

MEGAN BARRY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**1005 Gilmore Avenue**  
**June 21, 2017**

**Application:** New construction – addition; Setback determination  
**District:** Waverly-Belmont Neighborhood Conservation Zoning Overlay  
**Council District:** 07  
**Map and Parcel Number:** 11801019600  
**Applicant:** Tony Frisina, Developer  
**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

**Description of Project:** The applicant proposes to enlarge an historic house with a ridge-raise and rear addition. The addition will not be wider than the historic house but will require a setback determination because the house is closer to the property line than current zoning regulations require.

**Recommendation Summary:** Staff recommends approval of the proposed addition to the historic house at 1005 Gilmore Avenue and the requested setback determination, with the condition that the brick, windows, and door selections are approved administratively. With that condition, Staff finds that the proposal will meet the design guidelines for the Waverly-Belmont Neighborhood Conservation Zoning Overlay.

**Attachments**  
**A:** Photograph  
**B:** Sanborn Map  
**C:** Site Plan  
**D:** Floorplans  
**E:** Elevations

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### IV. Additions

#### A. Location

1. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.
  - a. Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.
  - b. Generally rear additions should inset one foot, for each story, from the side wall.
2. When a lot width exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure.
  - a. The addition should sit back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure.
  - b. Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.
  - c. To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

#### B. Massing

1. In order to assure that an addition has achieved proper scale, the addition should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as an extreme grade change or an atypical lot parcel shape or size. In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not be higher and extend wider.
  - a. *When an addition needs to be taller:*  
*Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above ridge of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.*
  - b. *When an addition needs to be wider:*  
*Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.*  
*A rear addition that is wider should not wrap the rear corner. It should only extend from the addition itself and not the historic building.*
2. No matter its use, an addition should not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.
3. Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.
4. When an addition ties into the existing roof, it should be at least 6" below the existing ridge.

5. Ridge raises are most appropriate for one-story; side-gable buildings, (without clipped gables) and that require more finished height in the attic. The purpose of a ridge raise is to allow for conditioned space in the attic and to discourage large rear or side additions. The raised portion must sit in a minimum of 2' from each side wall and can be raised no more than 2' of total vertical height within the same plane as the front roof slope.
6. Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset. Foundation height should match or be lower than the existing structure.
7. The height of the addition's roof and eaves must be less than or equal to the existing structure.
8. Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

### **C. Roof Additions: Dormers, Skylights & Solar Panels**

1. Dormer additions are appropriate for some historic buildings as they are a traditional way of adding ventilation and light to upper stories. The addition of a dormer that would require the removal of historic features such as an existing dormer, chimneys, cupolas or decorative feature is not appropriate.
    - a. Rear dormers should be inset from the side walls of the building by a minimum of 2'. The top of a rear dormer may attach just below the ridge of the main roof or lower.
    - b. Side dormers should be compatible with the scale and design of the building. Generally, this can be accomplished with the following:
      - New dormers should be similar in design and scale to an existing dormer on the building.
      - If there are no existing dormers, new dormers should be similar in design and scale to an existing dormer on another historic building that is similar in style and massing.
      - The number of dormers and their location and size should be appropriate to the style and design of the building. Sometimes the width of roof dormers relate to the openings below. The symmetry or lack of symmetry within a building design should be used as a guide when placing dormers.
      - Dormers should not be added to secondary roof planes.
      - Eave depth on a dormer should not exceed the eave depth on the main roof.
      - The roof form of the dormer should match the roof form of the building or be appropriate for the style.
      - The roof pitch of the dormer should generally match the roof pitch of the building.
      - The ridge of a side dormer should be at least 2' below the ridge of the existing building; the cheeks should be inset at least 2' from the wall below or adjacent valley; and the front wall of the gable should setback a minimum of 2' from the wall below. (These minimum insets will likely be greater than 2' when following the guidelines for appropriate scale.)
      - Dormers should generally be fully glazed and aprons below the window should be minimal.
      - The exterior material cladding of side dormers should match the primary or secondary material of the main building.
  2. Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).
  3. Solar panels should be located at the rear of the building, unless this location does not provide enough sunlight. Solar panels should generally not be located towards the front of a historic building unless this is the only workable location.
- D. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that original form and openings on the porch remain visible and undisturbed.

- E. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.
- F. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired. Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.
- G. Additions should follow the guidelines for new construction.

## **V. Demolition**

### **B. GUIDELINES**

#### **1. Demolition is not appropriate**

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

#### **2. Demolition is appropriate**

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

**Background:** The building at 1005 Gilmore Avenue is a one story Craftsman style house, constructed circa 1925. The house has a side gabled roof and a front gabled porch. It originally had a left side corner porch that has been enclosed.



**Analysis and Findings:** The applicant proposes to enlarge the house with a ridge-raise and rear addition. A future garage is depicted on the site plan, but it is not included in the current proposal.

**Demolition:** Portions of the rear wall and rear roof slope will be demolished to accommodate the new addition. Because these sections of the building are not visible from the right-of-way, Staff finds that they do not contribute to the architectural and historical character and significance of the building. The windows and portions of the siding on the enclosed left side corner porch will be removed, replaced with larger windows and pilasters to give more of an indication of its original form. Staff finds that the partial demolition meets Section V.B.2 for appropriate demolition and does not meet section V.B.1 for inappropriate demolition.

**Location & Removability:** The addition will be at the rear of the existing building, which is in accordance with the design guidelines. The ridge-raise and side walls of the addition will be stepped in so as to distinguish it from the historic house and read as an addition to the house. Meanwhile, the addition's scale, materials, roof form, and fenestration pattern are all compatible with the historic character of the existing house. The addition is designed so that if the addition were to be removed in the future, the historic character of the house would still be intact. The project meets sections IV.A and IV.F of the design guidelines for additions.

**Design:** The design of the addition will complement the historic house, with windows matching the style, rhythm, and proportion of the existing windows and a similar roof form. The scale of the addition will be subordinate to the existing house and the massing will be distinguished from the original by stepping in the ridge raise and side walls. Staff finds that the project will meet sections IV.A, IV.B, IV.F, and IV.G for design for additions.

