

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

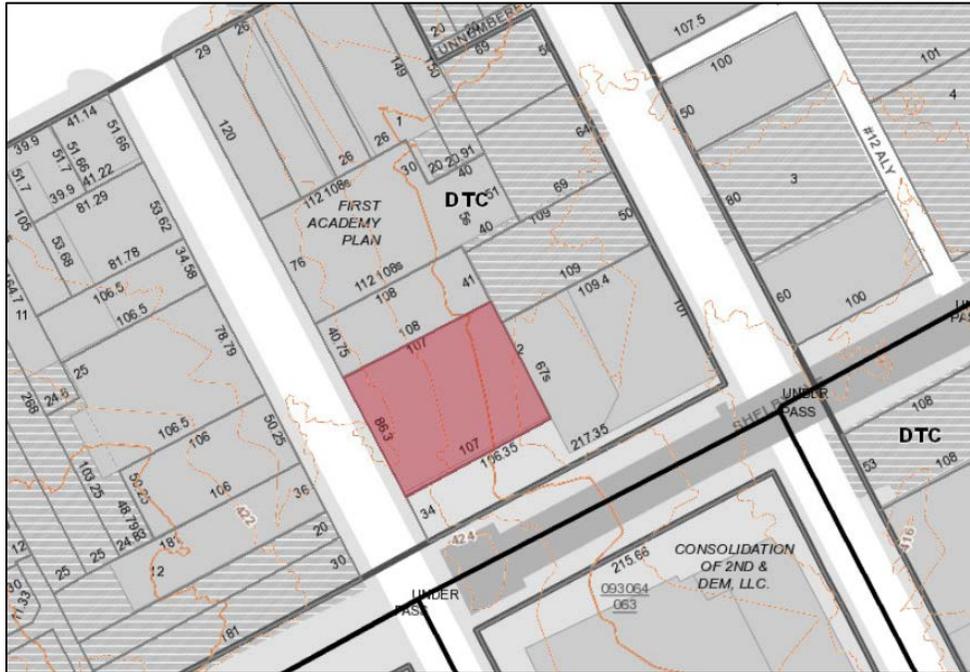
Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
120-122 Third Avenue South
May 17, 2017

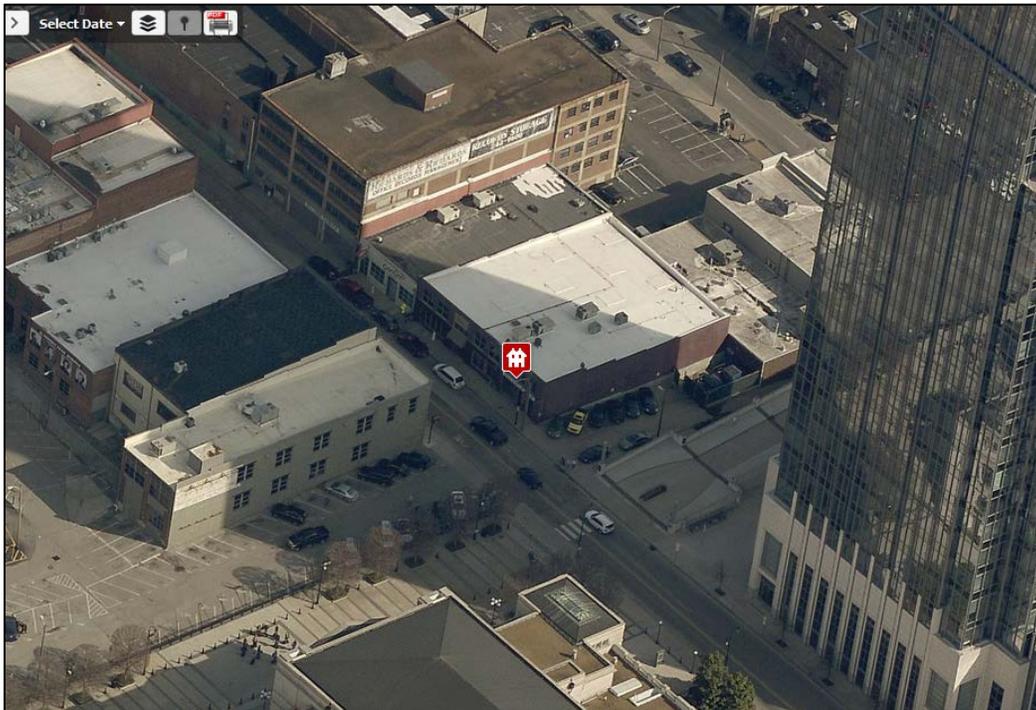
Application: Alteration: Paint
District: Broadway Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 09306405500
Applicant: Jon Field, TC Rest Group
Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

<p>Description of Project: This application is to paint this contributing building a dark brown or black color.</p> <p>Recommendation Summary:</p> <p>Staff recommends disapproval of the application, finding that the proposed paint colors do not meet Section II.M of the Broadway Historic Preservation Zoning Overlay design guidelines.</p>	<p>Attachments: A: Photographs</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. Rehabilitation

