

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
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STAFF RECOMMENDATION

1239 6th Avenue North

May 17, 2017

Application: Alterations; Demolition—addition; New construction—addition

District: Germantown Historic Preservation Zoning Overlay

Council District: 19

Map and Parcel Number: 08209045700

Applicant: Sarah Milke, Remick Moore Architect

Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is to alter the storefront, demolish and existing addition, and construct a new addition.

Recommendation Summary: Staff recommends approval with the following conditions:

1. Staff approve the installation technique and details of the cement fiberboard rain screen;
2. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
3. Staff approve the material and design of the balcony railing;
4. Staff approve the material and design of the awnings;
5. MHZC approve the location of the HVAC units and other utilities; and
6. The applicant return to MHZC for final approval of all permanent landscape features, including fencing, and for all signage.

With these conditions, staff finds that the proposed project meets Sections 1.0., 2.0., 4.0., and 7.0. of the Germantown Historic Preservation Zoning Overlay design guidelines.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

Attachments

A: Site Plan

B: Elevations

Applicable Design Guidelines:

1.0 Alteration & Renovation of Existing Historic Buildings

1.1 General Principles

- 1.1.1 Guidelines apply only to the exteriors of structures. Exterior alteration / renovation / construction / repair to be done on public facades shall be more carefully reviewed than that done on non-public facades. *Public facades are those that are visible from the public right of way, street or streets. Generally facades facing the alley are not considered public facades. Non-public facades are those not visible from the public right of way, street or streets.*
- 1.1.2 The painting, including paint color, of wood and metal surfaces is not reviewed by the MHZC.
- 1.1.3 Painting of masonry materials is reviewed by the MHZC.
- 1.1.4 The distinguishing qualities or character of a building, structure, or site and its environment should not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided.
- 1.1.5 Deteriorated architectural features should be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on historic, physical, or pictorial evidence.
- 1.1.6 Renovations shall be consistent with the existing building in terms of height, scale, setback, and rhythm; relationship of materials, texture and color; roof shape; orientation; and proportion and rhythm of openings.
- 1.1.7 Changes which may have taken place over the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected. Conversely, the removal of inappropriate additions is encouraged.
- 1.1.8 Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site should be treated with sensitivity.
- 1.1.9 The surface cleaning of structures should be undertaken with the gentlest means possible. Sandblasting, high-pressure water cleaning, and other highly abrasive cleaning methods that damage historic building materials should not be used.

1.2 Foundations

- 1.2.1 Original foundation materials should be retained whenever possible.
- 1.2.2 Original form, pattern, color and texture of historic foundations including decorative bents, grilles, lattice work, water tables, banding, etc., should be retained and preserved.
- 1.2.3 Front porches should utilize solid masonry or masonry pier foundations, constructed of brick, limestone, or split-face CMU. Spaces between masonry piers may be filled with open lattice.
- 1.2.4 Main building foundations may be of the pier or solid perimeter form, utilizing brick, limestone or split-face CMU.
- 1.2.5 Painting of stone, brick and other masonry is generally not appropriate. The painting or staining of brick may be appropriate if: brick has previously been painted; or if brick has been sandblasted or otherwise damaged and is too deteriorated to withstand weather. A brick color approximating the original color of the building's brick should be used.

1.3 Walls/ Exterior Materials

- 1.3.1 Original building materials should be retained whenever possible.
- 1.3.2 Appropriate wall materials include brick and wood clapboard with stone, terra cotta, and stucco being used for decoration/trim.
- 1.3.3 If material replacement is necessary, it should be with original materials or close visual approximations of the original.
- 1.3.5 Masonry: Original masonry including brick, stone, and terra cotta should be retained and shall remain visible. Concealing or obscuring historic masonry is not permitted.
1. Deteriorated or damaged brick, stone or other masonry should be repaired with materials that match the original.
 2. Re-pointing should be done with care to match the original mortar color and joint profile.

- Portland cement can damage historic brick and should not be used. Soft, lime based mortars are more appropriate for use with historic brick. Original tooling configuration and joint width and depth should be maintained. Extreme care should be taken when cutting out joints for repointing.
3. Painting of stone and brick is generally not appropriate. The painting or staining of masonry may be appropriate if: brick has previously been painted; or if brick has been sandblasted or otherwise damaged and is too deteriorated to withstand weather. A paint color approximating the original color of the building's brick should be used.
 4. Silicone-based water sealants are not recommended for use on historic masonry. Brick sealers are not recommended for exterior brick as it may cause damage to the brick face over time. Building owners are encouraged to remove paint from masonry. Gentle, nonabrasive chemical cleaning is an appropriate way to remove paint. The use of detergent cleaners and chemical stain and paint removers to clean masonry or remove paint is appropriate under most conditions. Abrasive or high-pressure cleaning methods are destructive and should not be used.

1.7 Architectural Details

(Features may include brackets, finials, decorative trim and bargeboards, attic vents, etc.)

- 1.7.1 Original architectural features should not be removed or obscured.
- 1.7.2 Irreparable features should be replaced with close visual approximations of the original using historically appropriate materials.
- 1.7.3 Architectural features of any period or style not original to the building should not be introduced.
- 1.7.4 Original decorative elements such as cornices, brick corbelling, arches, brackets, detailing should be retained without alteration.
- 1.7.5 Decorative or ornamental detailing should not be added to buildings unless there is physical or photographic evidence that shows the detailing was original to the building. New designs should be appropriate to the style and period of the building.

1.9 Utilities/Mechanical

- 1.9.1 Utility connections such as gas meters, electric meters, electric service mast and power lines, phone, cable, and HVAC condenser units should be located at the rear of a building so as to minimize their visibility from the street. If the rear yard is not a viable location, then the rear half of the side yard would be appropriate for their placement. Utilities or mechanical equipment shall be screened from view with no deciduous plantings or low walls/fencing. New utilities and mechanical equipment shall not be installed on the primary façades of buildings.
- 1.9.2 The installation of mechanical systems should not result in the removal or obstruction of historic building elements.

1.10 Historic Commercial Buildings

- 1.10.1 **Storefronts:** Historic storefronts and their component elements such as doors and entryways, display windows, transoms, bulkheads, pilasters and columns, and cornices, and other aspects of appearance including the original entrance configuration, plane, and recess should be retained. Deteriorated or damaged storefronts or component elements should be repaired using historically appropriate materials. If replacement storefronts or component elements are necessary, replacements should be compatible with the materials, composition, design, texture, and general appearance of the original. Replacements should use physical or photographic evidence to replicate the original appearance. If evidence is not available, the replacement storefront should use arrangement, features, materials, and proportions typically found on buildings of the same style and period of the building involved.
- 1.10.2 **Street-Level Facades:** Original street-level facades, including storefronts, doors and entryways, windows, transoms, bulkheads, and pilasters and columns, should be retained, and if needed, repaired using historically appropriate materials and methods. Replacements of non-original street-level facades should be in keeping with the style and period of the building. The use of contemporary materials for the replacement elements of commercial street-level storefronts may be appropriate if they possess characteristics similar in scale, design finish, texture, durability, and detailing to historic materials and meet *The Secretary of the Interior's Standards*.
- 1.10.3 **Rear Elevations:** Rear elevations are service-oriented, and are an appropriate location for infrastructure elements such as mechanical systems, utility meters and connections, and fire stairs.