**Height & Scale:** The addition includes a ridge raise, extending the front slope up and to the rear creating a ridge two feet (2') higher than the existing ridge. The eave height of the addition will match the house's current eave height. Two feet (2') of the existing roofline on each side will be unaltered. The Commission has previously found this type of addition to be appropriate for many side-gabled houses. The side walls of the addition will be stepped in as well, five feet, six inches (5'-6") on the left and two feet (2') on the right. After extending back eight feet, nine inches (8'-9"), the addition will step back out on the right for the remainder of the addition's depth. The left side will step in an additional two feet (2') as it goes back.

The addition will add forty-five feet (45') of depth to the house, six feet (6') more than the existing depth of thirty-nine feet (9'). Although the addition more than doubles the depth of the house, the area of the addition is less than that of the existing house because of the inset and articulated walls.

Staff finds the height and scale of the proposed addition to be compatible with the existing house and to meets sections III.A and B of the design guidelines.

Setbacks: Although the addition is not wider than the historic house, a setback determination is required because the historic house is closer to both side property lines than current zoning regulations require. A three foot, six inch (3'-6") right side setback is requested, which Staff finds to be appropriate because it matches the historic condition. The addition will meet the front and rear setbacks, and the front setback will not be affected. Staff finds that the proposed addition maintains the rhythm of spacing between historic buildings and meets section III.C of the design guidelines for setback and rhythm of spacing.

Materials:

	<b>Proposed</b>	<b>Color/Texture /Make/Manufacturer</b>	<b>Approved Previously or Typical of Neighborhood</b>	<b>Requires Additional Review</b>
<b>Foundation</b>	Brick Veneer	Match existing	Yes	X
<b>Cladding</b>	cement fiber board and batten	Smooth	Yes	
<b>Trim</b>	Wood	Smooth faced	Yes	
<b>Roofing</b>	Architectural Shingles	Match existing	Yes	
<b>Side Porch Floor/steps</b>	Concrete		Yes	
<b>Side Porch Posts</b>	Wood		Yes	
<b>Side Porch Railing</b>	Wood		Yes	
<b>Side Porch Roof</b>	Architectural Shingles	Match existing	Yes	
<b>Windows</b>	Not indicated	Needs final approval	Unknown	X
<b>Rear doors</b>	Not indicated	Needs final approval	Unknown	X

With the condition that the brick, window, and door selections are approved administratively, Staff finds that the materials will be compatible with the historic house and that the project meets section III.D of the design guidelines for new construction-materials.

Roof form: The ridge-raise addition will extend the existing roof slope up and to the rear, matching the existing 8:12 pitch. A cross-gable will tie into the new ridge and extend to the rear, also matching the existing 8:12 roof pitch. Within the primary roof of the addition there will be shed-roof dormers on both sides with a 3:12 pitch, all stepped back at least two feet (2') from the walls of the first story below. Staff finds the roofs of the proposed addition to be compatible with the historic house and to meet section IV.C of the design guidelines for additions.

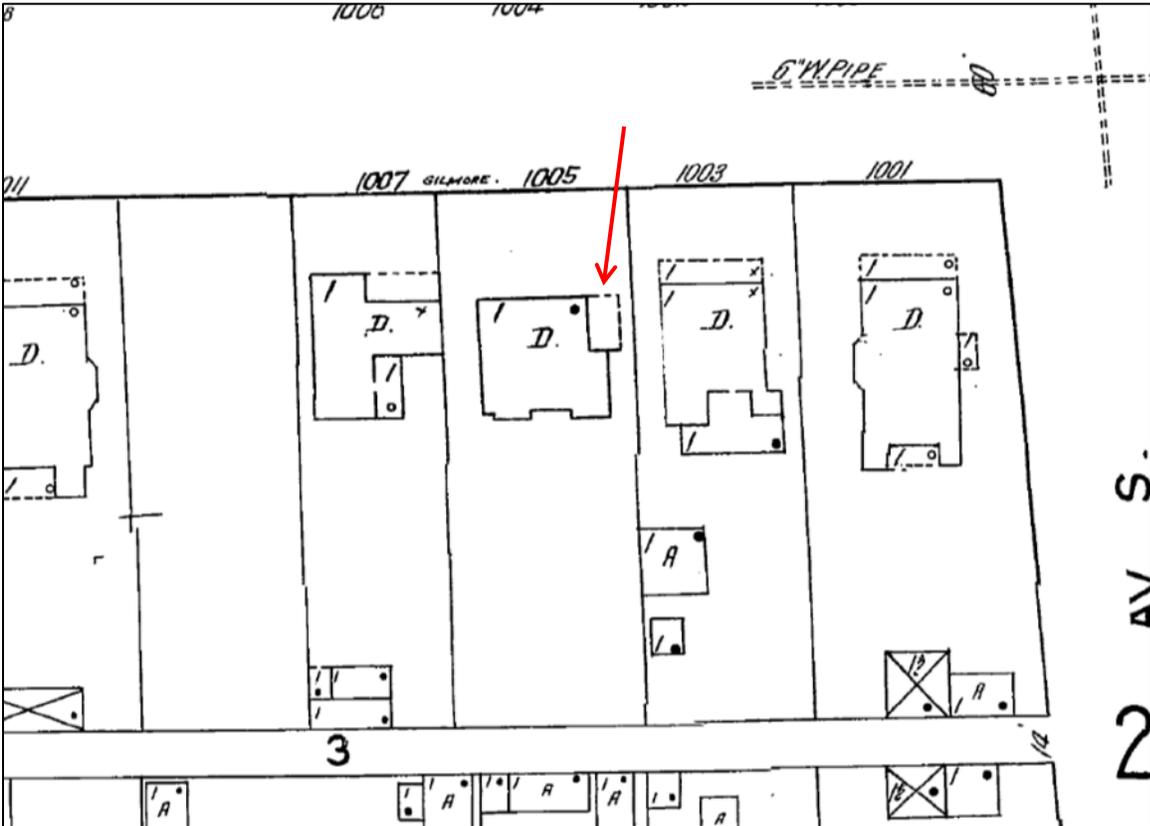
Proportion and Rhythm of Openings: Other than the alteration of the windows on the enclosed corner porch previously described, no changes to the window and door openings on the existing house were indicated in the proposal. The windows on the proposed addition are all generally twice as tall as they are wide, consistent with the proportions of openings on historic houses in the neighborhood. There are no large expanses of wall space without a window or door opening. Staff finds the project's proportion and rhythm of openings to meet Section III.G for new construction-proportion and rhythm of openings.

Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings. The location of the HVAC and other utilities was also not noted. Staff asks that if they are relocated, that the HVAC be on the rear façade or on a side façade beyond the midpoint of the house. The project meets section III.I of the design guidelines for location of utilities.

**Recommendation:** Staff recommends approval of the proposed addition to the historic house at 1005 Gilmore Avenue with the condition that the brick, windows, and door selections are approved administratively. With that condition, Staff finds that the proposal will meet the design guidelines for the Waverly-Belmont Neighborhood Conservation Zoning Overlay.



Limited view between 1005 and 1003 Gilmore Avenue to the right.



Sanborn Map showing the side corner porch that was previously enclosed.

**SURVEYOR'S CERTIFICATE:**

I HEREBY CERTIFY THAT THIS LOT SURVEY IS A CATEGORY I SURVEY; THAT THE SURVEY WAS PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS OF PRACTICE FOR LAND SURVEYORS IN THE STATE OF TENNESSEE (UNDER THE AUTHORITY OF TCA 62-18-126), AND THE UNADJUSTED ERROR OF CLOSURE EXCEEDS 1:10,000 AS SHOWN HEREON.

BY: ADVANTAGE LAND SURVEYING

DATE: JUNE 13, 2017

SIGNED:

NAME: WILLIAM B. PERKINS  
TENNESSEE R.L.S. # 2163

**N.E.S. NOTE:**

N.E.S HAS AUTHORITY TO CLEAR OR TRIM ANYTHING WITHIN 5' TO 10' OF A POWER LINE, WHETHER OF RECORD EASEMENT OR NOT, EVEN IF THE POWER LINE IS NOT CENTERED DIRECTLY WITHIN THE EASEMENT.



**GENERAL NOTES:**

- BEARINGS SHOWN ARE BASED ON A HORIZONTAL PROPERTY REGIME EXHIBIT MAP DONE BY COMPLETE SURVEYING SERVICES ON A PROPERTY KNOWN AS MAP 118-01 PARCEL 281 R.O.D.C., TENNESSEE.
- THE TOTAL AREA WITHIN THE SURVEYED PREMISES IS 7,990 S.F.± OR 0.183 OF AN ACRE, MORE OR LESS.
- ALL LOT / PROPERTY CORNERS ARE MARKED AS SHOWN ON THIS SURVEY.
- ALL BUILDING & ENCROACHMENT TIE DIMENSIONS ARE PERPENDICULAR TO THE PROPERTY LINES. ALL MBSL'S AS SHOWN HEREON ARE BASED ON THE CURRENT ZONING CODE. SEE BUILDING SETBACK NOTE, THIS SHEET.
- PARCEL NUMBERS SHOWN THUS (195, 196 & 197) PERTAIN TO WILLIAMSON COUNTY PROPERTY MAP # 118-01 A ACCORDING TO ASSESSMENT DATA SURVEYED PREMISES IS CURRENTLY ZONED R-8.
- BY GRAPHIC PLOTTING AND MAP SCALING LOCATION ONLY, THIS PROPERTY IS NOT WITHIN AN AREA OF FLOOD INUNDATION AS DESIGNATED BY CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS (FEMA) WHICH MAKE UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT AS SHOWN ON FEMA MAP ORDER NUMBER 47037C0356H WHICH IS THE MOST CURRENT (VIA THE FEMA WEB-SITE) FOR WHICH THE SURVEYED PREMISES IS SITUATED IN. THE SURVEYED PREMISES LIES ENTIRELY WITHIN ZONE "X". COMMUNITY # 470040 PANEL # 0356 SUFFIX "H". DATED: APRIL 5, 2017.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS, AND/OR MAPS PREPARED BY OTHERS. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THIS SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION AS INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. COORDINATE WITH TENNESSEE ONE-CALL SYSTEM, INC. - PHONE: 811.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORM WATER MANAGEMENT MANUAL. ( MINIMUM DRIVEWAY CULVERT SIZE IN METRO R.O.W. IS 15" CMP ).
- ANY DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH REQUIREMENTS OF THE ADOPTED TREE ORDINANCE 094-1104 ( METRO CODE CHAPTER 17.24. ARTICLE II, TREE PROTECTION AND REPLACEMENT; CHAPTER 17.40, ARTICLE X, TREE PROTECTION AND REPLACEMENT PROCEDURES ).
- THIS SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH / REPORT MAY DISCLOSE. THEREFORE, THIS SURVEY IS SUBJECT TO ALL MATTERS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY REVEAL.
- THE SURVEYED PREMISES IS SUBJECT TO ALL GOVERNMENTAL AGENCIES REQUIREMENTS FOR ANY TYPE OF EXCAVATION, IMPROVEMENTS, DEMOLITION OR NEW CONSTRUCTION.

