

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
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STAFF RECOMMENDATION
1126 Shelton Avenue
June 21, 2017

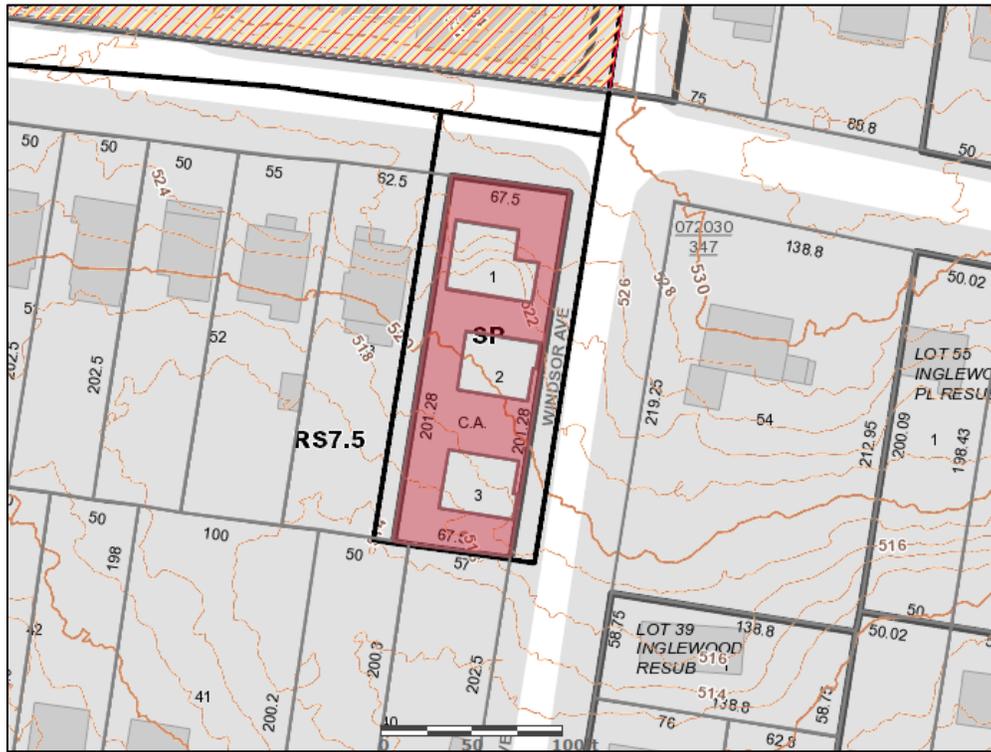
Application: New construction - infill
District: Inglewood Place Neighborhood Conservation Zoning Overlay
Council District: 7
Map and Parcel Numbers: 072030A90000CO
Applicant: David Owen, Orca Building Group
Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The proposal is to build three detached single family houses. Each of the buildings would be two-stories tall and have an attached garage.

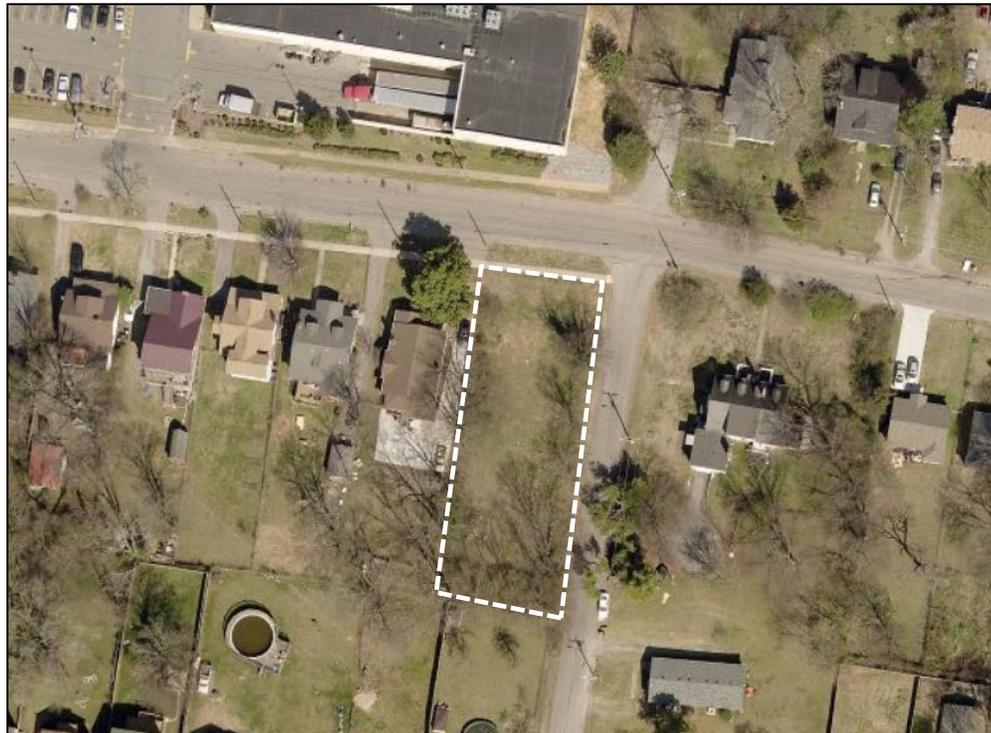
Recommendation Summary: Staff recommends disapproval of the project at 1126 Shelton Avenue, finding that the proposal does not meet sections III.A (Height), III.B (Scale), III.D (Materials), and III.G (Proportion and Rhythm of Openings) of the design guidelines for the Inglewood Place Neighborhood Conservation Zoning Overlay.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III. NEW CONSTRUCTION

A. Height

1. The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings. The majority of historic buildings in the neighborhood are one and one-half stories tall. Generally, a building should not exceed one and one-half stories, except in those areas where historic two-story buildings are found.

B. Scale

1. The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

C. Setback and Rhythm of Spacing

1. The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

2. The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setbacks will be determined based on:

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

Appropriate height limitations will be based on:

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

3. In most cases, an infill duplex for property that is zoned for duplexes, should be one building, in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- *There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- *The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- *An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

D. Materials, Texture, Details, and Material Color

1. The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings.

2. The majority of historic buildings are sided in brick, lap siding, stone or a combination of masonry and lap siding. Shingle siding should be minimally used for infill construction but is appropriate for additions and outbuildings.
 - a. Inappropriate materials include vinyl and aluminum, T-1-11-type building panels, "permastone", and E.F.I.S. Stud wall lumber and embossed wood grain are prohibited.
 - b. Appropriate materials include: pre-cast stone for foundations, composite materials for trim and decking, cement fiberboard lap siding, smooth-finished fiberglass doors.
 - Lap siding, should be smooth and not stamped or embossed and have a reveal of between 5" and 10", depending on the immediate historic context.
 - Four inch (4") nominal corner boards are required at the face of each exposed corner unless the lap siding is mitered.
 - Stone or brick foundations should be of a compatible color and texture to historic foundations.
 - When different materials are used, it is most appropriate to have the change happen at floor lines.
 - Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.
 - Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate for chimneys.
 - Texture and tooling of mortar on new construction should be similar to historic examples.
 - Faux leaded glass is inappropriate.
3. Asphalt shingle is an appropriate roof material for most buildings. Metal and tile are not appropriate; however, terra cotta ridge tiles are found throughout the district.

Generally, roofing should NOT have: strong simulated shadows in the granule colors which results in a rough, pitted appearance; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; or uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof or a dominant historic example.

E. Roof Shape

1. The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. The most common roof forms in the neighborhoods are side gable, cross gable, hipped, and cross gable and hipped. Pitches range from the low slope of the ranch style homes to steeper pitch of the earlier homes.
2. Small roof dormers are typical throughout the district. The most common form is gabled and a few have a hipped or shed roof. Wall dormers are only appropriate on the rear, as historic examples in the neighborhood are rare.

F. Orientation

1. The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
2. Primary entrances are an important component of most of the historic buildings in the neighborhood and include gabled, hipped and shed roof partial–or full-width porches, stoops, enclosed or “vestibule” type entrances, and decorative door surrounds. Infill duplexes should have one primary entrance facing the street. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

3. Generally, lots should not have more than 1 curb cut. Shared driveways should be a single lane. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot. Generally, new driveways should be no more than 12' wide from the street to the rear of the home. Front yard parking areas or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

G. Proportion and Rhythm of Openings

1. The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

2. Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

3. Double-hung and casement windows should generally exhibit a height to width ratio of at least 2:1. Picture windows and fixed windows (and in some cases double-hung windows) may be square or have a horizontal orientation if the principle building follows a post-1955 form, such as a ranch house.

4. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

5. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

H. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030. The word "shall" refers to detached accessory dwelling units. There is more leniency with outbuildings.)

1. A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

a. *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven 750 feet or fifty percent of the first floor area of the principal structure, whichever is less.*

b. *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed 1000 square feet.*

c. *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

2. Historically, outbuildings were utilitarian in character. High-style accessory structures are not appropriate for Inglewood Place.

3. Roof

- a. Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing primary building. In Inglewood Place, historic accessory buildings were between 8' and 14' tall.
- b. Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure.
- c. The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.
- d. *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'. (The width of the dormer shall be measured side-wall to side-wall and the roof plane from eave to eave.)*

4. Windows and Doors

- a. Publicly visible windows should be appropriate to the style of the house.
- b. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- c. Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.
- d. Generally garage doors on garages attached to the side of the house should be oriented towards the rear of the home. Where the context or historic house form allows for a front-facing garage it should be no more than 1 bay and 1 story.