Generally, original materials and features on rear elevations should be preserved and maintained. The appearance of rear elevations can be enhanced through the screening of infrastructure elements.

- 1.10.4 **Display Windows:** Original display windows and their component elements should be retained. Deteriorated or damaged display windows should be repaired using historically appropriate materials. If replacement display windows are necessary, replacements should replicate the originals. If original display windows do not exist, replacements should be appropriate for the building's style and period. Appropriate replacement elements include individual or grouped single-light clear-glass panes and simple wood, copper, bronze anodized aluminum, or baked enamel aluminum frames. Glazing should be clear glass. Ornamental, frosted, spandrel, or stained glass display windows are not appropriate. Display windows should remain visible and not be concealed or enclosed. If privacy or shade other than that afforded by awnings is needed, interior shades or blinds are appropriate.
- 1.10.5 **Transoms:** Original transoms and their component elements should be retained. Deteriorated or damaged transoms should be repaired using historically appropriate materials. If replacement transoms are necessary, replacements should replicate the original. If original transoms do not exist, replacements should be appropriate for the building's style and period. Appropriate replacement elements include single or multi-light clear-glass panes and simple wood or metal frames. Historic transoms should remain visible and not be covered or enclosed.
- 1.10.6 **Bulkheads:** Original bulkheads and their component elements should be retained. Deteriorated or damaged bulkheads should be repaired using historically appropriate materials. If replacement bulkheads are necessary, replacements should replicate originals. If original bulkheads do not exist, replacements should be appropriate for the building's style and period of construction. Appropriate replacement elements include paneled and painted wood, brick, and metal. Historic bulkhead materials should remain visible, not concealed beneath added materials.
- 1.10.7 **Pilaster and Columns:** Original pilasters and columns should be retained. Applying paint or another surface treatment is an appropriate preservation measure. Deteriorated or damaged columns and pilasters should be repaired using historically appropriate materials. If replacement pilasters or columns are necessary, replacements should replicate originals. Appropriate replacement materials include wood or masonry. Owners are encouraged to replace pilasters and columns that were original to the building but have been removed.
- 1.10.8 **Cornice:** Original cornices and other detailing should be retained. Deteriorated or damaged cornices or other detailing should be repaired using historically appropriate materials. If replacement cornices are necessary, replacements should replicate the originals. If original cornices do not exist, replacements should be appropriate for the building's style and period. Appropriate replacement materials include sheet metal and wood. Owners are encouraged to replace cornices that were original to the building but have been removed.
- 1.10.9 **Secondary and Upper Facades:** Original façades and their component elements such as windows, walls, masonry, decorative elements, roofs, and chimneys should be retained and, if needed, repaired using historically appropriate materials and methods. Replacements to facades should be in keeping with the style and period of the building. The use of contemporary materials for the replacement elements of facades may be appropriate if they possess characteristics similar in scale, design finish, texture, durability, and detailing to historic materials and meet *The Secretary of the Interior's Standards*. Interior changes that affect the exterior appearance of facades, including changing original floor levels, should be avoided.

2.0 New Construction within historic context

2.1 General Principles

- 2.1.1 Guidelines apply only to the exteriors of new construction. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets. Non-public facades are those not visible from the public right of way, street or streets. Facades facing the alley are generally not considered public facades.*
- 2.1.2 Construction in Historic Germantown has taken place continuously from the mid-19th through the early 20th centuries and a variety of building styles and types have resulted. New buildings should continue this tradition while remaining compatible with the existing historic context. Because a great variety of historic building forms exist within Germantown, more flexibility in design is possible than might be the case for more architecturally homogenous historic neighborhoods.

- 2.1.3 Because new buildings should relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of the street, a dominance of the pattern and rhythm should be respected and should not be disrupted.
- 2.1.4 New construction should be consistent and compatible with existing buildings along a street in terms of height, scale, setback, relationship of materials, texture and color; roof shape; orientation; and proportion and rhythm of openings.
- 2.1.5 Reconstruction of a historic building which no longer exists may be appropriate if it meets these criteria: it was formerly located on the site on which the reconstruction is proposed; it contributed to the historic and architectural integrity of the area; it was compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the site; and pictorial documentation supports its accuracy.
- 2.1.7 The MHZC does not review paint colors on wood or metal surfaces.
- 2.1.8 Painting of masonry materials is reviewed by the MHZC.

2.2 Site and Building Planning

2.2.1 Setbacks

- 1. Maintain the prevailing setbacks from the street within a block.
- 2. When a definite rhythm of spacing along a street is established by existing lot and building width, infill construction shall maintain that rhythm.
- 3. Wings, porches, and secondary building elements should be at similar setbacks to existing context.
- 4. Corner Lots: New construction should appropriately address setbacks on both streets.
- 5. Alley Setback: Setback from any alley (rear or side) shall be a minimum of 5 feet in order to retain the historic urban street character.
- 6. Corner Commercial: Historic corner commercial buildings within the NR historic district were typically built to the property line/sidewalk. Setbacks for the construction of new corner commercial structures shall be compatible with this historic precedent.

2.2.2 Orientation: The orientation of a structure's primary facade shall be consistent with that of adjacent historic buildings.

2.2.3 Massing and Scale

- 1. In new construction, the size of a building, its mass in relation to open spaces and its windows, door openings and porches should be visually compatible with the surrounding buildings.
- 2. The visual mass of the building shall be at or near the same setback as buildings on adjacent sites.
- 3. When multiple lots or parcels are assembled within the district, buildings shall be designed to be compatible with the adjacent structures. New structures shall employ design techniques that break the facades into multiple vertical elevations.

2.2.4 Height

1. New buildings shall be constructed to a height which is compatible with the height of adjacent buildings. *Characteristics of the following shall be considered in determining compatibility of height; adjacent properties, historical precedent, height of existing historic structures within the District, location within the District, topography and view corridor.*

Generally, historic single-family residential structures are one or two stories in height.

Special features of limited height such as towers or turrets may be acceptable.

Greater height may be appropriate for commercial and multi-family structures, where there is a lack of historic context along a block.