( SEE NOTE 1 )

PREPARED BY:  
ADVANTAGE LAND SURVEYING  
4636 LEBANON PIKE # 327  
HERMITAGE, TENNESSEE 37076  
PHONE # 615-319-4701

**SPECIAL NOTE:**

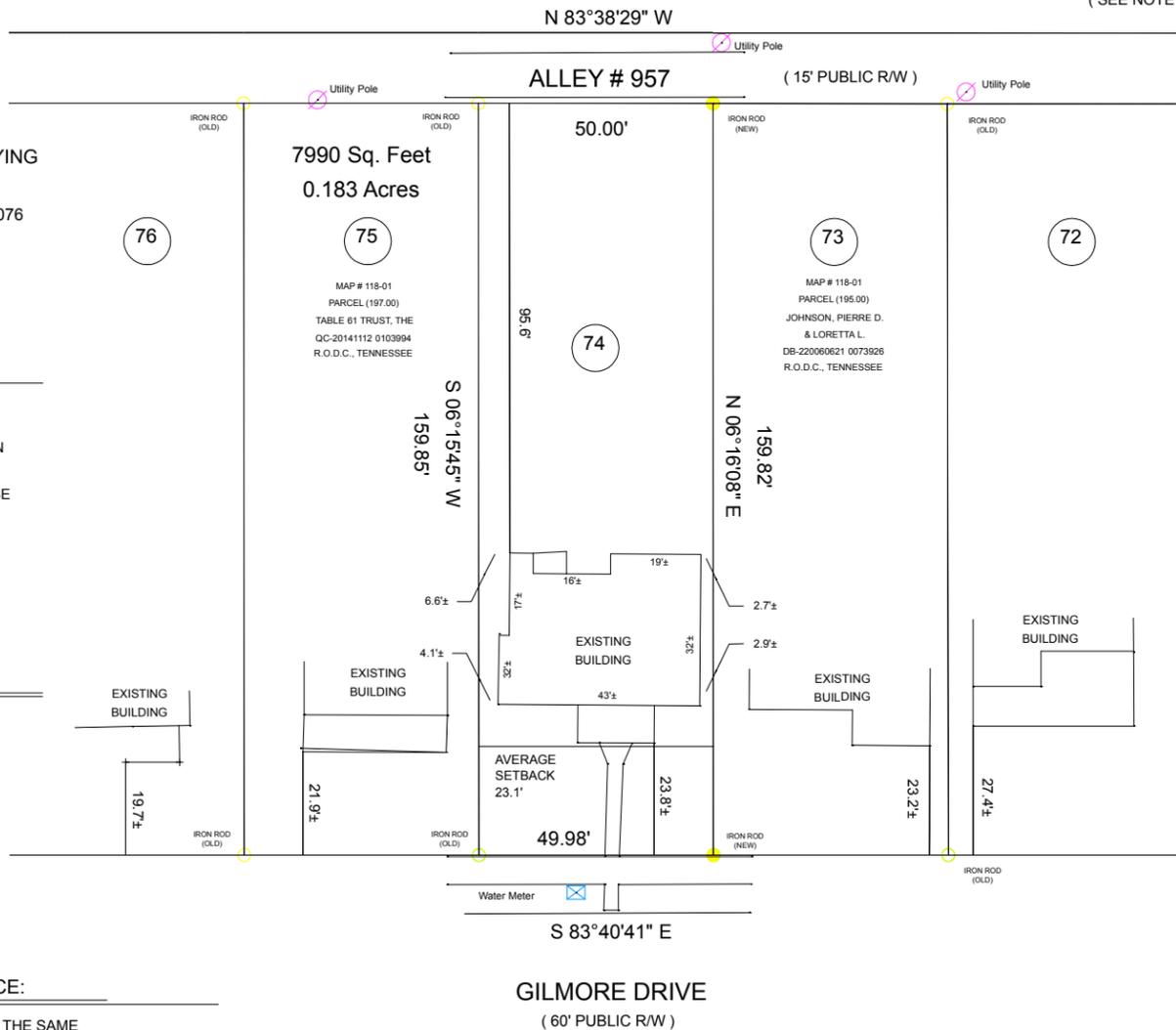
ANY ENCROACHMENTS ON TO THIS PROPERTY ARE SUBJECT TO A CLAIM OF ADVERSE POSSESSION BY ADJOINING PROPERTY OWNERS, AND VICE VERSA. POSSESSION CAN BE ADVERSE EVEN IF DUE TO A MISTAKE.

**BUILDING SETBACK NOTE:**

ALL MBSL DISTANCES AS SHOWN HEREON ARE SUBJECT TO THE ZONING CODE AND WILL HAVE TO BE APPROVED BY THE CODES DEPARTMENT PRIOR TO CONSTRUCTION.

**PROPERTY TITLE REFERENCE:**

THE SURVEYED PREMISES IS ALL OF THE SAME PROPERTY AS CONVEYED TO: FREDERICK HOBSON FROM RUSSELL VON HARDIN AND WIFE ELIZABETH BOOK 3935 PAGE 314 REGISTER'S OFFICE DAVIDSON COUNTY, TENNESSEE.