5. Siding and Trim

- a. Weatherboard is a typical siding materials. Brick, stone, and parge-coated concrete block are also appropriate.
- b. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).
- c. Four inch (4" nominal) corner-boards are required at the face of each exposed corner for non-masonry structures.
- d. Stud wall lumber and embossed wood grain are prohibited.
- e. Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

6. Outbuildings should be situated on a lot as is historically typical for surrounding historic outbuildings. Typically vehicular storage should not be attached to the principle dwelling except in these situations:

- a. The new principle dwelling is following a post-1955 form such as a ranch house.
- b. A drop in grade allows the garage to be fully at the basement level with access from a recessed side wall or the rear wall.

Setbacks & Site Requirements.

- d. *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- e. *For corner lots, the DADU or outbuilding's street-side setback should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

Driveway Access.

h. On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.

i. On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

j. Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

7. Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.

a. The lot area on which a DADU is placed shall comply with Table 17.12.020A.

b. The DADU may not exceed the maximums outlined previously for outbuildings.

c. No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.

d. A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met or if the lot has been subdivided since August 15, 1984.

Ownership.

e. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.

f. The DADU cannot be divided from the property ownership of the principal dwelling.

g. The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.

h. Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.

Bulk and Massing.

i. The living space of a DADU shall not exceed seven hundred square feet.

I. Utilities

1. Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

2. Generally, utility connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

J. Public Spaces

1. Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Background: The lot at 1126 Shelton Avenue is vacant. Prior to the enactment of the Neighborhood Conservation Zoning Overlay, the property was rezoned to “SP” allowing three detached residences.



Analysis and Findings: The proposal is to build three detached single family houses. Each of the buildings is proposed to be two-stories tall and have an attached garage. The historic nature of the neighborhood is defined by traditional one and one and one-half story houses with one house per lot, including corner lots where there is typically a single building facing the primary street. There are no lots with more than one house.

The recent rezoning to SP allows for three detached dwellings and includes a site plan with one building facing Shelton Avenue and two facing Windsor Avenue. Although this configuration is not compatible with the historic character of the neighborhood, the SP zoning and site plan approval predates the enactment of the overlay. Staff finds that the three building development has already been determined by the SP.

The design guidelines for the overlay still regulate the building height, number of stories, and the exterior elevations including materials and the window and door pattern.

Height & Scale: The house facing Shelton Avenue, Unit 1, is proposed to be two stories tall, twenty-eight feet, six inches (28'-6") from grade to the peak. The two remaining buildings will be behind it and facing Windsor Avenue. Unit 2 and Unit 3 will be two and one-half stories tall, with a peak height of twenty-nine feet (29') above grade. The historic context consists of only one or one and one-half story houses, the tallest being only twenty-six feet (26') tall. Staff finds that the heights and two-story forms of the proposed infill would not meet Sections III.A and III.B of the Inglewood Place design guidelines.

The Unit 1 structure will have a primary mass that spans thirty-three feet (33') in width and depth. An attached garage on the left side expands the width to forty-nine feet (49'). Historic houses in the area typically range between thirty feet (30') and thirty-four feet (34') wide, on lots that are typically fifty feet (50') wide. There are two wider houses on larger lots nearby. At sixty-seven feet (67') wide the lot at 1126 Shelton is roughly a third wider than the typical lot, therefore Staff finds that the width of the house may be appropriate for a one-story form.

Units 2 and 3 would have thirty foot (30') wide front facades and would be forty-two feet (42') deep. Staff finds that these proportions would be appropriate for buildings with a one-story form.

Staff finds that the widths are compatible with historic buildings, however the height and number of stories is not appropriate. Overall, the scale of the project does not meet Sections III.A and III.B of the Inglewood Place design guidelines.

Setback & Rhythm of Spacing: The front setback of Unit 1 will be thirty feet (30') from Shelton Avenue, roughly half of the typical front setback for existing buildings on Shelton Avenue. Units 2 and 3 will face Windsor Avenue with front setbacks of five feet (5'). There are no historic houses nearby facing Windsor Avenue. The proposal is not compatible with the setbacks and rhythm of spacing between buildings in the historic context because there is no historic precedent for three structures on one lot. However, the SP zoning and the associated site plan allows three detached dwellings with the footprint sizes and locations as depicted in the current proposal. For that reason Staff finds the proposed setbacks have already been determined by the SP.

Materials:

	Proposed	Color/Texture/Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Not known	Not known		X
Cladding	Clapboard siding	Not known		X
Trim	Cement Fiberboard	Smooth faced	Yes	X
Roofing	Architectural Shingles	Color not known	Yes	X
Front Porch floor/steps	Not known	Not known	Not known	X
Front Porch Posts	Brick piers, upper column not known	Not known	Yes	X
Front Porch Railing	n/a	n/a	n/a	n/a
Front Porch Roof	Architectural Shingles	Color not known	Yes	X
Shutters	Not known	Not known	No	X
Windows	Not known	Not known	Not known	X
Principle Entrance	¼ light upper with single panel lower	Not known	Yes	X

Side/rear doors	Full light	Not known	Not known	X
Driveway	Not known	Not known	Not known	X
Walkway	Not known	Not known	Not known	X

Staff finds that there is not enough information available to know if the project’s materials meet Section III.D of the Inglewood Place design guidelines.

Roof form: The roofs of all three buildings will be pyramidal with a pitch of 6:12, with 4:12 pitched porch roofs. Units 2 and 3 would have dormers on their front facades, also hipped with a 6:12 pitch. These roof forms are commonly found on historic houses throughout the neighborhood. While the two- and two-and-one-half story houses are not compatible with the scale of historic buildings, Staff finds that on one- or one-and one-half story houses the proposed roof forms would meet Section III.E of the Inglewood Place design guidelines.

Orientation: Unit 1 faces Shelton Avenue, with a five foot (5’) deep wrap-around porch. Typically front porches are at least six feet (6’) deep on historic buildings. A walkway will lead from the porch to the Shelton Avenue sidewalk, as is typical of the context.

Units 2 and 3 face Windsor Avenue, and each would have a five foot (5’) deep full-width covered porch. Again, front porches are at least six feet (6’) deep on historic buildings. The plans also show walkways leading from the porches to a new sidewalk on Windsor Avenue.

On other corner lots in the neighborhood, there is typically only one structure facing the primary street. There are no rear-yard houses facing side streets historically. Staff finds that the orientation of Units 2 and 3 is not compatible with the historic context, however, the SP zoning and the associated site plan allows three detached dwellings with the building orientation as depicted in the current proposal I. For that reason Staff finds the orientation of the proposal has been determined by the SP.

Proportion and Rhythm of Openings: The windows on the front facades of the proposed infill buildings are generally twice as tall as they are wide and there are no large expanses of wall space without a window or door opening. There are several areas on the side elevations that do not have a regular window pattern. On all three buildings the front windows have inappropriately sized shutters and paired windows without mullions.

The three buildings all also include attached garages. Unit 1’s garage is in a one story wing projecting to the left of the main massing of the building, Units 2 and 3 have garages on the side within the main massing. Attached garages are not typical of the historic character of the neighborhood. Although garage doors are not compatible with the proportion and rhythm of openings on historic houses, they are depicted on the site plan associated with the SP zoning. Additionally, in allowing three detached houses on

the lot the SP zoning precludes the possibility of detached outbuildings, which would have been more compatible with the historic neighborhood.

For these reasons Staff finds the garage openings of the proposal are determined by the SP however, Staff finds the project's proportion and rhythm of window openings do not meet Section III.G of the Inglewood Place design guidelines.

Appurtenances & Utilities: The location of the HVAC and other utilities was not noted. With a condition that the HVAC units are located on the rear façade, or on a side façade beyond the midpoint of the house Staff finds the project's appurtenances and utilities would meet Section III.I of the Inglewood Place design guidelines.

Recommendation: Staff recommends disapproval of the project at 1126 Shelton Avenue, finding that the proposal does not meet sections III.A (Height), III.B (Scale), III.D (Materials), and III.G (Proportion and Rhythm of Openings) of the design guidelines for the Inglewood Place Neighborhood Conservation Zoning Overlay.



Vacant lot at 1126 Shelton Avenue.



Historic houses at 1118, 1120, 1122, and 1124 Shelton Avenue.



Historic house at 1132 Shelton Avenue, across Windsor Avenue to the left.

