

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

300 Broadway

May 17, 2017

Application: Alterations-exterior lighting

District: Broadway Historic Preservation Zoning Overlay

Council District: 19

Map and Parcel Number: 09306308200

Applicant: Janie Wright, Tuck Hinton Architects

Project Lead: Robin Zeigler, robin.zeigler@nashville.gov

<p>Description of Project: Project was deferred last month. No changes have been received.</p>	
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Council District: 19

Map and Parcel Number: 09306308200

Applicant: Janie Wright, Tuck Hinton Architects

Project Lead: Robin Zeigler, robin.zeigler@nashville.gov

Description of Project: Application to add exterior lighting.

Recommendation Summary: Staff recommends approval with the conditions that:

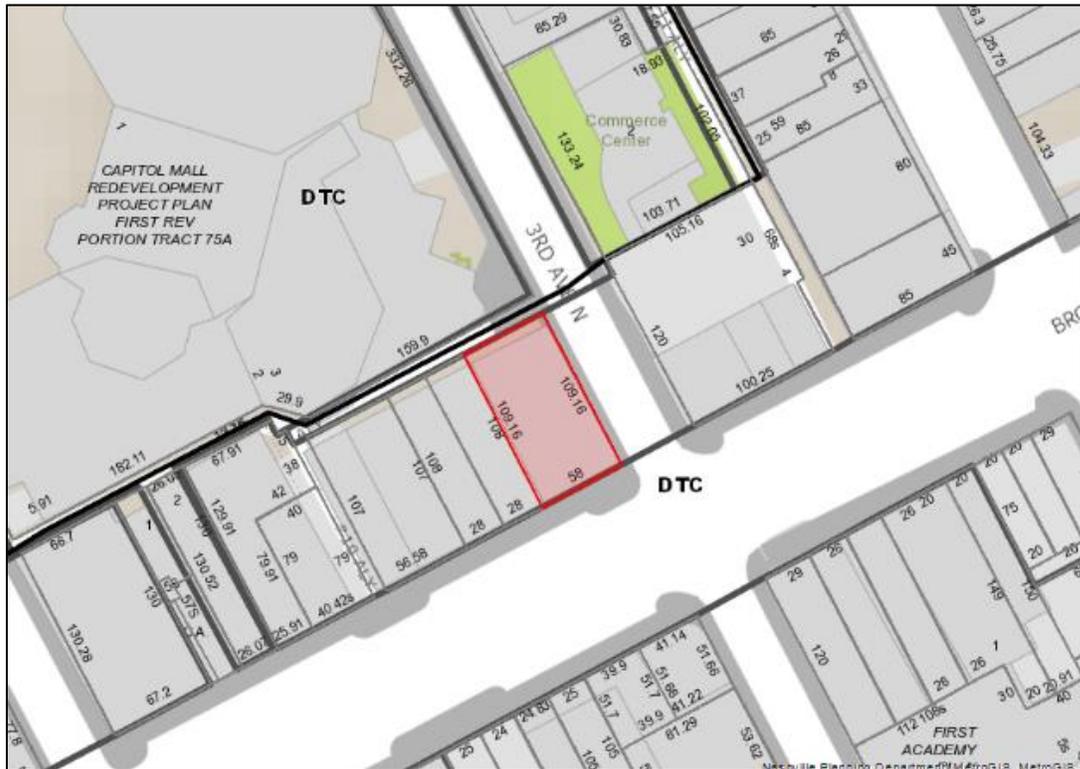
1. Additional information be submitted regarding location, attachment and visibility;
2. The KX5 lighting be removed as it is not directed towards the building, it is in an inappropriate location and it does not meet the design guidelines for rooftop additions;
3. The color of the KX2 fixture is a dark metal color; and,
4. The color of all the illumination is white.

With these conditions, staff finds the proposal to meet the design guidelines for lighting and rooftop additions in the Broadway Historic Preservation Zoning overlay.