Consideration may be given to the physical characteristics of a property in determining compatible heights (e.g. exceptional topographic condition, lot size and/or lot shape) In such cases, where height may be greater, height is guided by the Germantown Detailed Neighborhood Design Plan, a component of the General Plan of the Government of Nashville and Davidson County, while ensuring an appropriate transition to smaller historically significant buildings that abut or are across the street or alley from a proposed new building.

2.3 Foundations

- 2.3.1 The foundation height shall be visually compatible, by not contrasting greatly, with those of surrounding historic buildings.

- 2.3.2 For new structures, brick, limestone or split-face concrete block may be used for either pier or solid perimeter foundations. Intervening spaces may be filled with an open lattice work.
- 2.3.3 Foundation access doors shall be located on the side or rear of the building. Slab-on-grade foundations may be appropriate for commercial buildings. Slab-on-grade foundations are generally not appropriate for residential infill buildings.

2.4 Walls/Exterior Materials

- 2.4.1 Masonry materials and wood siding were primarily used in the district and should continue to be predominant. Other materials may be used if they possess characteristics similar in scale, design, finish, texture, durability, and detailing to historic materials and meet *The Secretary of the Interior's Standards*.
- 2.4.2 The relationship and use of materials, texture, details and material color of a new building's public facades shall be visually compatible with and similar to or shall not contrast conspicuously with those of adjacent historic buildings.
- 2.4.3 Large expanses of featureless wall surface are not appropriate. It is most appropriate for materials to change between the foundation to the first floor.
- 2.4.4 Exterior Insulation Finish Systems (E.I.F.S) and vinyl siding are not appropriate exterior materials.
- 2.4.5 Traditional brick colors range from dark red-orange to dark red. The use of "antique" reproduction or multi-colored brick is not permitted.
- 2.4.6 Clapboard siding should exhibit an exposure of 3 to 5". Wood or composite siding and trim (ex. Hardi-plank) are appropriate. Composite materials must match the visual and durability characteristics of wood.

2.5 Doors

- 2.5.1 The relationship of width to height of doors and the rhythm of solids (*walls*) to voids should be compatible with surrounding buildings. (*Exterior doors often have transoms, giving them a tall, narrow proportion.*)
- 2.5.2 Primary entrances shall be in locations similar to those used historically for primary entrances.
- 2.5.3 Door openings should be recessed (2" minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
- 2.5.4 Front doors shall be wood and at least half-glass.

2.6 Windows

- 2.6.1 The relationship of width to height of windows and the rhythm of solids (*walls*) to voids should be visually compatible with surrounding buildings. (*Exterior windows are generally tall and narrow in proportion*)
- 2.6.2 Tinted, reflective, or colored glass are generally not appropriate.
- 2.6.3 Window openings should be recessed (2" minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
- 2.6.4 For new commercial structures a significant portion of the street level façade shall be transparent (i.e., doors and windows) to provide visual interest and access for the pedestrian.
- 2.6.5 On corner commercial buildings, glazing shall address both streets.

2.6 Porches / Entrance/ Recessed Entries

- 2.6.1 Primary building entrances should be oriented towards the street.
- 2.6.2 Within the district front porches and recessed entries are common on residential and commercial buildings. New construction (specifically of single and multi family homes) shall provide an entry that utilizes elements of a porch to create a transition from the outside (*public domain*) to the inside (*private domain*).
- 2.6.3 The height of porch roofs shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- 2.6.4 Entrances to commercial buildings should be recessed.

2.7 Roof

- 2.7.1 The roofs of new buildings should be visually compatible by not contrasting significantly with the roof shape, pitch, and orientation of surrounding buildings. (*Predominant roof shapes are gables and hips with slopes ranging from 35 to 50 degrees, 7/12 to 14/12*).
- 2.7.2 Roof-top equipment, skylights, solar panels, and roof penetrations located on or attached to the roof shall be located so as to minimize their visibility from the street. *Generally, they should be placed rear of the mid-point of the building.*
- 2.7.3 Within the district are surviving examples and/or pictorial evidence of commercial, multi-family, and institutional buildings having a low slope roof behind a parapet wall. Therefore, low slope roofs may be appropriate for buildings of similar use within the district.

2.8 Utilities / Mechanical

- 2.8.1 Utility connections such as gas meters, electric meters, electric service mast and power lines, phone, cable, satellite TV and HVAC condenser units should be located so as to minimize their visibility from the street. Exterior utilities and mechanical equipment shall generally be located in the rear or side yard and/or screened when visible from the street.
- 2.8.2 Appurtenances related to new buildings and additions, should be visually compatible with the environment established by surrounding existing buildings and the site on which they are located.

4.0 Additions

An ADDITION consists of an extension to an existing structure that increases the floor area or height of that structure.

4.1 General Principles

- 4.1.1 Guidelines apply only to the exteriors of new additions. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets – Generally facades facing the alley are not considered public facades. Non-public facades are those not visible from the public right of way, street or streets.*
- 4.1.2 The guidelines for Section 2 New Construction shall apply to all additions.

4.2 Additions to Historic Buildings

- 4.2.1 Additions should not obscure or contribute to the loss of historic character-defining features or materials.
- 4.2.2. Additions to existing historic buildings shall be compatible in scale, materials and texture; additions shall be visually compatible by not contrasting greatly with the existing historic building. Additions to historic buildings should be done in such a manner that, if such additions were to be removed in the future, the essential form and integrity of the original structure would not be impaired.
- 4.2.3 Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different exterior cladding.
- 4.2.4 The creation of an addition through enclosure of a front porch is not permitted. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.
- 4.2.5 contemporary designs for additions to existing historic properties may be permitted when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, material color, material, and character of the property, neighborhood, or environment.

5.0 Site Improvements/ Appurtenances

Site improvements or appurtenances include fences, walls, sidewalks, paving or driveways, parking areas, exterior lighting, utility connections, and other permanent landscape features.

Historic architecturally-significant site improvements should be maintained, and repaired using historically appropriate materials and methods.

5.1 Fences & Walls

Character-defining features of historic fences and stone retaining walls including gates, decorative pickets, finials, and hardware should be preserved. Repair rather than replace fence and wall materials. For irreparable elements replacement features shall match the original features.

5.1.2 Fences or walls may be utilized to demarcate property lines and screen private areas from public view.

5.1.3 New fences and walled areas shall be compatible with the building site and streetscape in terms of location, height, opaqueness; design, style, materials composition, scale, proportion, color and texture.

Consideration of the physical characteristics of a property and its use will be given in determining appropriate fence heights and location (e.g. exceptional topographic condition, lot location within the District (street corners etc), adjacent to non compatible use, lot size and/or shape)

Walls of solid masonry construction within the front setback are permitted up to 24" in height.