J. Brick, Stone, and Other Masonry

1. Historic masonry (brick, stone, and terra cotta) should be retained.
2. The use of detergent cleaners and chemical stain and paint removers to clean masonry or remove paint is appropriate under most conditions. Abrasive or high-pressure cleaning methods are destructive and should not be used.
3. Silicone-based water sealants are not recommended for use on historic masonry.
4. Historic masonry should remain visible and not be concealed or obscured.
5. Deteriorated or damaged brick and stone should be repaired with materials that match the original.
6. Repointing with a hard (Portland cement) mortar is destructive to historic brick and masonry. Flexible mortar, made from mixing hydrated lime cement and natural sand, should be used when repointing is necessary.
7. Mortar used in repointing should match the historic mortar in width, depth, color, raking profile, composition, and texture.
8. Bricks should be the same color and size as those of the historic wall and should be laid, jointed, tooled, and mortared in the same way as the historic wall.
9. The guidelines for paint should be followed for work to brick, stone, and other masonry.
 1. number retain original gable roof forms. These roof forms should not be altered unless based on historical documentation.
 2. Rooftop locations concealed from pedestrian view are appropriate places for climate control and other mechanical systems. Mechanical systems should be located at the rear façade and screened.

M. Paint

1. Building owners are encouraged to remove paint from masonry. Gentle, non-abrasive chemical cleaning is an appropriate way to remove paint. The exceptions to this guideline are two brick buildings which were historically painted; Tootsies Orchid Lounge at 422 Broadway and Acme Feed at 101 Broadway.
2. Painting of stone and brick is generally not appropriate.
3. The painting or staining of masonry may be appropriate if: brick has previously been painted; or if brick has been sandblasted or otherwise damaged and is too deteriorated to withstand weather. A brick color approximating the original color of the building's brick should be used.
4. Historic painted signage on exterior brick walls should be maintained.
5. Brick sealers are not recommended for exterior brick as it may cause damage to the brick face over time.

Background: 120-122 Third Avenue South is a two-story brick commercial building that dates to 1920. It is a contributing building in the Broadway Historic Preservation Zoning Overlay. To correct a painting violation from 2016, the building was painted a red brick color (Figure 2), which is in accordance with the district design guidelines.

Analysis and Findings: The applicant proposes to paint the building a dark brown or black color.

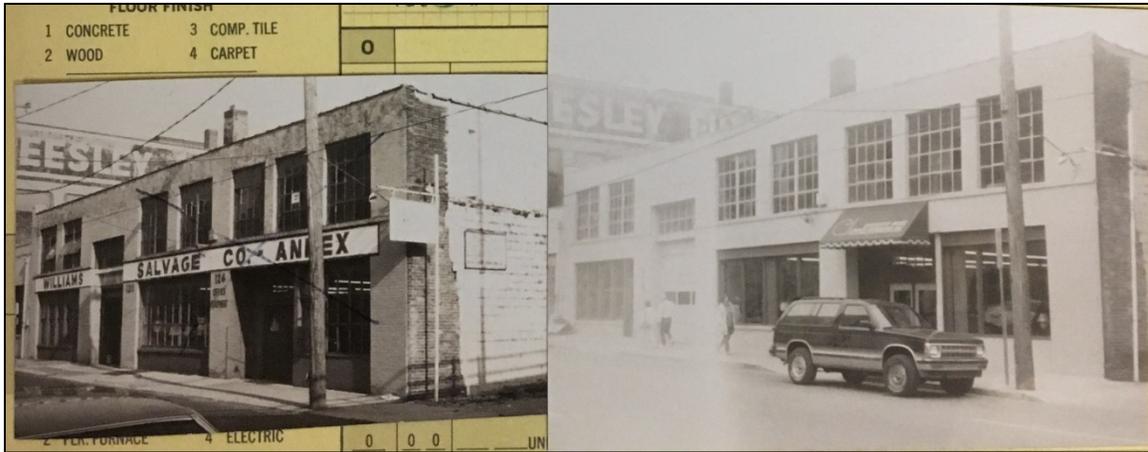


Figure 1. Historic imagery of the building painted previously



Figure 2. Current building color

Paint: The district design guidelines state that painting or staining of masonry is not appropriate unless the building has been painted previously. All imagery compiled by staff indicates that this building has been painted historically (Figure 1). The applicant is asking the Commission to consider a black or dark brown color, similar to the darkest bricks found on the adjacent building (Figure 3); however, no evidence was provided showing the original brick color.



Figure 3. Proposed paint samples



Figure 4. Adjacent building with range of brown brick coloring

There are buildings in the district that were painted historically in colors that would not be currently approved. However these examples were painted prior to the overlay being established. Staff finds that the proposed colors do not meet section II.M.1 as they are not similar to unpainted examples of historic masonry found in the district and the original color of this building is unknown, at this time.

Staff recommends that an option could be to remove the paint, exposing the original brick color and texture, an action that would meet section II.M.1 of the design guidelines. Another option is to remove a small section of paint so that the original color can be seen, meeting section II.M.3. A third option is to leave the building the current color.

Recommendation Summary:

Staff recommends disapproval of the application, finding that the proposed paint colors do not meet Section II.M of the Broadway Historic Preservation Zoning Overlay design guidelines.