EROSION CONTROL & GRADING NOTES

- 1) EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE ON THE SITE FOR NO MORE THAN 15 DAYS. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- 2) ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6" OF TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL SHALL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER (UNLESS OTHERWISE SPECIFIED IN WRITTEN SPECIFICATIONS), 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET, AND A STRAW MULCH COVER OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET), UNLESS OTHERWISE NOTED WITHIN WRITTEN SPECIFICATIONS.
- 3) EROSION CONTROL BARRIER IS CALLED OUT ON PLANS AND IS TO COMPLY WITH THE METROPOLITAN STORMWATER MANAGEMENT MANUAL, VOLUME FOUR, SECTION TCP-14.
- 4) DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEDIMENT BARRIERS DURING AND UPON THE COMPLETION OF CONSTRUCTION.
- 5) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND LOCATION OF ANY EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH INSTALLATION, FULL REPAIR WILL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATION GOVERNING SUCH WORK.
- 6) ANY ACCESS ROUTES TO THE SITE SHALL BE BASED WITH CRUSHED STONE, ASTM #1 STONE, 100 FEET LONG AND AT LEAST 6" THICK.
- 7) THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8" THICKNESS OR AS DIRECTED BY THE SOILS INVESTIGATIVE REPORT. SAID FILL MATERIAL IS TO BE FREE OF SOIL, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. SAID FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR, OR AS OTHERWISE SPECIFIED BY THE SOILS REPORT OR WRITTEN SPECIFICATIONS.
- 8) THE CONTRACTOR SHALL NOTIFY THE METRO DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION COMPLIANCE DIVISION, THREE DAYS PRIOR TO BEGINNING THE WORK.
- 9) THE CONTRACTOR SHALL LOCATE AND STAKE THE LAYOUT OF THE SITE IN THE FIELD FOR INSPECTION BY THE ENGINEER. THE CONTRACTOR SHALL CHECK THE GRADES AND FINAL DIMENSIONS ON THE GROUND, AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY FOR A DECISION.
- 10) SURPLUS EXCAVATION OF TOPSOIL SHALL BE PLACED ON THE SITE AS APPROVED BY THE OWNER FOR THE PURPOSE OF FUTURE LANDSCAPE USE.
- 11) THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE PUBLIC AND EMPLOYEES, INCLUDING WARNING SIGNS AND LIGHTS.
- 12) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION CAUSED BY HIMSELF, HIS SUB-CONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- 13) ALL WORK IS TO BE COMPLETED WITH COMPLIANCE TO THE RULES AND REGULATIONS SET FORTH BY METRO WATER SERVICES. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS, AND PAY FEES REQUIRED FOR THE COMPLETION OF HIS PORTION OF THE WORK. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE LAWS AND ORDINANCE OR REGULATIONS RELATING TO PORTIONS OF WORK WHICH HE IS TO PERFORM.
- 14) ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED & CONSTRUCTION IS COMPLETE.
- 15) CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT WASHING IN ACCORDANCE WITH METRO CP-10 & CP-13. LOCATION TO BE COORDINATED WITH THE MPDS DEPARTMENT DURING THE PRE-CONSTRUCTION MEETING.

WATER & SEWER NOTES

- 1) ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
- 2) THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO WATER SERVICES THE COST OF INSPECTION.
- 3) THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
- 4) ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESULET CONNECTOR METHOD.
- 5) REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
- 6) ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
- 7) PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
- 8) PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.

PUBLIC WORKS NOTES

- 1) ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES AN EXCAVATION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- 2) PROOF-ROLLING OF ALL STREET SUBGRADES IS REQUIRED IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. INSPECTION OF THE BINDER COURSE IS REQUIRED PRIOR TO FINAL PAVING IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. THESE REQUESTS ARE TO BE MADE 24 HOURS IN ADVANCE.
- 3) STOP SIGNS ARE TO BE 30 INCH BY 30 INCH.
- 4) STREET SIGNS TO HAVE SIX INCH WHITE LETTERS ON A NINE INCH GREEN ALUMINUM BLADE, HIGH INTENSITY REFLECTIVE.
- 5) ALL PAVEMENT MARKINGS ARE TO BE THERMOPLASTIC.

Adjacent Fire Hydrant Flow Test Results

FORTHCOMING
(FLOW RESULTS REQUESTED FROM MPWS)

LANDSCAPE NOTES

- 1) THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR AND DAMAGE TO UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THE UTILITIES.
- 2) ALL PLANTING AND MULCH BEDS SHALL BE SPRAYED WITH ROUND-UP (CONTRACTOR'S OPTION) PRIOR TO THE INSTALLATION OF MULCH.
- 3) PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
- 4) THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
- 5) ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12W/1000 S.F. OF 10-10-10 FERTILIZER.
- 6) ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH.
- 7) THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- 8) THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
- 9) EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVELY PRUNE DEAD WOOD.
- 10) ALL DISTURBED AREAS SHALL BE PLANTED WITH TURF AS INDICATED ON THE MATERIALS SCHEDULE.
- 11) ALL DECIDUOUS TREES, EXISTING AND PROPOSED SHALL BE PRUNED TO PROVIDE A MINIMUM CLEAR TRUNK UNLESS OTHERWISE NOTED.
- 12) THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS AND REPLACE ANY DEAD OR DYING MATERIAL WITHIN THAT TIME PERIOD.
- 13) NO PLANT MATERIALS SHOULD BE SUBSTITUTED WITHOUT AUTHORIZATION BY DALE & ASSOCIATES. PLANT SIZES SHOWN ARE MINIMUMS REQUIRED BY THE LOCAL MUNICIPALITY AND MATERIALS SHOWN HAVE BEEN SELECTED SPECIFICALLY FOR THIS PROJECT.
- 14) ALL WIRE BASKETS SHALL BE COMPLETELY REMOVED AND DISPOSED OF. BURLAP SHOULD BE REMOVED OR PUNCTURED IN AT LEAST 5 PLACES. REMOVE ALL TWINE FROM BURLAPPED MATERIALS.
- 15) GUYING IS NOT ALLOWED UNLESS REQUIRED BY MUNICIPALITY OR SITE CONDITIONS. THE LANDSCAPE CONTRACTOR SHALL REMOVE WIRES AFTER A ONE YEAR PERIOD.
- 16) NO CANOPY TREE SHALL BE LOCATED WITHIN 15' OF AN OVERHEAD UTILITY. NO TREE SHALL BE LOCATED WITHIN A PUBLIC UTILITY EASEMENT. LOCATING PLANT MATERIALS WITHIN A DRAINAGE EASEMENT IS ACCEPTABLE, BUT ONLY IF INSTALLED AS NOT TO DISTURB EXISTING DRAINAGE FLOW. IN SUCH INSTANCES, THE MATERIALS SHALL BE LOCATED NO CLOSER THAN 5' FROM THE CENTERLINE OF DRAINAGE.
- 17) LIGHTING PLAN TO BE COORDINATED WITH PROPOSED PLANTING PLAN. NO LIGHT POLES TO BE LOCATED IN TREE ISLANDS. SEE LIGHTING PLAN FOR PROPOSED LIGHT LOCATIONS.

ORDINANCE NO. BL2015-1000

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of the Metropolitan Government of Nashville and Davidson County, by changing from RS7.5 to SP zoning for property located at 1126 Shelton Avenue, at the southwest corner of Shelton Avenue and Windsor Avenue, (0.31 acres), to permit up to three detached residential dwelling units, all of which is described herein (Proposal No. 2014SP-077-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from RS7.5 to SP zoning for property located at 1126 Shelton Avenue, at the southwest corner of Shelton Avenue and Windsor Avenue, (0.31 acres), to permit up to three detached residential dwelling units, being Property Parcel No. 343 as designated on Map 072-03 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lot, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 072 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to up to 3 residential units.

Section 4. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:
1. The final site plan shall include architectural elevations showing raised foundations of 18"-36" for residential buildings.

Section 5. Be it further enacted, a certified copy of the preliminary SP plan incorporating the conditions of approval by Metro Council shall be provided to the Planning Department prior to or with final site plan application.

Section 6. Be it further enacted, minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increases the permitted density of floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Section 7. Be it further enacted, if a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the RM9 zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.

Section 8. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

Sponsored by: Anthony Davis, Peter Westerholm

APPLICATION #: T2016 PROJECT NAME: Shelton & Windsor
MAP/PARCEL: Tax Map 72-03, Parcel 343 EXAMINER:

USE - CHAPTER 17.08 & 17.16

DETERMINE THE USE	Multi-Family (3 Units on 0.312 Acres or 9.6 Units/Acre)
PROPERTY ZONING	SP OVERLAY N/A
USE CHARTS: P, PC, SE, A	PERMITTED
SITE CRITERIA (Bulk Standards based upon SP Zoning)	
SUBDIVISION PLAT:	FT LOT 53 INGLEWOOD PLACE
MINIMUM LOT SIZE	NONE
FAR	0.60 MAXIMUM / 0.63 PROPOSED (2 STORY)
SK - Adjustments / Slopes over 15%	0.70 MAXIMUM / 0.48 PROPOSED
STREET SETBACKS:	30' MEASURED FROM RIGHT OF WAY (SHELTON ONLY)
SIDE YARD	5' FROM PROPERTY LINE/ R.O.W. (WEST & EAST)
REAR YARD	20' FROM PROPERTY LINE (SOUTH)
HEIGHT STANDARDS	2 STORES MAX IN 35 FEET (MEASURED TO ROOFLINE)

PARKING AND ACCESS - CHAPTER 17.20

RAMP LOCATION AND NUMBER	ACCESS VIA WINDSOR AVE
DISTANCE TO NEAREST EXISTING RAMP (MINIMUM 30')	265' SOUTH
DISTANCE TO INTERSECTION	SITE IS LOCATED AT AN INTERSECTION
	50' HIGHWAY STREET 180' ARTERIAL STREET
	100' COLLECTOR 250' CONTROLLED ACCESS RAMP
REQUIRED PARKING BASED ON USES	2 Stalls/Unit @ 3 Units = 6 Req'd / 6 Proposed
REQUIRED LOADING BASED ON USES	None Required
SURFACING OVER 5 SPACES 1,750 SQ. FT.	Provided
SPACE SIZES, AISLE WIDTHS, ANGLE DATA	4 Covered Stalls, 2 - 90' Stalls
QUELTING LANES	N/A
OVER 10 SPACES 20' CURBING AT EXIT	Provided
NUMBER OF COMPACT SPACES / %	None
NUMBER OF ACCESSIBLE SPACES	None
SIDEWALKS REQUIRED	Public Sidewalk proposed along Windsor

