scale: 1/8" = 1'-0"
 2' 1' 0' 2' 4' 6' 8' 12'



1 East Elevation (Grantland)
 Scale: 1/8"=1'-0"



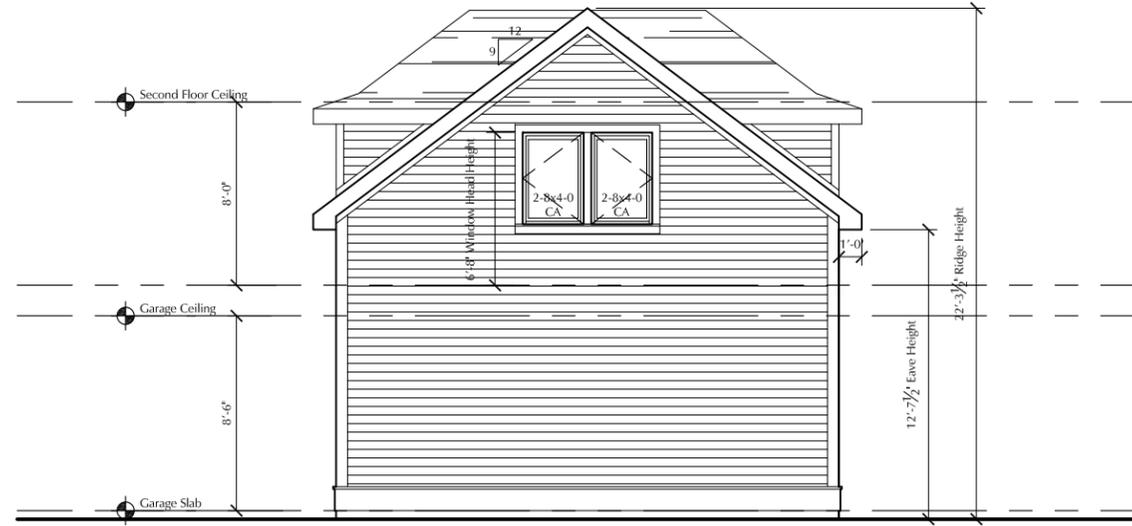
2 South Elevation (Alley)
 Scale: 1/8"=1'-0"

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 751 Benton Avenue
 Nashville, TN 37204

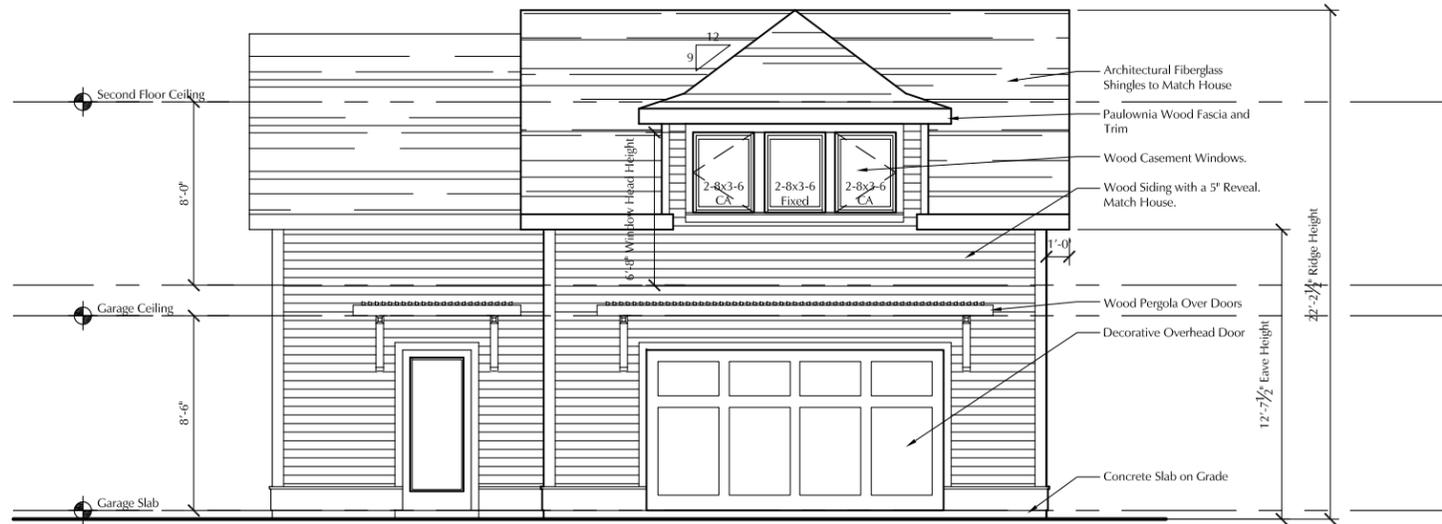
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 Fax: 615.345.1011
 allardward.com

Drawings:
 East Elevation
 South Elevation
 Date:
 04.03.17

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① West Elevation
 Scale: 1/8"=1'-0"



② North Elevation
 Scale: 1/8"=1'-0"

A New Garage for:
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 Nashville, TN 37204

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