Fences shall be constructed of wood, metal or masonry. Vinyl is generally not an appropriate fencing material.

The combination of fences and walls in front setbacks shall not exceed 48". Generally side yard fences from the street to a distance of 10' behind the front (public) façade shall not exceed 48".

Side yard fences shall be located a minimum of 10' behind the front (public) façade and shall not exceed 72" in height. (Exception: Fences may be 96" in ht. when the top 24" is open in nature).

Rear yard / privacy fences shall not exceed 72". (Exception: Fences may be 96" in height when the top 24" is open in nature).

5.1.4 Coordination of style and materials with adjacent properties is encouraged where appropriate.

5.1.5 In general chain link fencing is not appropriate. Black or dark green chain link fencing may be used for pet enclosures or at the rear of the lot when it is screened from public view.

5.2 Sidewalks

5.2.1 New sidewalks or walkways should remain visually compatible with the materials and placement of historic walkways.

5.2.2 Curb cuts on public streets are generally not appropriate. The removal of existing curb cuts on primary streets (where a lot can be accessed from the alley) is encouraged to bring non conforming properties into conformance.

5.2.3 Original sidewalks and walkways, including details such as original curbstones, brick, etc., should be preserved in their original state as closely as possible. Special care shall be taken to preserve existing specimen trees and significant landscape elements.

5.2.4 Pathways and walkways providing access to buildings shall be serviceable and relate to the building in scale, width, placement and material.

5.2.5 Brick, concrete, concrete pavers, stone, and stepping stones are appropriate walkway materials.

5.3. Paving/Driveways/Parking Areas and Parking Lots

5.3.1 The predominant vehicular access to properties within the District should continue to be through the use of alleys. It is acknowledged that in some cases alley access may not be possible or practical. In this case, curb cuts and driveways at the public street should be minimized and the width of parking access should be limited. Curb cuts and driveways shall be located so they are visually less dominant.

5.3.2 Vehicular access to new developments (specifically large lot developments) shall be executed with techniques that minimize interruption to the sidewalk network and the pedestrian environment. Cross access between parking areas to minimize street curb cuts and adjacent driveway is encouraged.

5.3.3 Parking structures should generally be located below or behind buildings and landscaped to mitigate their visual impact.

5.3.4 Parking structures that are located close to the sidewalk are encouraged to include retail uses at street level to minimize the visual impact of the structure and engage the pedestrian network - Where street level retail uses are not feasible, architectural treatments shall be used to modulate the façade breaking the mass and horizontal lines typical of parking structures. Facades of parking structures facing public streets shall have flat (non sloping) floor plates.

5.3.5 Shared parking facilities that efficiently utilize parking spaces are encouraged.

5.3.6 Garages and carports shall be accessed from the service alley as is typical in the district. For residential lots new curb cuts on public streets are generally not appropriate. Where a lot can be accessed from the alley, the removal of existing curb cuts on primary streets is encouraged.

Where an existing lot cannot be accessed from the alley executed vehicular access shall be executed with techniques that minimize interruption to the sidewalk network and the pedestrian environment.

5.3.7 Swimming pools are to be located in the rear yard or appropriately screened from view and set back from the street; fencing around swimming pools required by zoning or inance must comply with these design guidelines.

5.3.8 Portable storage buildings less than 100 square feet are not reviewed by the MHZC.

5.4 Exterior Lighting/ Miscellaneous

5.4.1 Dumpsters and other trash containers shall be located with techniques that minimize interruption to the sidewalk network and the pedestrian environment. The most appropriate location for dumpster and trash containers is in the rear yard or alley and screened from public view.

5.4.2 Exterior lighting fixtures shall be compatible in style, size, scale and material with the character of the structure and neighborhood.

5.4.3 Avoid spilling light onto adjacent structures, signs, or properties.

5.4.4 Ground mounted light fixtures/spotlights shall be screened from public view.

7.0 Demolition

7.1 General Principles

7.1.1 Since the purpose of historic zoning is to protect historic properties, the demolition of a building that contributes historically and architecturally to the character and significance of the district is not appropriate and should be avoided.

7.1.2 Demolition is considered the removal of any structure or portion of a structure that affects the visual appearance of the building from the exterior. It includes the removal of floors or sections of the building that are enclosed by the original façade.

7.2 Guidelines

7.2.1 Demolition is not appropriate if a building or a major portion of a building contributes to the architectural or historical significance or character of the district.

7.2.2 Demolition is appropriate if a building or a major portion of a building does not contribute to the historical or architectural character and importance of the district.

7.2.3 Demolition is appropriate if a building or a major portion of a building has irretrievably lost its architectural and historical integrity and importance, and its removal will result in a more historically appropriate visual effect on the district.

7.2.4 Demolition is appropriate if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420, as amended, of the historic zoning ordinance.

7.2.5 Where demolition has been allowed, MHZC may require historic structures to be documented through photographs, a site plan and floor plans, and those significant architectural components of a building are salvaged.

Background: 1239 6th Avenue North is a c. 1890s brick commercial structure that contributes to the historic character of the Germantown Historic Preservation Zoning Overlay (Figure 1). It is located at the corner of 6th Avenue North and Monroe Street.



Figure 1: Front of building.

Analysis and Findings: Application is to alter the storefront, demolish and existing addition, and construct a new addition.

Demolition. The applicant is proposing to demolish the existing rear extension (Figure 2). The date of construction of the rear addition is not known, but the 1914 and 1957 Sanborn maps show that there were rear extensions to the structure historically, but their size and depth are different now than they were then (Figures 3 & 4). Staff finds that the rear extension's materials, form, roof slope, fenestration pattern, and date of construction do not contribute to the historic character of the historic commercial structure. Staff therefore finds that its removal meets Section 7.0 of the design guidelines.



Figure 2 shows the rear addition that will be demolished.

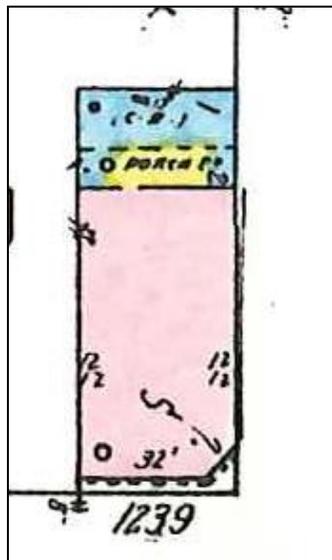
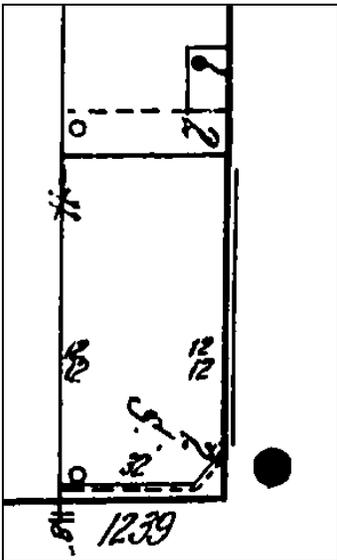


Figure 3 (left) is the 1914 Sanborn Map. The rear extension is shown here as a two-story porch structure with a small one story addition. Figure 4 (right) is the 1957 Sanborn Map. Part of the addition is a two story porch, and the other part is a one-story concrete block structure.