LANDSCAPING STANDARDS - CHAPTER 17.24

REQUIRED BUFFER YARDS	N/A
PERMETER LANDSCAPING	Provided
SIDE LINES ADJACENT TO PARKING AREAS 5' MINIMUM WITH TREES 2.5' WITH TREE ISLANDS	Provided
INTERIOR LANDSCAPING MINIMUM 8% AREA	N/A
SCREENING AROUND DUMPSTERS (NO CHAIN LINK FENCE PERMITTED)	Provided
TREE DENSITY	Provided

*NOTE: SPECIFIC ENCROACHMENTS PERMITTED BY SP:
(NOT TO ENCR OACH INTO RIGHT OF WAY)

- 6 FT - COVERED PORCHES
- 2 FT - BAY WINDOWS
- 6 FT - STOODS & BALCONIES

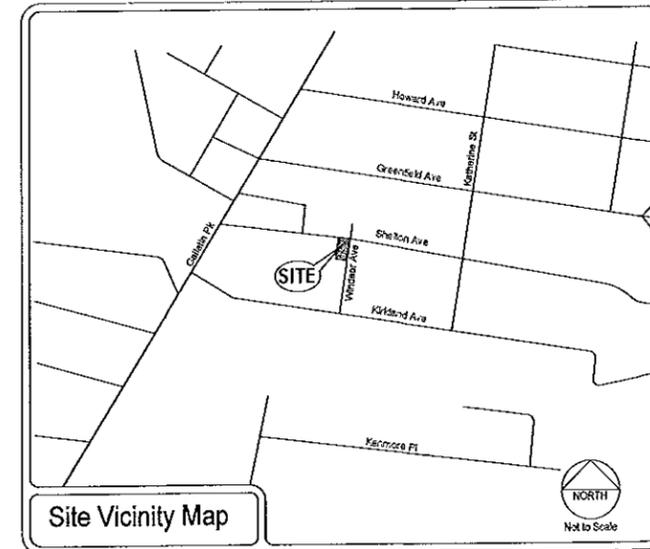
ARCHITECTURAL NOTES

BUILDING ELEVATIONS FOR ALL STREET FACADES SHALL BE PROVIDED WITH THE FINAL SITE PLAN. THE FOLLOWING STANDARDS SHALL BE MET:

- A. BUILDING FACADES FRONTING A STREET AND COURTYARD SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 25% GLAZING. BUILDING NO. 1 SHALL HAVE FACADE REQUIREMENTS ALONG BOTH STREET FRONTAGES.
- B. WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATION OF 2:1 OR GREATER.
- C. EIFS AND VINYL SIDING SHALL BE PROHIBITED.
- D. FINISHED GROUND FLOORS AND PORCHES SHALL BE ELEVATED A MINIMUM OF 18 INCHES TO A MAXIMUM OF 30 INCHES FROM THE ABUTTING AVERAGE GROUND ELEVATION.
- E. PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH.

STANDARD SP NOTES

- 1) THE PURPOSE OF THIS SP IS TO RECEIVE FINAL APPROVAL TO PERMIT THE DEVELOPMENT OF A 3 UNIT RESIDENTIAL DEVELOPMENT AS SHOWN.
- 2) ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 & APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- 3) THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA AS IDENTIFIED BY FEMA ON MAP 47037C0228F DATED APRIL 20, 2001.
- 4) ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH METRO PUBLIC WORKS SIDEWALK DESIGN STANDARDS.
- 5) WHEEL CHAIR ACCESSIBLE CURB RAMPS, COMPLYING WITH APPLICABLE METRO PUBLIC WORKS STANDARDS, SHALL BE CONSTRUCTED AT STREET CROSSINGS.
- 6) THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METROPOLITAN FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- 7) SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO RIGHT OF WAY IS 15" CMP).
- 8) METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT & UNENCUMBERED INGRESS & EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE & INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
- 9) INDIVIDUAL WATER AND/OR SANITARY SEWER SERVICE LINES ARE REQUIRED FOR EACH UNIT.
- 10) SOLID WASTE PICKUP TO BE PROVIDED BY INDIVIDUAL ROLL-AWAY CANS.
- 11) OWNERSHIP FOR UNITS MAY BE DIVIDED BY A HORIZONTAL PROPERTY REGIME OR A SUBDIVISION APPROVED BY THE METRO PLANNING COMMISSION, WITH A MINIMUM LOT SIZE OF 1,000 SQUARE FEET.
- 12) MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
- 13) FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE RM9 ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.



Property Information

1126 Shelton Ave
Nashville, Tennessee 37216
13,503.6 Square Feet or 0.31 Total Acres
Council District 07 (Anthony Davis)

Owners of Record/ Developer

Integrity First Development LLC
1529 Hunt Club Blvd Suite 201
Gallatin TN 37066
Office: 615.386.7002
info@integrityfirstventures.com

Civil Engineer

Dale & Associates
516 Heather Place
Nashville, Tennessee 37204
Contact: Michael Garrigou, PE
Phone: 615.297.5166
Email: michael@daleandassociates.net

Surveyor

Clint T. Elliott
7930 Hwy 70 South,
Nashville Tn, 37221
Phone: 615.533.2054
Email: clintelliott@comcast.net

Electric Service

Nashville Electric Service (NES)
1214 Church Street
Nashville, Tennessee 37246
615.747.6807

Gas Service

Nashville Gas (Piedmont)
615.734.0734

Water Service

Metro Water Service
1600 2nd Avenue North
Nashville, Tennessee 37208
615.862.4598

Sewer Service

Metro Water Services
1600 2nd Avenue North
Nashville, Tennessee 37208
615.862.4598

Telephone Service

Bellsouth
800.288.2020

Utility Location

Tennessee One-Call
800.351.1111

Sheet Schedule

- 1 C1.0 Notes & Project Standards
- 2 C2.0 Existing Conditions, Erosion Control & Layout
- 3 C3.0 Utility & Grading Plan
- 4 C4.0 Landscaping Plan

Notes & Project Standards



REVISIONS:
MPC Comments - Aug 2016

Codes Tracking # 12016
Preparation Date: JUL 2016

Shelton & Windsor
Final Specific Plan
Ordinance No. BL2015-1000
MPC # 2014SP-077-002
Tax Map 72-03, Parcel 343
Nashville, Davidson County, Tennessee



Dale & Associates
Consulting Civil Engineering
Land Planning & Zoning
Surveying

MPC Case Number
2014SP-077-002
D&A Project #14904
Shelton & Windsor

C1.0
Sheet 1 of 4

316 Heather Place
Nashville, Tennessee 37204
(615) 297-3166



Property Information

1126 Shelton Ave
Nashville, Tennessee 37216
13,503.6 Square Feet or 0.31 Total Acres
Council District 07 (Anthony Davis)

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615.862.4598

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Nashville, Tennessee 37208
615.862.4598