**LOT SURVEY**  
**LOT 74**  
**PLAN OF MONTROSE PLACE**

RECORDED IN PLAT BOOK 57, PAGES 93 R.O.D.C., TN.  
9TH CIVIL DISTRICT  
DAVIDSON COUNTY, TENNESSEE



DRAWN BY: T.M. FULLER  
CHECKED BY: BILLY PERKINS

Sheet 1 Of 1

DATE: MAY 24, 2017  
JOB NO. 53-2017

Seal

Plots/Revisions

Key Plan

**GILMORE  
RESIDENCE**

1005 Gilmore Ave.  
Nashville, Tennessee

Approved for the Owner  
Date

Approved for the Owner  
Date

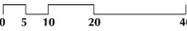
Job No. \_\_\_\_\_

Issue Date \_\_\_\_\_

Drawn by JVF

Checked by JVF

**PROPOSED  
SITE PLAN**

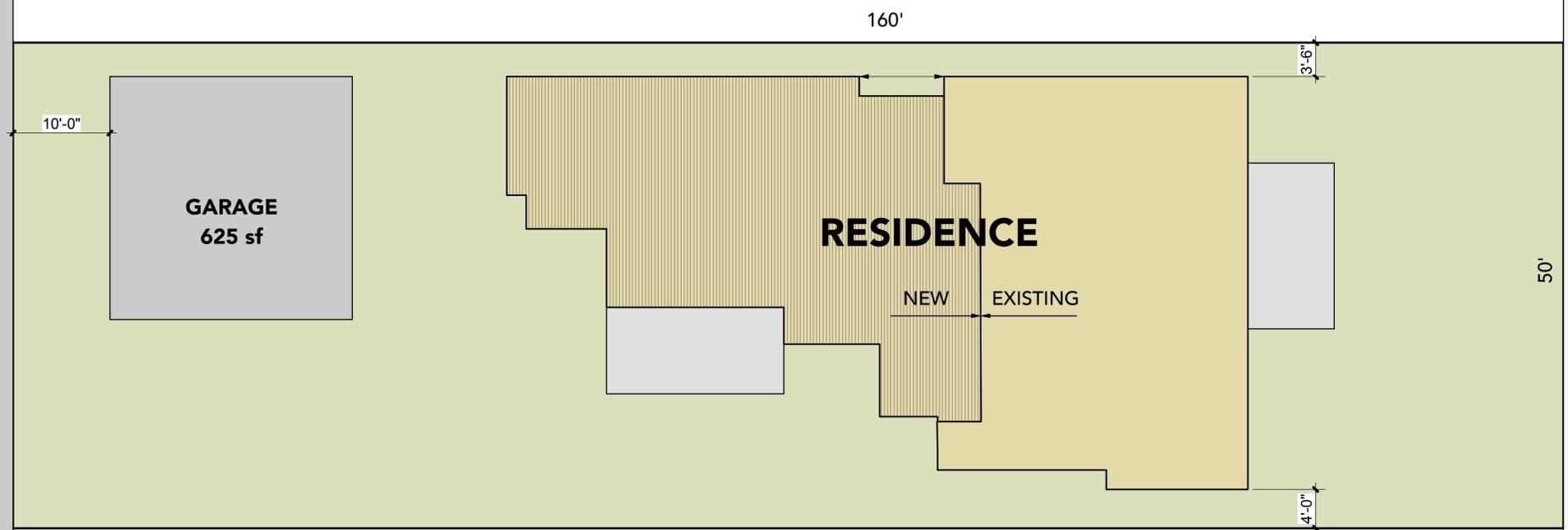


Scale 1" = 20' UNO

**A-0.1**

**ALLEY**

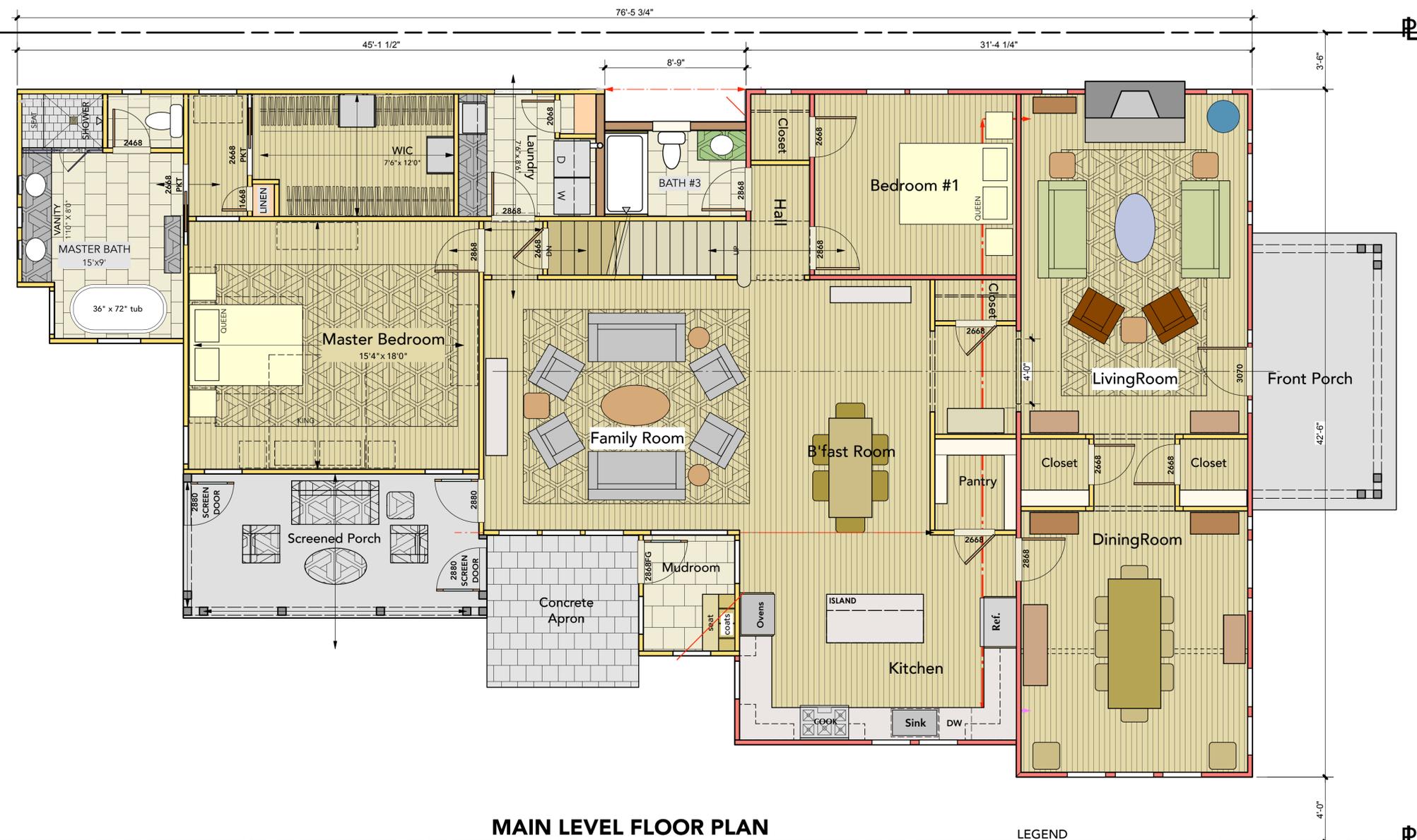
**GILMORE  
AVE**



LOT AREA 8000 SF  
ZONING R8  
MAXIMUM LOT COVERAGE 45%  
EXISTING BUILDING AREA 1362 SF  
NEW BUILDING AREA 1332 SF  
TOTAL BUILDING AREA 2694 SF (-189sf)  
TOTAL LOT COVERAGE 33.6%