Alterations. The applicant is proposing few changes to the historic structure. The wood trim will be painted, and the brick will remain unpainted. MHZC does not review painting of wood surfaces. The existing storefront will remain, and the tiles underneath the storefront will either be retained or replaced in kind. These tiles date to the late 1980s and replicate an historic condition. The existing storefront awning will be repaired and

repainted as necessary. Staff finds that the proposed alterations to the historic structure to meet Sections 1.0 and 1.10. of the design guidelines.

Addition Setbacks. 1239 6th Avenue North is zoned MUN, which does not have side setbacks. The proposed addition meets all base zoning setbacks. It will line up with the wall of the existing historic structure along Monroe Street, abutting the property line. It will be eight feet (8') from the edge of the sidewalk. On the left side, it will extend four feet (4') wider than the historic structure and will be four feet (4') from the side property line. It will be approximately eighty-eight feet (88') from the rear property line. Staff finds that the proposed setbacks meet Sections 2.2.1. and 4.0. of the design guidelines.

Addition Orientation. The proposed addition does not alter the historic structure's orientation addressing the corner of 6th Avenue North and Monroe Street. The primary entry to the building will remain at the historic structure's chamfered corner entrance. There will be a secondary entrance at the rear of the structure, which is appropriate. No vehicular entrance or parking is marked on the site plans. Staff finds that the proposed addition's orientation meets Sections 2.2.2. and 4.0. of the design guidelines.

Addition Massing, Scale and Height: The addition will be two stories and will match the height of the lower parapet part of the historic structure, which is appropriate. There will be a six inch by six inch (6" X 6") deep channel separating the addition from the historic structure on the Monroe façade. Because the existing addition that is to be removed did not inset from the Monroe wall of the historic structure, and because there is a change in materials from the brick historic structure to the paneled new addition, staff finds that a larger inset is not necessary and that the proposed inset is appropriate.

The addition will have a depth of twenty-nine feet, eight inches (29'8"), which is twelve feet, four inches (12'4") deeper than the existing addition that is to be removed. On the left side, the addition extends out beyond the side wall of the historic structure to be four feet (4') wider than the historic structure. Staff finds that this wider portion is appropriate because it will only be minimally visible from the street and will not denigrate the existing structure's historic character. Staff finds that the proposed addition's height, scale, and massing meet Sections 2.2.3., 2.2.4., and 4.0. of the design guidelines.

Addition Materials.

	Proposed	Color/Texture/ Make/Manufact urer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Primary Cladding	Fiber cement rain screen*	Smooth	Yes	No
Roofing	Not visible	Unknown	Unknown	No
Trim	Cement Fiberboard	Smooth faced	Yes	No
Windows	Not indicated	Needs final approval	Needs final approval	Yes

Rear Entrance	Not indicated	Needs final approval	Needs final approval	Yes
Railing	Wood	Smooth, painted	Yes	Yes*
Porch and Rear Entry Awning	Not indicated	Needs final approval	Needs final approval	Yes

*Staff recommends approval of how the cement fiberboard rain screen will be installed.

In addition, staff recommends approval of all windows and doors, the railing material and design, and the material of the second story porch and rear entry awning. With staff's final approval of all material choices, staff finds that the proposed addition meets Sections 2.4. and 4.0. of the design guidelines.

Addition Windows and Doors. The ground floor of the proposed addition has a series of four square windows that replicate the look of the storefront transom windows. Because the addition is modern in design and because the side street facades of commercial structures historically had minimal and utilitarian window openings, staff finds these four square window openings to be appropriate. On the upper level of the addition is a larger picture window opening that will not be operable and an open-air covered space within the walls of the addition. Staff finds the second story open-air feature to be a modern interpretation of historic rear two-story porches. The Sanborn maps indicate that historically, the rear of the brick structure was a two-story porch extension (see Figures 3 & 4). Staff therefore finds that the open second story is appropriate for the addition.

The rear and left side facades have horizontal window openings. MHZC typically discourages horizontal window openings, but have allowed them on rear facades and on side facades that are not highly visible. Staff therefore finds that they are acceptable for this project. A rear door opening will be incorporated on the rear façade.

Staff finds that the proposed addition's window and doors meet Sections 2.5., 2.6., and 4.0. of the design guidelines.

Addition Roof. The proposed addition will have a flat roof form, matching the roof of the historic structure. Staff finds this to be appropriate and finds that the proposed addition meets Sections 2.7. and 4.0. of the design guidelines.

Utilities. The applicant did not indicate on the plans the proposed location of the HVAC units and other utilities. Staff recommends approval of their locations in order to ensure that the project meets Sections 2.8. and 4.0. of the design guidelines.

Permanent Landscape Features. The site plan indicates that the applicant intends to install a new fence and to create a courtyard at the rear of the property. All fencing and permit-landscape features, including, but not limited to, paving, lighting, trellises, etc, must be reviewed and approved by the Metro Historic Zoning Commission to ensure their compliance with Section 5.0 of the design guidelines.

Signage. The proposed plans do not include any plans for signage. The applicant must return to the Metro Historic Zoning Commission for approval for all signage to ensure compliance with Section 8.0 of the design guidelines.

Recommendation Summary: Staff recommends approval with the following conditions:

1. Staff approve the installation technique and details of the cement fiberboard rain screen;
2. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
3. Staff approve the material and design of the balcony railing;
4. Staff approve the material and design of the awnings;
5. MHZC approve the location of the HVAC units and other utilities; and
6. The applicant return to MHZC for final approval of all permanent landscape features, including fencing, and for all signage.

With these conditions, staff finds that the proposed project meets Sections 1.0., 2.0., 4.0., and 7.0. of the Germantown Historic Preservation Zoning Overlay design guidelines.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.