Telephone Service

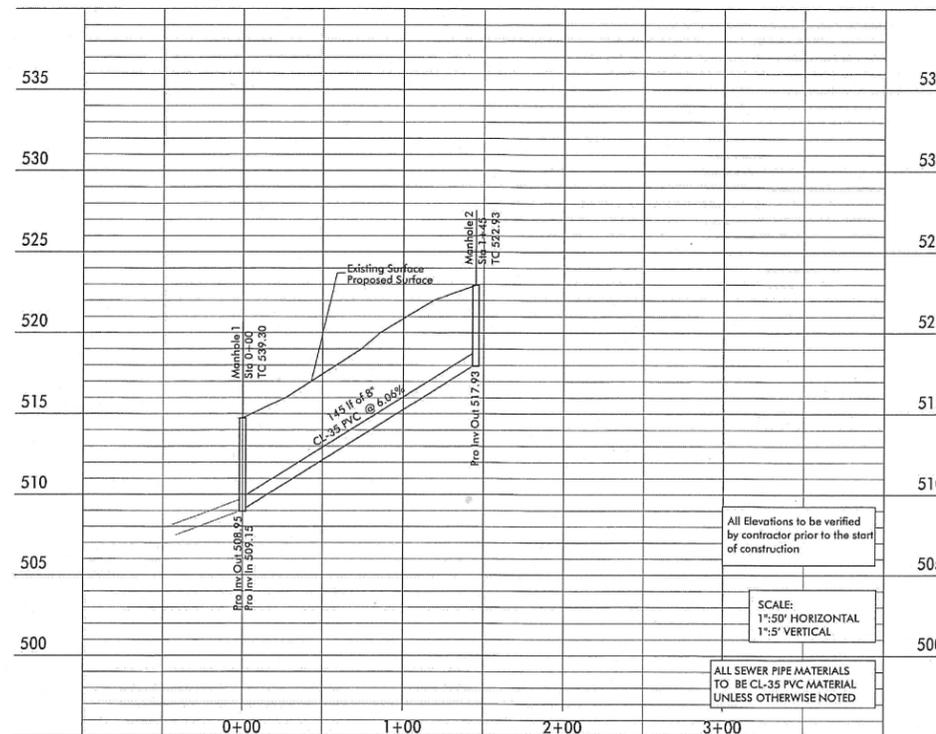
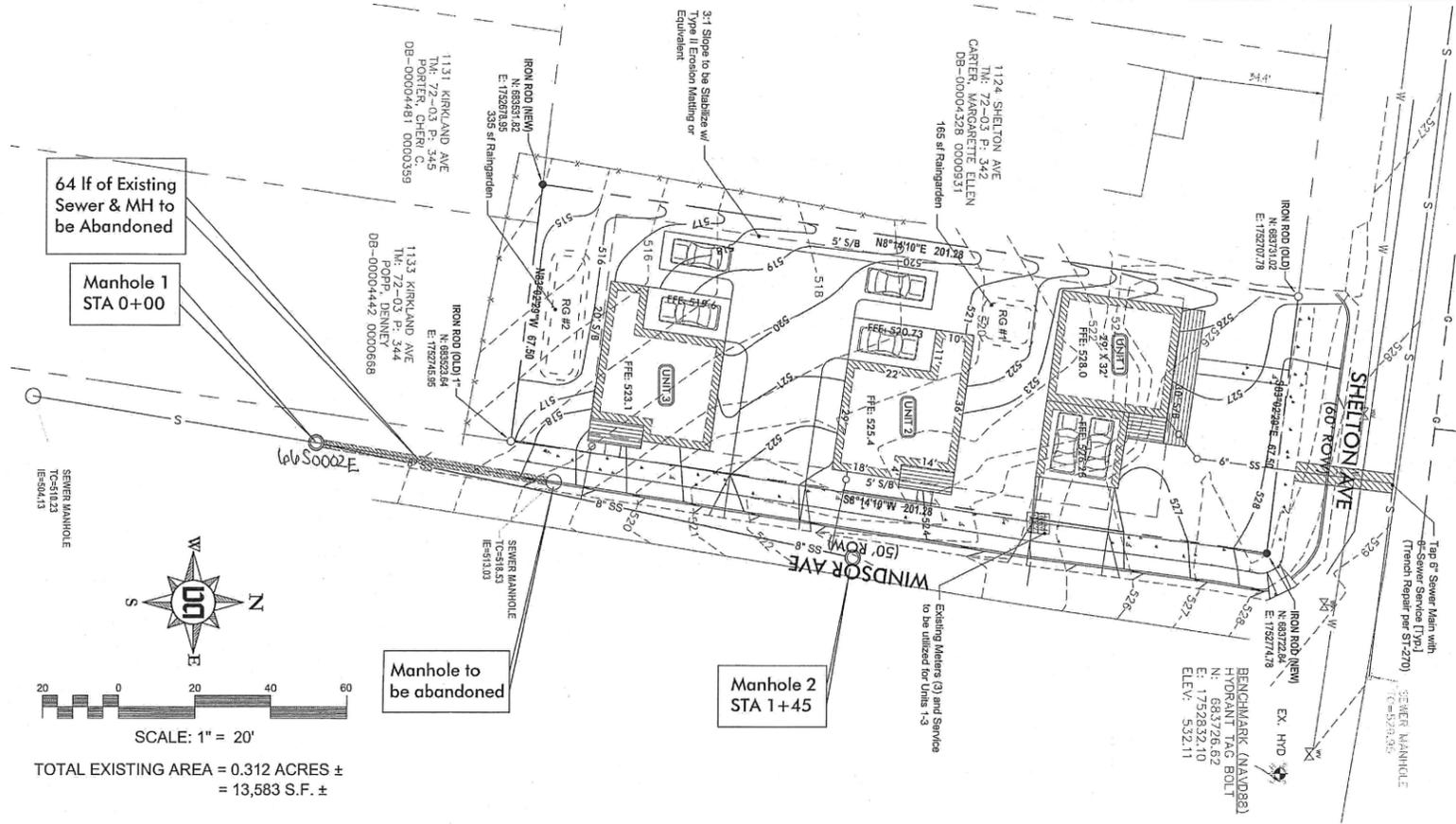
Bellsouth
800.288.2020

Utility Location

Tennessee One-Call
800.351.1111

Water and Sewer Notes:

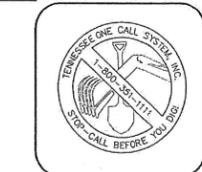
- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approved.
- After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services Inspection Section. All costs will be borne by the developer.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced Pressure Backflow Prevention Devices (RPBP) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans on moist erasable mylars in reverse and in digital (.dwg) format. Sewer plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. Water line plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
- All water mains must be located within the paved area including all blow-off assemblies.



METRO WATER SERVICES NASHVILLE, TN
"APPROVED FOR CONSTRUCTION"
THIS APPROVAL IS GIVEN THAT THE STAMP HAS BEEN REVIEWED BY THE DEPARTMENT OF WATER AND SEWERAGE SERVICES UNDER AUTHORITY DELEGATED BY THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DIVISION OF WATER POLLUTION CONTROL AND IS HEREBY APPROVED FOR CONSTRUCTION.
THIS APPROVAL SHALL NOT BE CONSIDERED AS GUARANTEEING A FUTURE PROPER OPERATION OR MAINTENANCE BY THE DEPARTMENT OF WATER AND SEWERAGE SERVICES THAT THE APPROVED FACILITIES WILL REACH THE DESIGNED GOALS.
THIS APPROVAL EXPIRES ONE YEAR FROM DATE SHOWN BELOW
DEC 28 2016
DATE ENGINEER

16-SL-253
METRO PROJECT #16-SL-XXX
Sanitary Sewer Plan and Profile

Dale & Associates
Consulting Civil Engineering
Land Planning & Zoning
Surveying



REVISIONS:
MPC Comments - Aug 2016
Codes Tracking # T2016
Preparation Date: JUL 2016

Shelton & Windsor
Final Specific Plan
Ordinance No. BL 2015-1000
MPC # 2014SP-077-002
Tax Map 72-013, Parcel 343
Nashville, Davidson County, Tennessee



MPC Case Number
2014SP-077-002
D&A Project #14004
Shelton & Windsor
S1.0
Sheet 5 of 5



DESIGNS

J2Designs@comcast.net

SQUARE FOOTAGE INFO.

HEATED AREA

1ST FLR. = 938 S.F.

2ND FLR. = 867 S.F.

BONUS RM. =

TOTAL LIVING 1805 S.F.