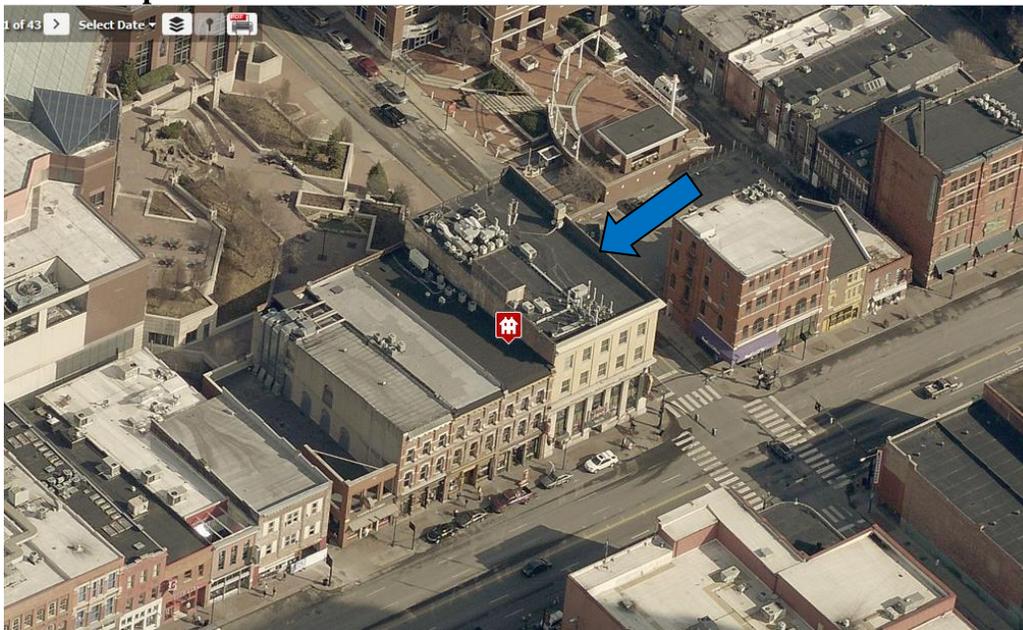
Attachments

- A:** Photographs
- B:** Keeble Plans
- C:** Site Plan
- D:** Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. General Principle: Lighting

General Principle: Lighting

Light fixtures should be as simple and unobtrusive as possible.

Guidelines:

A. Lighting

1. If lighting is installed, it should be concealed or simple and unobtrusive in design, materials, and relationship to other façade or elevation elements.
2. Light should be directed toward the façade instead of outward. Building facades may be illuminated through uplights mounted above the storefront cornice.
3. Dark metals are appropriate materials for light fixtures.
4. Concealed, indirect, or spot lighting is appropriate for exterior signage. Visible fluorescent or incandescent bulbs are not appropriate.

Background: 300 Broadway is a four-story stone and brick Neo-classical commercial building that dates to 1914 and is a contributing building in the Broadway Historic Preservation Zoning Overlay. The street-side façades were redesigned in 1946 by well-known architect Edwin Keeble. Windows were replaced in 2000 as part of a tax credit rehabilitation.

Analysis and Findings: The application is to add exterior lighting to the mechanical screen at the top of the building, on and above the cornice above the second level, above the cornice above the first level on the rear-side, and on each pilaster between the first and second levels.



Figure 1. 300 Broadway

Location & Visibility: The design guidelines allow for exterior lighting if it is concealed or unobtrusive; which is the case for all of the proposed lighting.

The lighting on the addition is inappropriate as the addition should be as minimally visible as possible. Internal lighting of the mechanical screen will only draw attention to the new construction, which is not the intent of the design guidelines for rooftop additions, which states that additions should “not be visually jarring or contrasting” to the historic building.

The up and down spotlights on each of the pilasters are appropriate as they highlight architectural features. They are visible but have a minimal design. The color of the can was not noted. Staff recommends a dark metal color, as allowed in the design guidelines, or one that is similar in color to the wall material.

The drawings note that the lights change colors. Illumination should be white as colored lights change the color of the building and would detract from the historic character of the building. No other buildings within a district have been approved for colored illumination.

Additional information is needed regarding the exact locations, attachment and visibility of lighting; therefore staff recommends a condition that Staff review the information, once it is available, and before permitting.

Direction: Light should be directed towards the façade rather than outwards. All of the proposed lighting, with the exception of the rooftop mechanical screen lighting, is directed towards the building. The lighting on the rooftop is on the “inside” of the screen wall, providing internal illumination directed away from the building, and is therefore inappropriate. Staff recommends removal of the internal lighting of the mechanical screen.