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1239 6TH AVE N

1239 6TH AVENUE NORTH

Nashville, TN 37208

Site Information

L01

HISTORICAL SUBMITTAL
05-01-2017



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1239 6TH AVENUE NORTH

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BUILDING OWNER:

Fresh Hospitality
315 Madison Street
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ARCHITECTURAL TEAM:

Remick Moore Architect
315 Madison Street
Nashville, TN 37208

Cover Sheet

GN00

Historical Submittal
05-01-2017



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Photos

L03

HISTORICAL SUBMITTAL
05-01-2017



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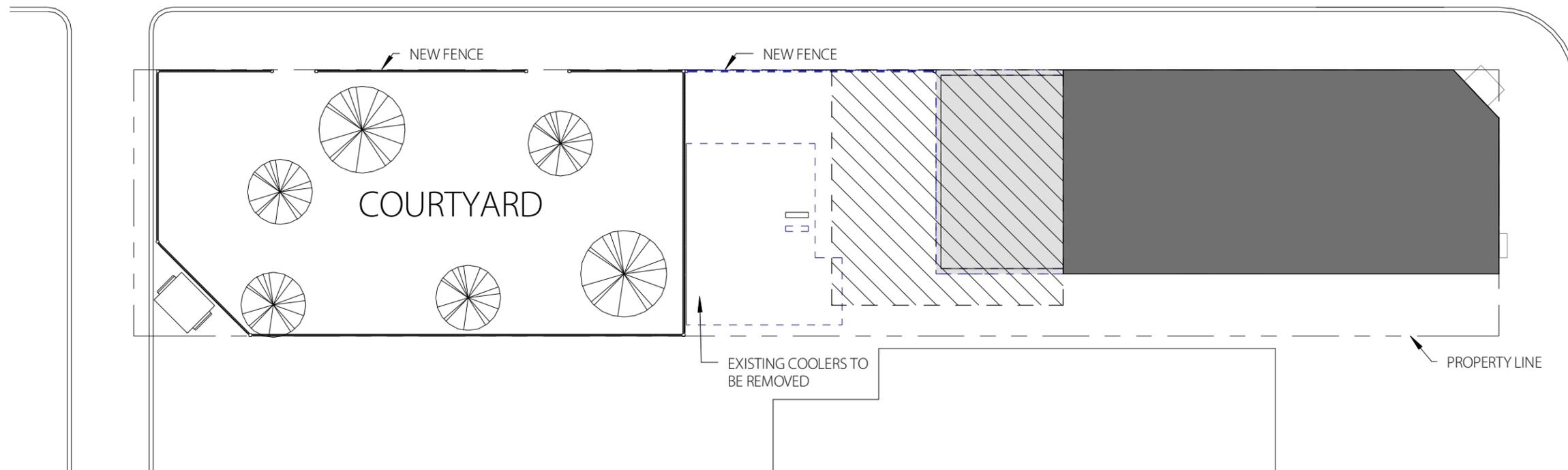
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MONROE ST

6TH AVENUE



KEY

■ Existing Pre 1910 Building
(to Remain)

■ 1910's & 1950's Additions
(to be Demoed)

▨ Proposed New Addition

1239 6TH AVENUE NORTH

Nashville, TN 37208

Site Plan

L02

HISTORICAL SUBMITTAL
05-01-2017

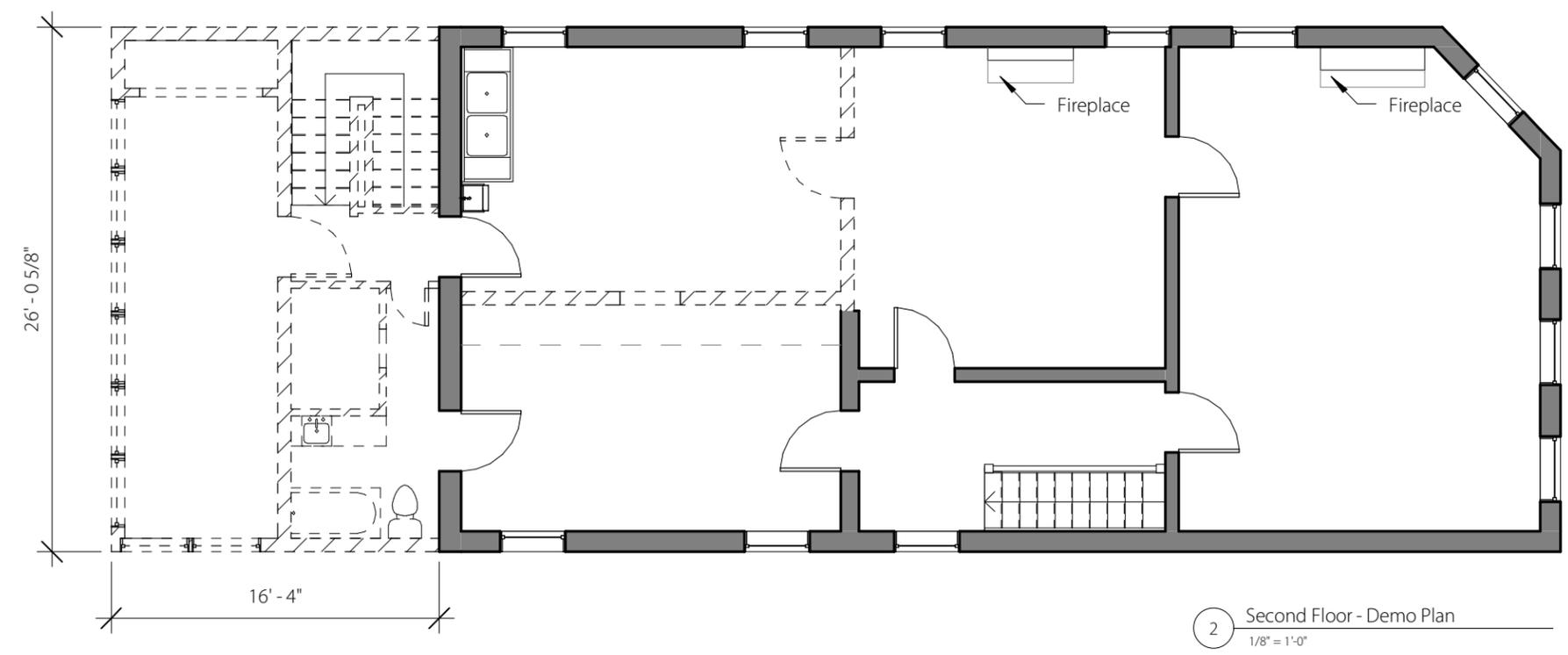
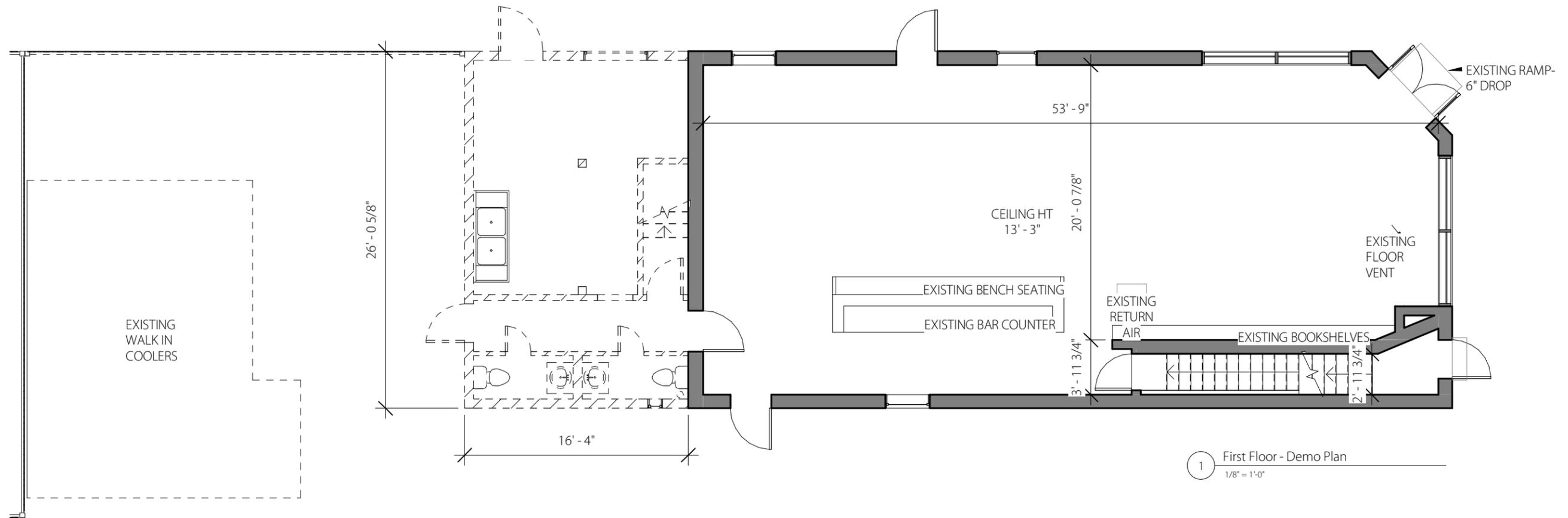