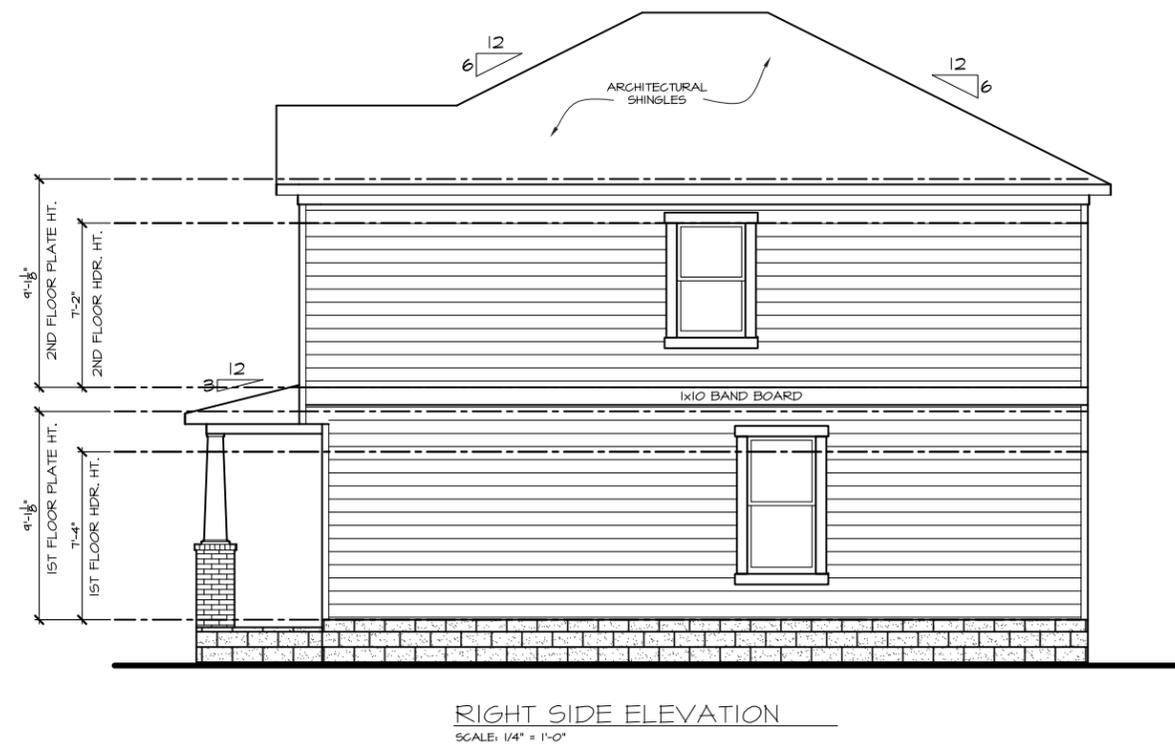
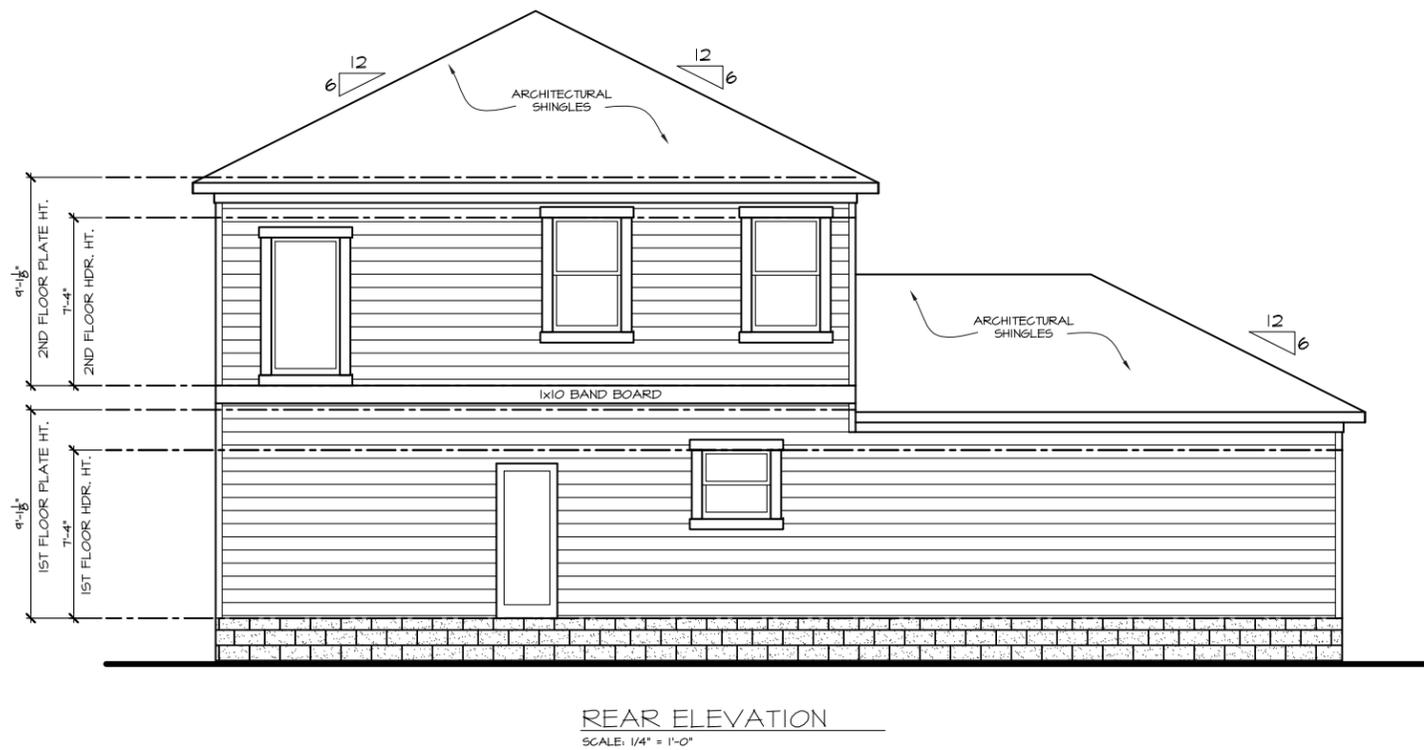
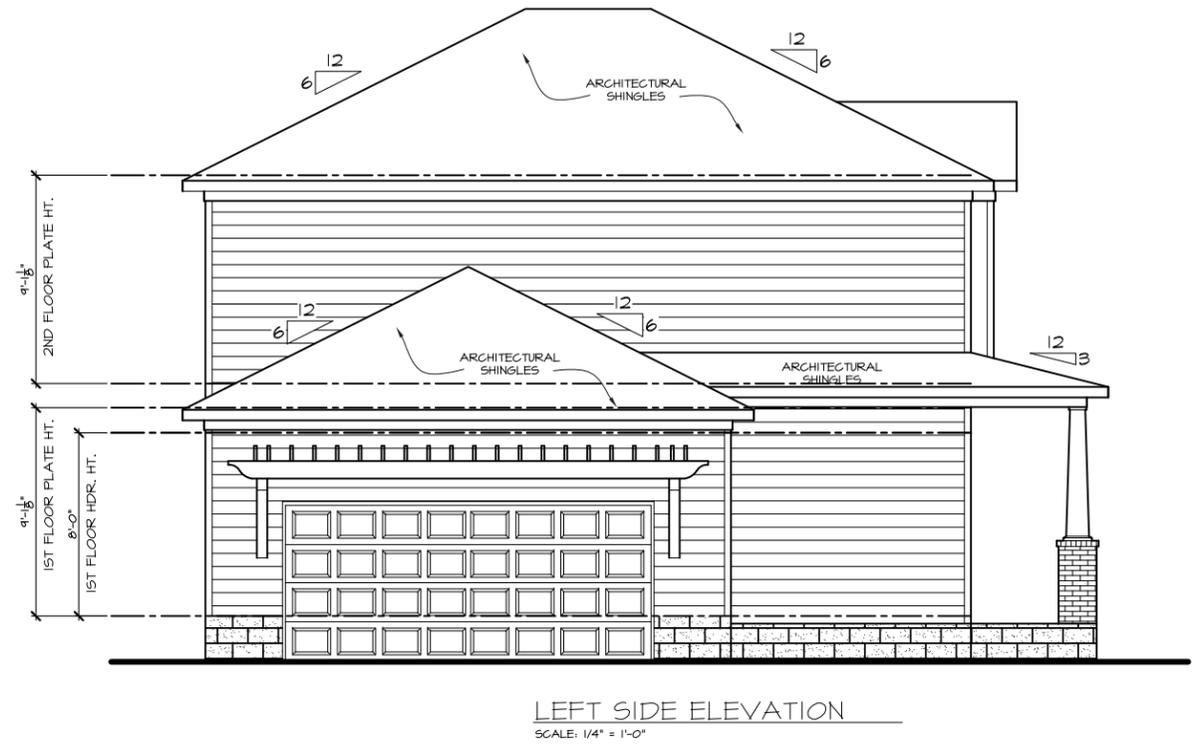
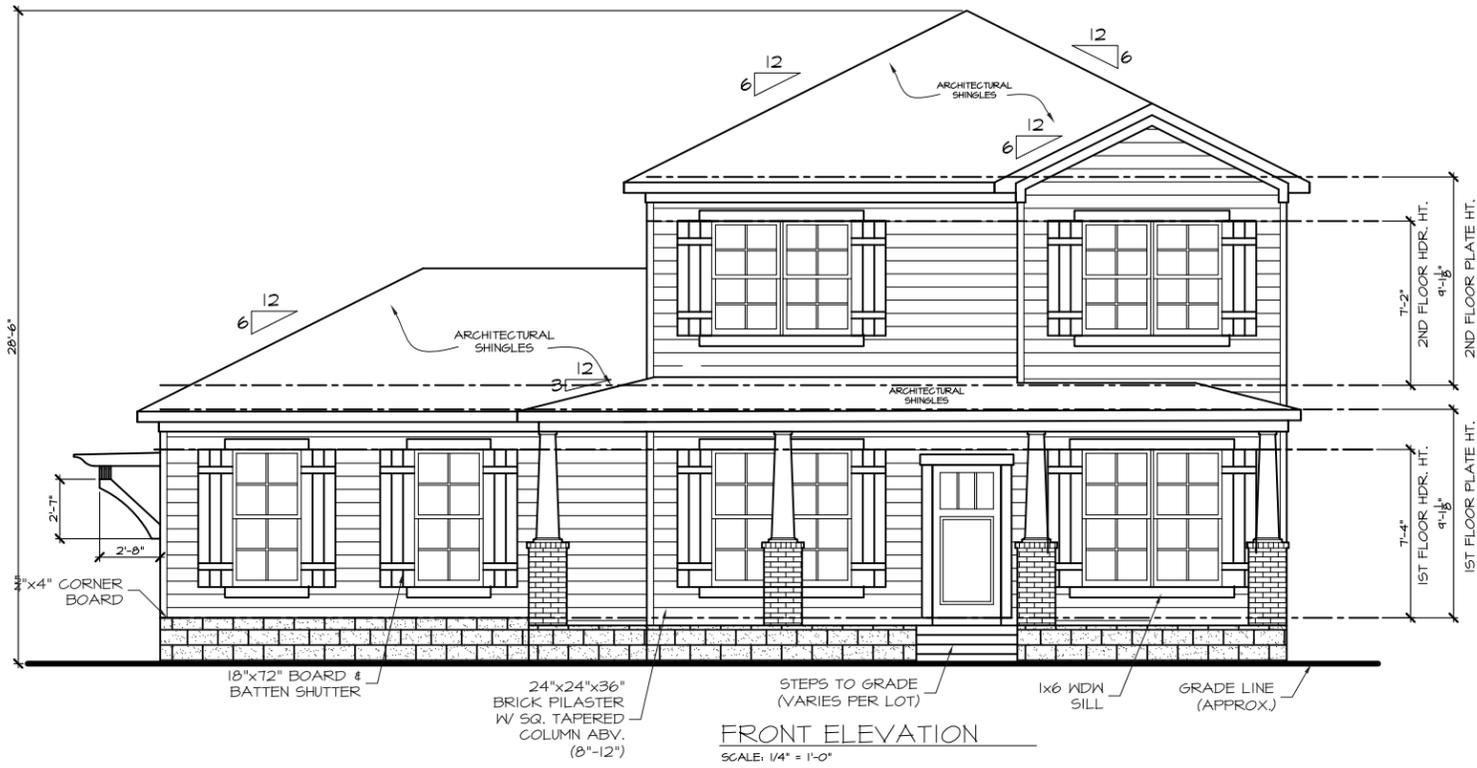
GARAGE = 468 S.F.

BASMT = N/A S.F.

C. PORCH = 220 S.F.

UPDATED - 05.11.17

SHELTON AVE. UNIT 1



Revisions:

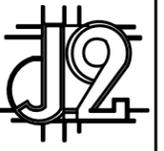
Date	Description
4.25.17	FINAL PLANS
05.11.17	REV. PLANS

DO NOT SCALE drawings; use given dimensions. Contact designer to verify dimensions as needed.

These drawings are for DESIGN INTENT ONLY. It is the contractor's responsibility to ensure construction meets or exceeds all applicable codes.