**SITE PLAN  
PROPOSED**

**PRELIMINARY  
NOT FOR CONSTRUCTION**



**MAIN LEVEL FLOOR PLAN**

PROPOSED  
2379sf (conditioned)  
314sf (unconditioned)  
2693sf (total)

- LEGEND**
- Existing 4" stud wall
  - New 4" stud wall
  - New 6" stud wall

**PRELIMINARY  
NOT FOR CONSTRUCTION**

Seal

Plots/Revisions

Key Plan

**GILMORE  
RESIDENCE**

1005 Gilmore Ave.  
Nashville, Tennessee

Approved for the Owner

Date

Approved for the Owner

Date

Job No.

Issue Date

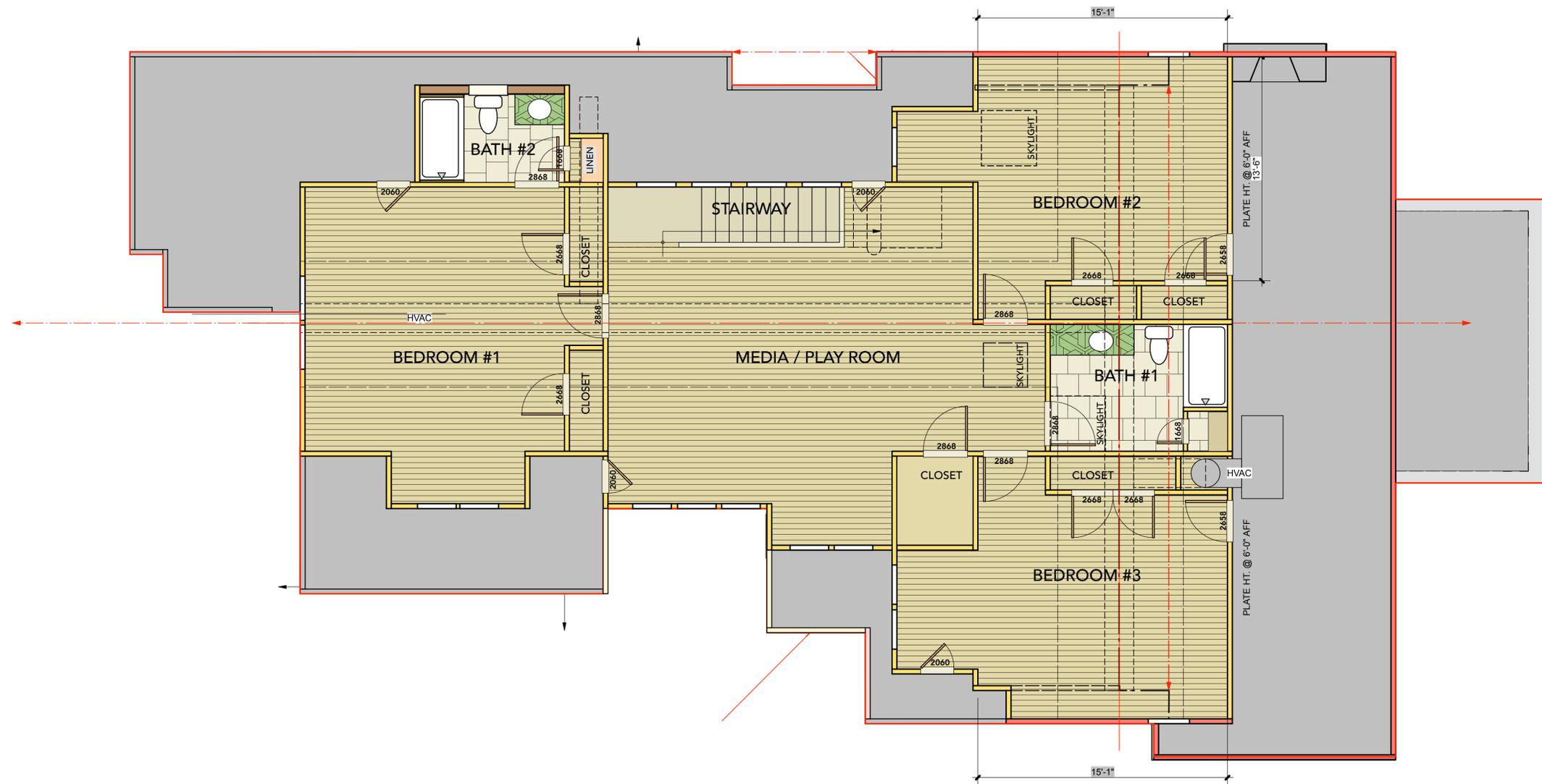
Drawn by JVF

Checked by JVF

**UPPER LEVEL  
FLOOR PLAN**

Scale 1/4" = 1'-0" UNO

**A-1.1**



**UPPER LEVEL FLOOR PLAN**

PROPOSED

1549 SF

- LEGEND**
- Existing 4" stud wall
  - New 4" stud wall
  - New 6" stud wall

**PRELIMINARY  
NOT FOR CONSTRUCTION**

Seal

Plots/Revisions

Key Plan

**GILMORE  
RESIDENCE**

1005 Gilmore Ave.  
Nashville, Tennessee

Approved for the Owner

Date

Approved for the Owner

Date

Job No.