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WALL LEGEND

█ Existing

▤ Demo

1239 6TH AVENUE NORTH

Nashville, TN 37208

Demo

AD01
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Floor Plan

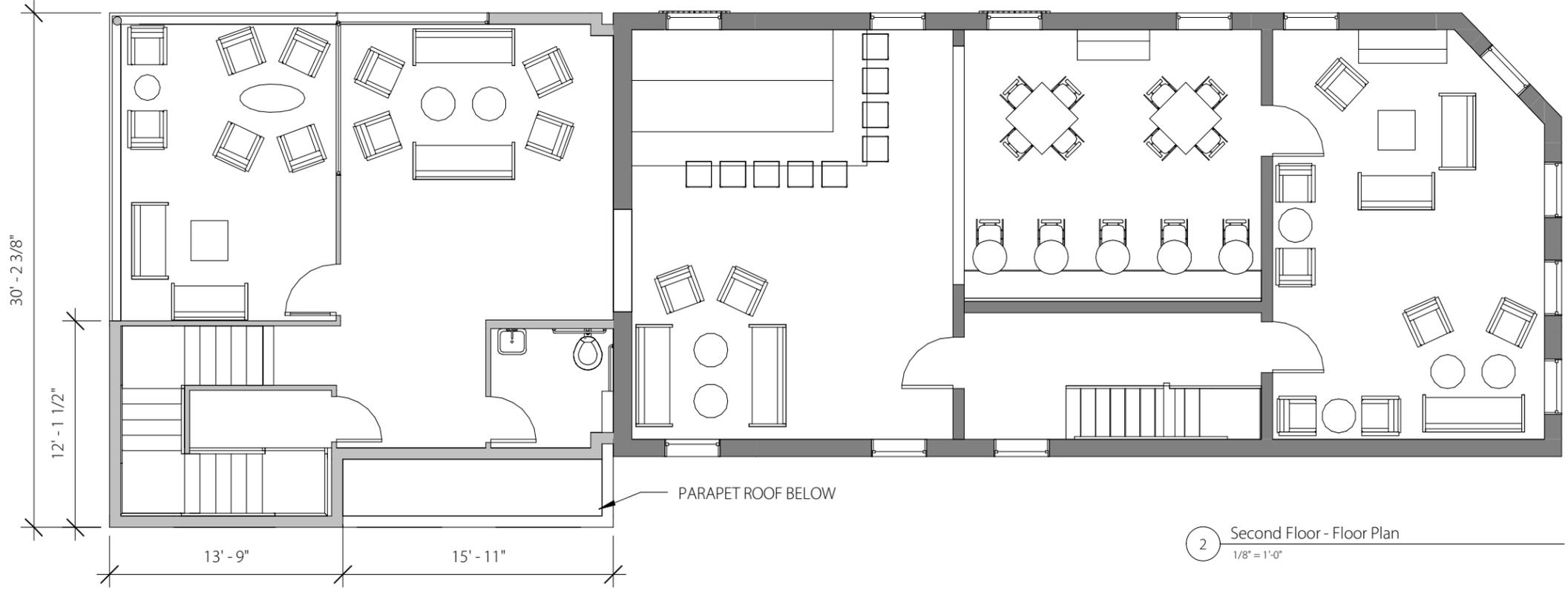
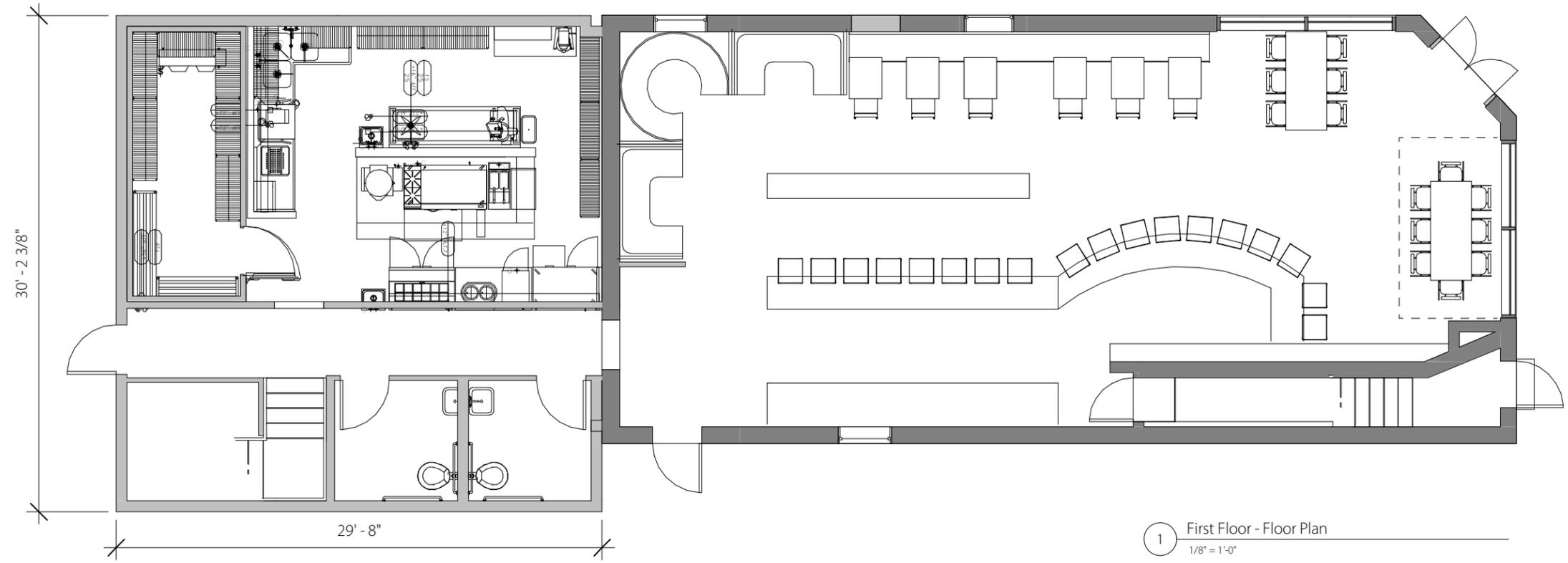
A101