Recommendation Summary:

Staff recommends approval with the conditions that:

1. Additional information be submitted regarding location, attachment and visibility, to assure appropriateness prior to permitting;
2. The KX5 lighting be removed as it is not directed towards the building, it is in an inappropriate location and it does not meet the design guidelines for rooftop additions.
3. The color of the KX2 fixture is a dark metal color or a color to match the building; and,
4. The color of all the illumination is white.

With these conditions, staff finds the proposal to meet the design guidelines for lighting and rooftop additions in the Broadway Historic Preservation Zoning overlay.

A: Photos



Figure 2. Broadway view



Figure 3. Rear and 3rd Avenue facades

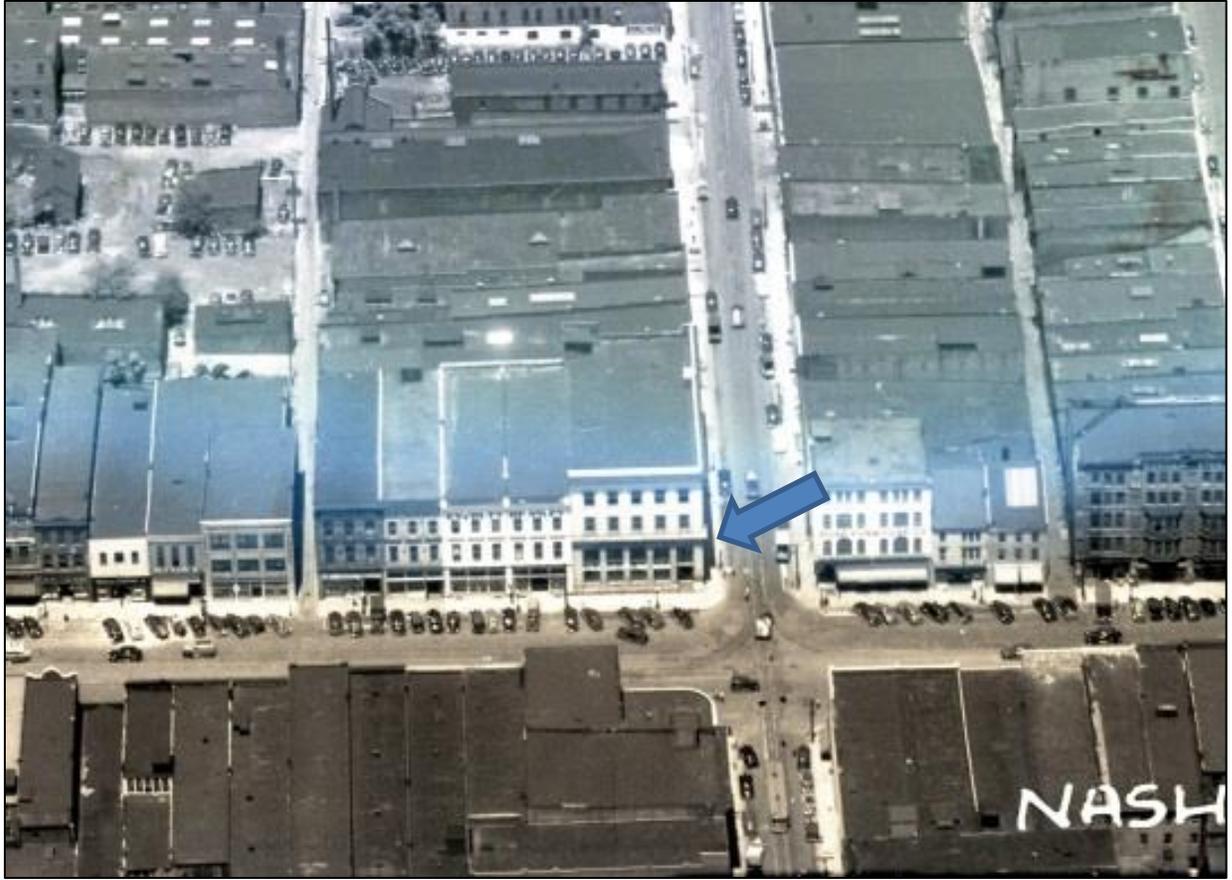


Figure 4. Aerial image dated 1940 showing the corner entryway