Issue Date

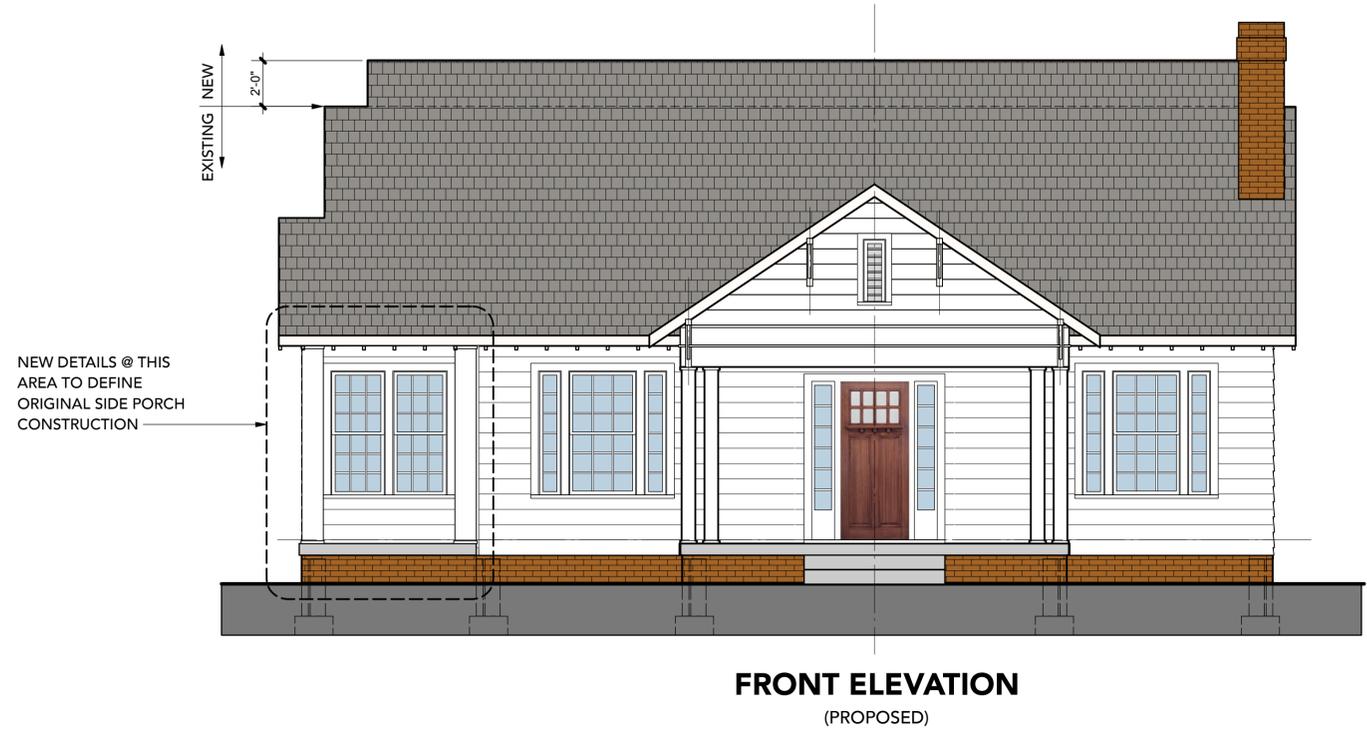
Drawn by JVF

Checked by JVF

**UPPER LEVEL  
FLOOR PLAN**

Scale 1/4" = 1'-0" UNO

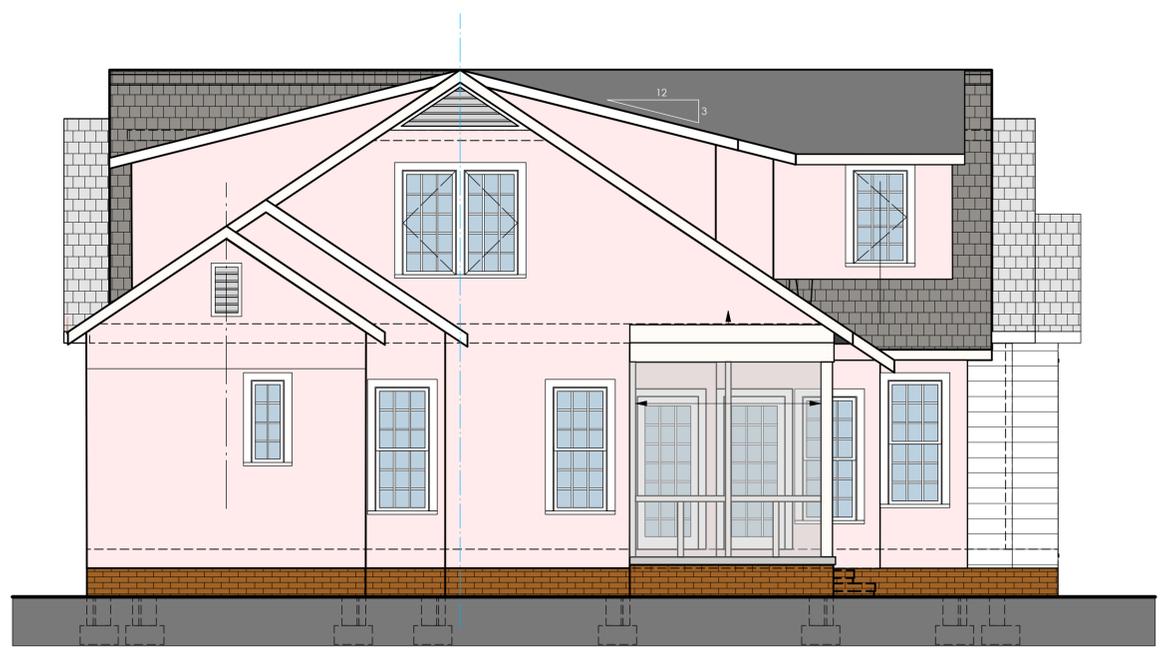
**A-1.2**



**FRONT ELEVATION**  
(PROPOSED)

**MATERIALS LEGEND**

-  8" LAP SIDING  
(existing to be renovated if feasible)
-  BOARD & BATTEN SIDING (shown as solid color to render form)
-  COMPOSITION SHINGLE ROOFING