Schematic
05-01-2017

WALL LEGEND

Existing

New





- T.O. Parapet 31' - 0"
- T.O. New Parapet 28' - 6"
- 2nd FL CH
- Porch Opening HT 23' - 6"
- Upstairs Floor Ht 14' - 0"
- 1st FL C.H. 13' - 3"
- Level 1 0' - 0"

1 East Elevation
1/8" = 1'-0"



- T.O. Parapet 31' - 0"
- T.O. New Parapet 28' - 6"
- 2nd FL CH
- Porch Opening HT 23' - 6"
- Upstairs Floor Ht 14' - 0"
- 1st FL C.H. 13' - 3"
- Level 1 0' - 0"

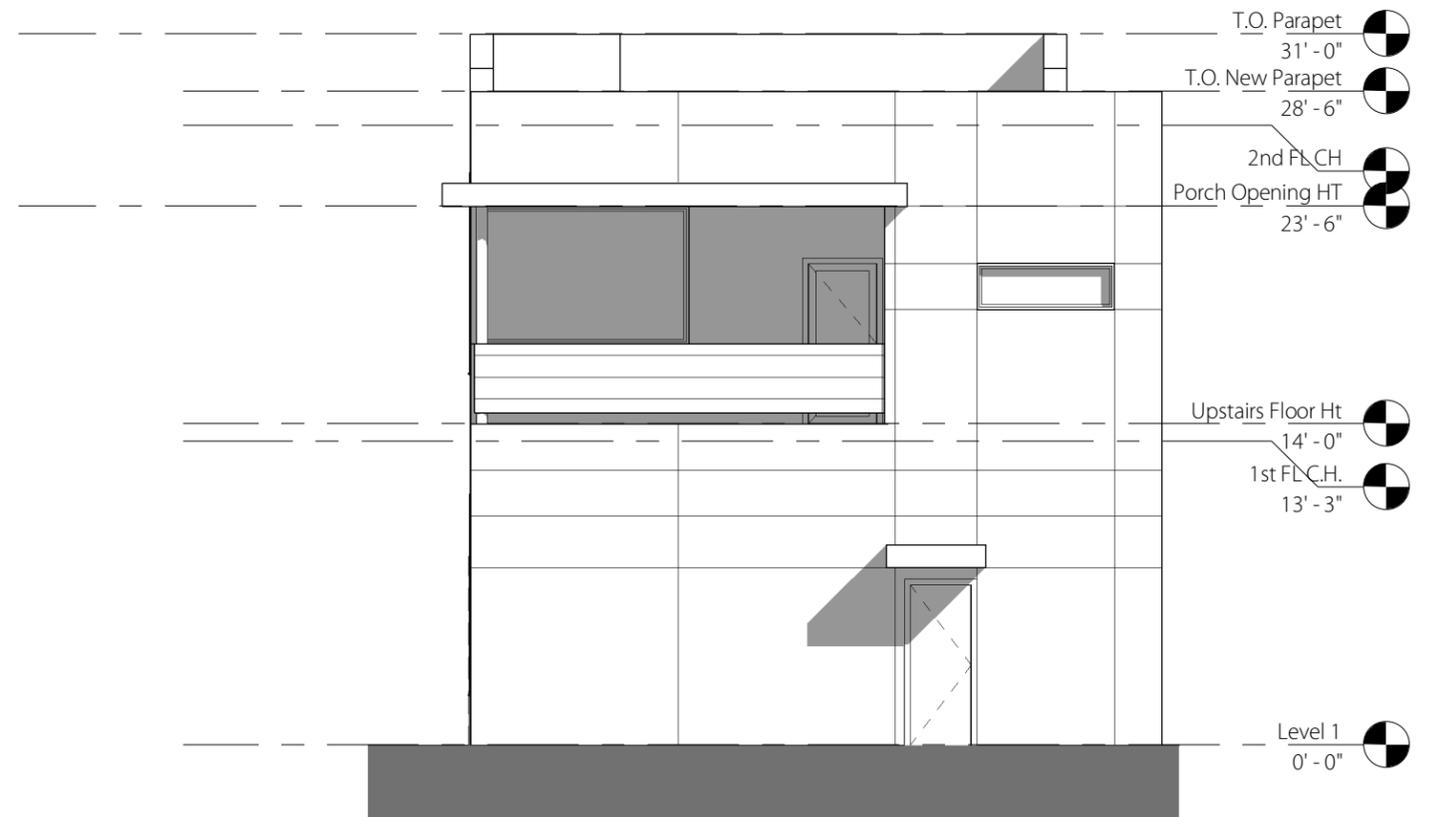
2 North Elevation
1/8" = 1'-0"


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Elevation

A 201
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1 West Elevation
1/8" = 1'-0"



2 South Elevation
1/8" = 1'-0"


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Elevations

A202

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1 Color Elevation - East
3/4" = 1'-0"



2 Color Elevation - North
3/4" = 1'-0"

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Elevations

A203

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1 Color Elevation - West
3/4" = 1'-0"



2 Color Elevation - South
3/4" = 1'-0"

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Elevations

A204

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