**REAR ELEVATION**  
PROPOSED

**PRELIMINARY**  
NOT FOR  
CONSTRUCTION

Seal

Plots/Revisions

Key Plan

**GILMORE  
RESIDENCE**

1005 Gilmore Ave.  
Nashville, Tennessee

Approved for the Owner  
Date

Approved for the Owner  
Date

Job No. \_\_\_\_\_

Issue Date \_\_\_\_\_

Drawn by JVF

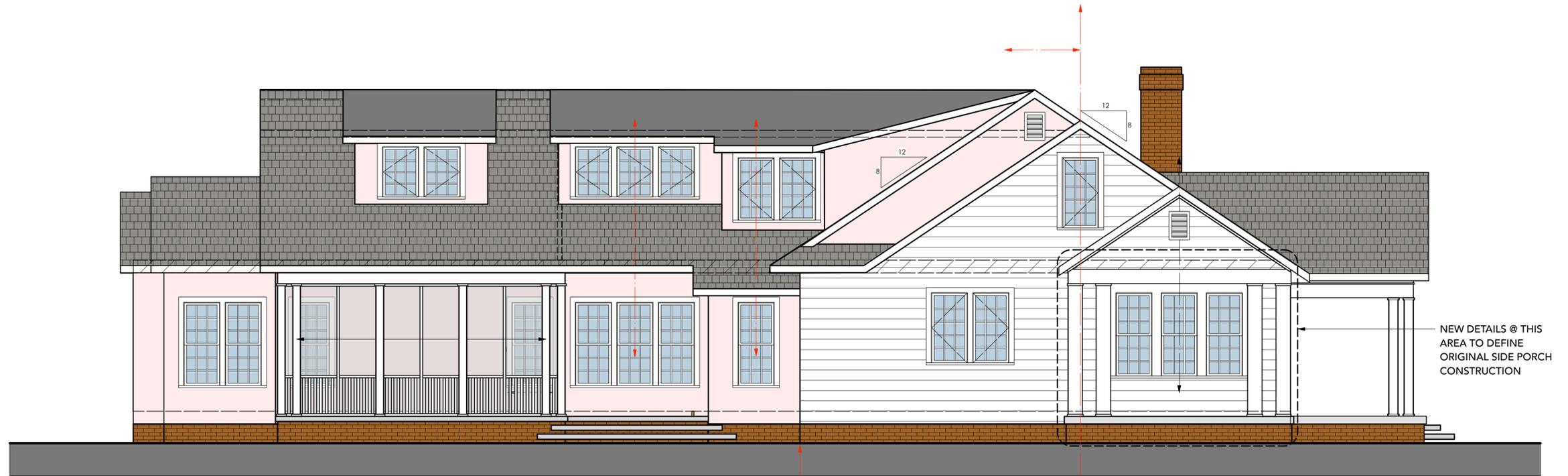
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**PROPOSED  
ELEVATIONS**

0 1 2 4 8

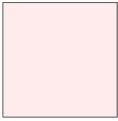
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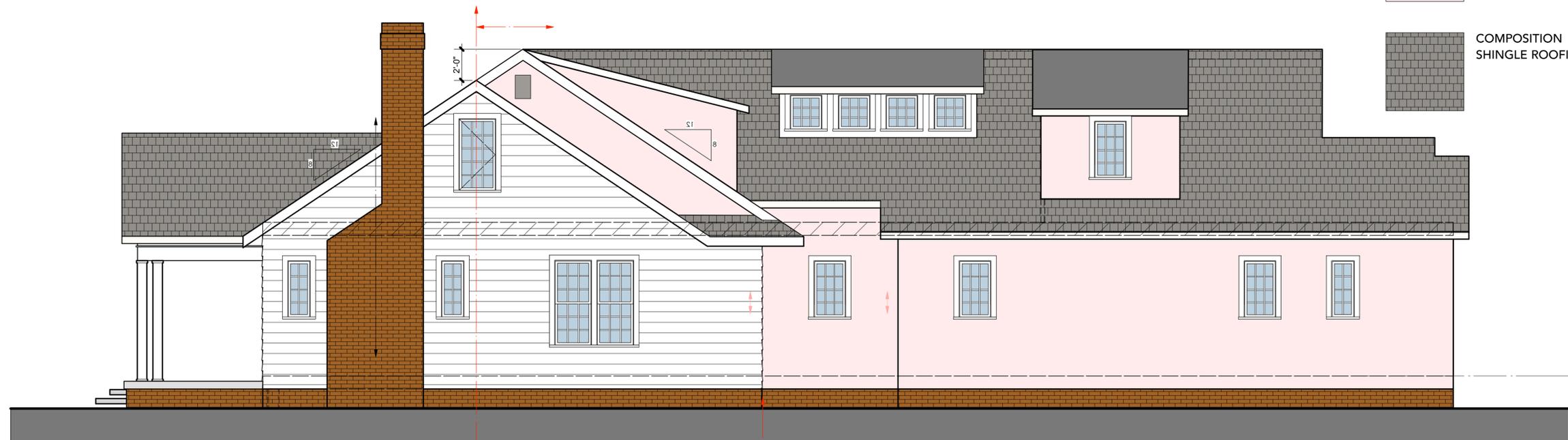
**A-2.1**



NEW EXISTING **RIGHT SIDE ELEVATION**  
PROPOSED

**MATERIALS LEGEND**

-  8" LAP SIDING (existing to be renovated if feasible)
-  BOARD & BATTEN SIDING (shown as solid color to render form clearly)
-  COMPOSITION SHINGLE ROOFING



**LEFT SIDE ELEVATION**  
PROPOSED EXISTING NEW

**PRELIMINARY**  
NOT FOR  
CONSTRUCTION

Seal

Plots/Revisions

Key Plan

**GILMORE RESIDENCE**

1005 Gilmore Ave.  
Nashville, Tennessee

Approved for the Owner

Date

Approved for the Owner

Date

Job No.

Issue Date

Drawn by JVF

Checked by JVF

**PROPOSED ELEVATIONS**



Scale 1/4" = 1'-0" UNO

**A-2.2**