It is the contractor's responsibility to coordinate all mechanical, structural, electrical and plumbing systems with the framework and aesthetics of this home.

A.I.



DESIGNS

J2Designs@comcast.net

SQUARE FOOTAGE INFO.

HEATED AREA

1ST FLR. = 938 S.F.

2ND FLR. = 867 S.F.

BONUS RM. =

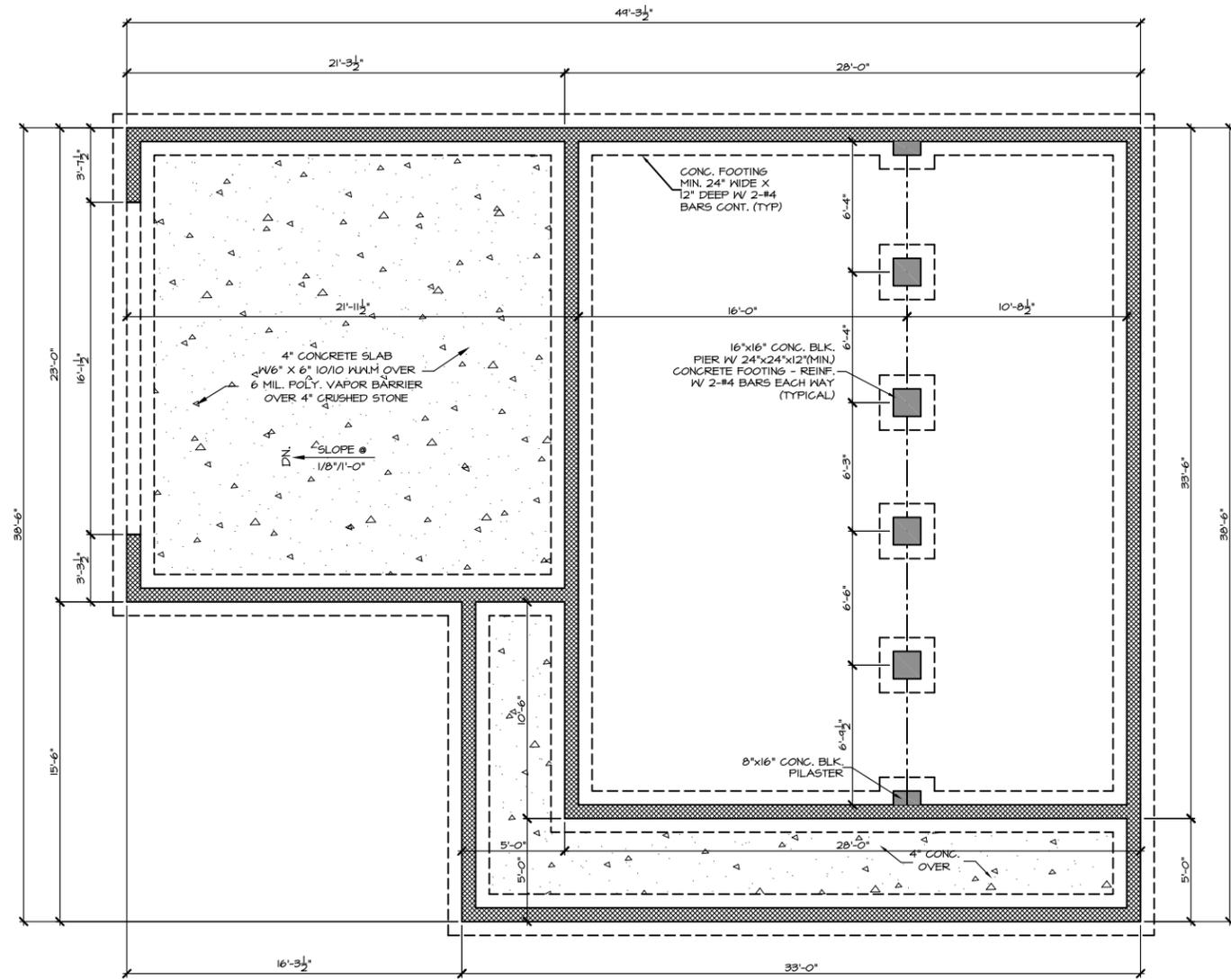
TOTAL LIVING 1,805 S.F.

GARAGE = 468 S.F.

BASMNT = N/A S.F.

C. PORCH = 220 S.F.

UPDATED - 05.11.17



GENERAL FOUNDATION NOTES:

1. BUILDER TO SIZE ALL BEAMS AND FRAMING MEMBERS OF UPPER LEVEL(S) PRIOR TO CONSTRUCTION.
2. PERIMETER DIMENSIONS ARE TO OUTSIDE FACE OF 12" BLOCK. INTERNAL DIMENSIONS ARE TO OUTSIDE FACE OF 8" BLOCK AND CENTER LINES OF BEAMS / THICKENED SLAB UNLESS NOTED OTHERWISE.
3. BUILDER TO PROVIDE TERMITE TREATMENT UNDER SLABS THAT COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES.
4. ALL INTERIOR FINISH FLOORS SHALL BE FLUSH TO ADJACENT FINISH FLOORS UNLESS NOTED OTHERWISE.
5. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. BUILDER SHALL HAVE A LICENSED STRUCTURAL ENGINEER REVIEW ACTUAL SITE CONDITIONS PRIOR TO DESIGN OF ALL STRUCTURAL ELEMENTS.
6. IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THAT ALL WORK AND CONSTRUCTION MEET OR EXCEED APPLICABLE CODES.
7. PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS WHICH RUN PARALLEL TO FLOOR JOISTS.
8. BUILDER SHALL INSPECT ACTUAL SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING CONSTRUCTION.
9. BUILDER SHALL NOTIFY THE DESIGNER OR LICENSED STRUCTURAL ENGINEER OF ANY NON-TYPICAL CONDITIONS REGARDING SOILS, GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING.
10. BUILDER SHALL PROVIDE A CONTINUOUS MOISTURE BARRIER BETWEEN MASONRY AND EXPOSED SHEATHING OR FRAMING.

FOUNDATION PLAN
SCALE: 1/4"=1'-0"

Revisions:	
Date	Description
12.23.15	FINAL PLANS
05.11.17	REV. PLANS

DO NOT SCALE drawings; use given dimensions. Contact designer to verify dimensions as needed.

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DESIGNS

J2Designs@comcast.net

SQUARE FOOTAGE INFO.

HEATED AREA

1ST FLR. = 938 S.F.

2ND FLR. = 867 S.F.

BONUS RM. =

TOTAL LIVING 1,805 S.F.

GARAGE = 468 S.F.

BASMT = N/A S.F.

C. PORCH = 220 S.F.

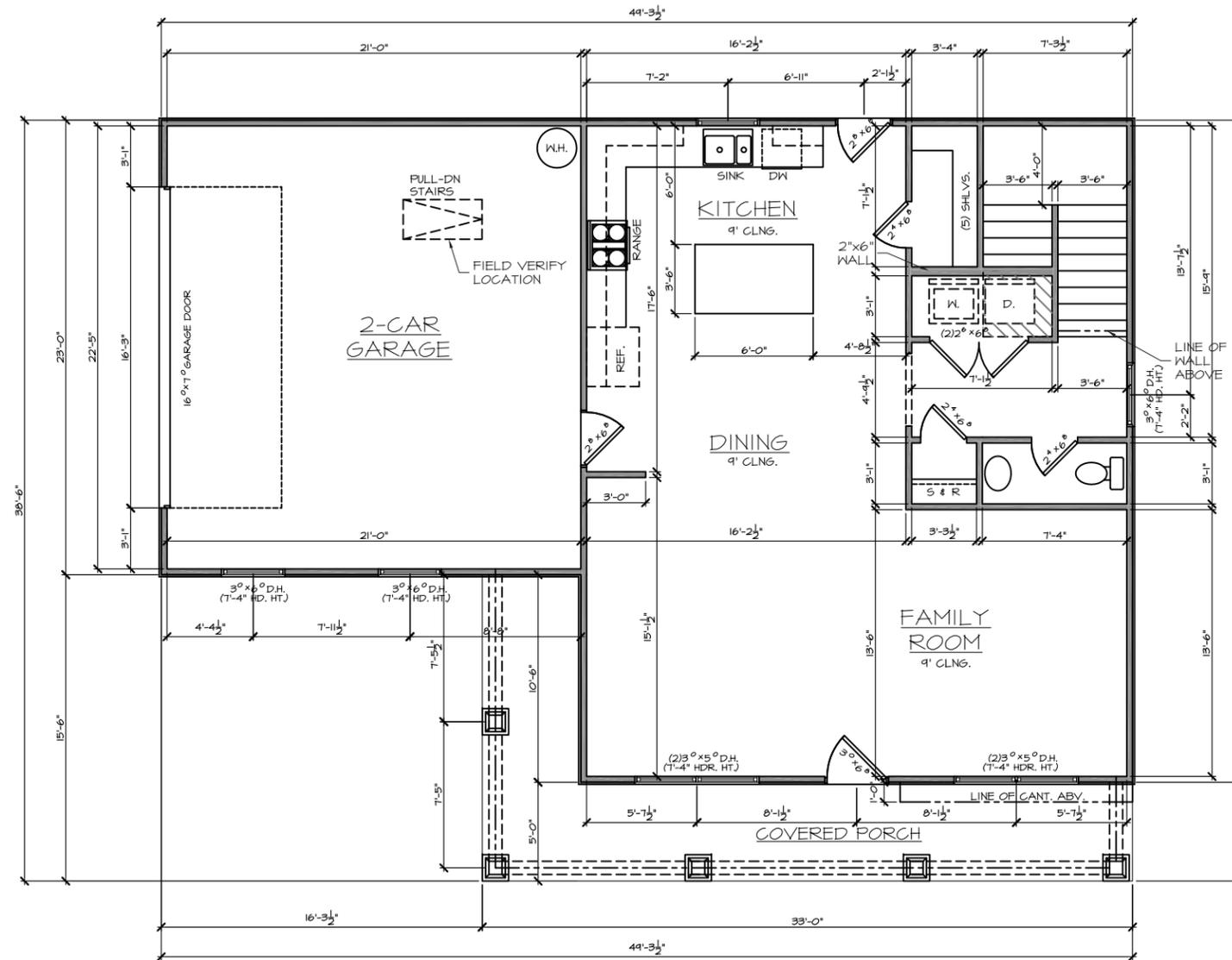
UPDATED - 05.11.17

TYPICAL INSULATION LOCATIONS:

1. EXTERIOR WALLS DIRECTLY ADJACENT TO CONDITIONED SPACE
2. ROOF RAFTERS DIRECTLY ADJACENT TO CONDITIONED SPACE
3. INTERIOR WALLS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE
4. FLOOR JOISTS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE

NOTES:

- GYP. BOARD WALL AND CEILINGS
- ALL EXTERIOR WALLS TO BE 2x6 (U.N.O.)
- 3/8" TYPE "X" GYP. BOARD @ GARAGE CEILING
- 4'-10" CEILING HEIGHT FIRST FLOOR
- 4'-10" CEILING HEIGHT SECOND FLOOR
- ALL ANGLES TO BE 45 DEGREES U.N.O.
- 1 3/4" H.C. INTERIOR DOORS
- 1 3/4" S.C. EXTERIOR DOORS
- 6'-8" DOOR HT. AT FIRST FLOOR
- 6'-8" DOOR HEIGHT AT SECOND FLOOR
- ALL WINDOWS TO BE SINGLE HUNG
- 7'-4" HEADER HT. AT FIRST FLOOR
- 7'-2" HEADER HT. AT SECOND FLOOR
- ALL BEDROOM WINDOWS TO BE 44" A.F.F. (MAX) 22" HIGH x 20" WIDE (MIN.) OPENING WITH 5:7 SQ FT (MIN) NET CLEAR OPENING
- SMOKE DETECTORS REQUIRE IIOV CONNECTION TO HOUSE WIRING AND BATTERY BACKUP. LOCATIONS TO COMPLY WITH F907.1.10 (IRC 2012)
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS THROUGH NATURAL OR MECH. MEANS AND COMPLY WITH 1209 (IRC 2012)
- CHIMNEYS TO BE 3'-0" MIN. ABV. THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2'-0" MIN. HIGHER THAN ANY PORTION OF THE ROOF WITHIN A 10'-0" RADIUS
- ALL PREFAB FIREPLACES TO BE U.L. & IRC 2012 APPROVED & A COPY OF THE MANUF. INSTALLATION MANUAL SHALL BE AVAILABLE @ JOB SITE FOR INSPECTOR'S REVIEW
- STAIR WAYS SHALL COMPLY WITH R1004 (IRC 2012)
- HANDRAILS TO BE 34" TO 38" ABV. NOSE OF TREAD
- ALL GUARDRAILS AND HANDRAILS SHALL COMPLY WITH R 1012 & 1013 (IRC 2012)
- GUARDRAILS TO BE 36" A.F.F. (MIN) WITH BALUSTERS AT 4" O.C. MAX PER R1013 (IRC 2012)
- PLUMBING AND HVAC TO FOLLOW 2012 INTERNATIONAL PLUMBING AND MECHANICAL CODE



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

Revisions:	
Date	Description
04.25.17	FINAL PLANS
05.11.17	REV. PLANS

DO NOT SCALE drawings; use given dimensions. Contact designer to verify dimensions as needed.

These drawings are for DESIGN INTENT ONLY. It is the contractor's responsibility to ensure construction meets or exceeds all applicable codes.

It is the contractor's responsibility to coordinate all mechanical, structural, electrical and plumbing systems with the framework and aesthetics of this home.



DESIGNS

J2Designs@comcast.net

SQUARE FOOTAGE INFO.

HEATED AREA

1ST FLR. = 820 S.F.

2ND FLR. = 1,043 S.F.

BONUS RM. =

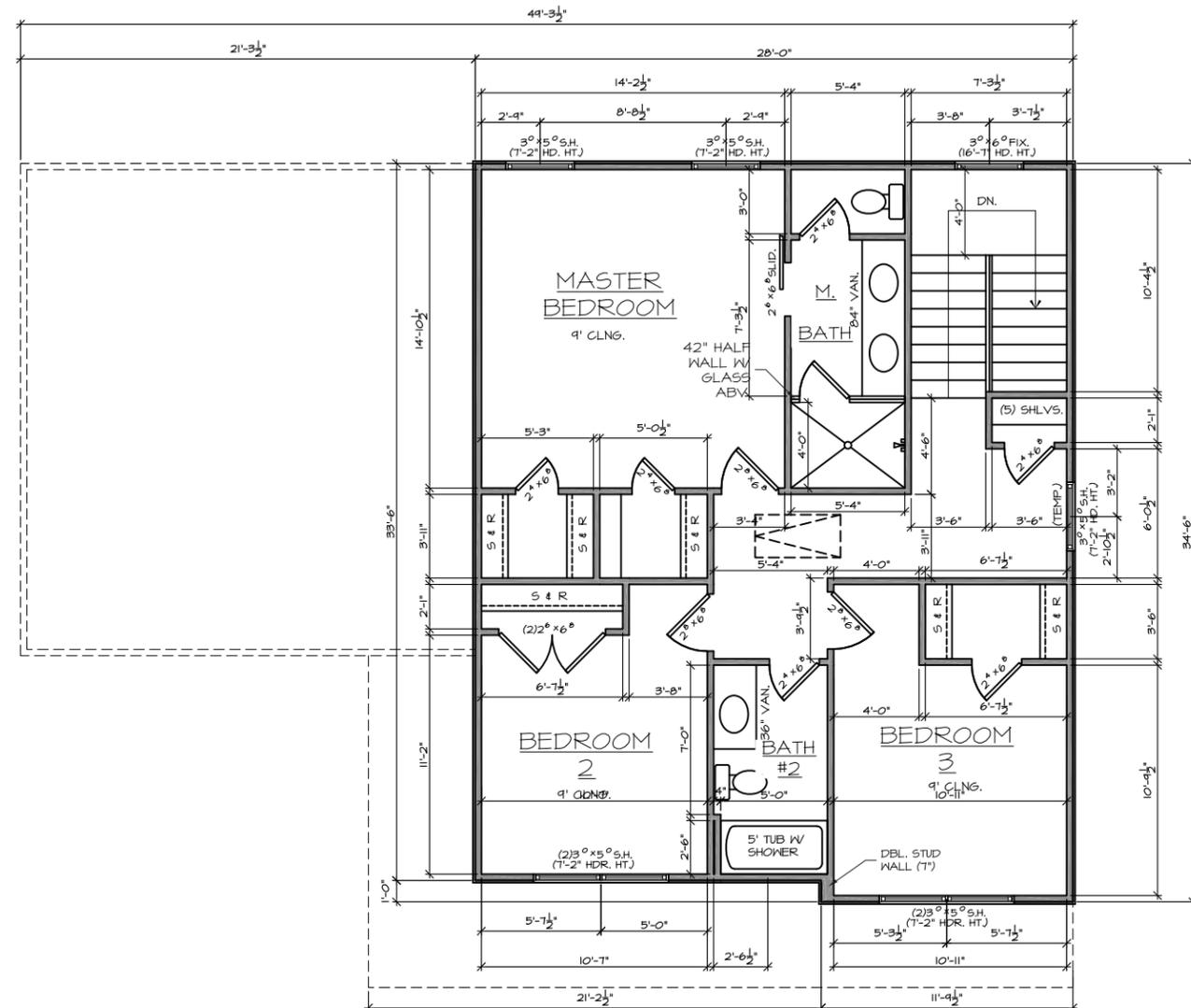
TOTAL LIVING 1,863 S.F.

GARAGE = 290 S.F.

BASMT = N/A S.F.

C. PORCH = 150 S.F.

UPDATED - 05.11.17



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

- NOTES:**
- GYP. BOARD WALL AND CEILINGS
 - ALL EXTERIOR WALLS TO BE 2x6 (I.N.O.)
 - 5/8" TYPE "X" GYP. BOARD @ GARAGE CEILING
 - 9'-1/8" CEILING HEIGHT FIRST FLOOR
 - 9'-1/8" CEILING HEIGHT SECOND FLOOR
 - ALL ANGLES TO BE 45 DEGREES U.N.O.
 - 1 3/8" H.C. INTERIOR DOORS
 - 1 3/8" S.C. EXTERIOR DOORS
 - 6'-8" DOOR HT. AT FIRST FLOOR
 - 6'-8" DOOR HEIGHT AT SECOND FLOOR
 - ALL WINDOWS TO BE SINGLE HUNG
 - 7'-4" HEADER HT. AT FIRST FLOOR
 - 7'-2" HEADER HT. AT SECOND FLOOR
 - ALL BEDROOM WINDOWS TO BE 44" A.F.F. (MAX)
 - 22" HIGH x 20" WIDE (MIN) OPENING WITH 5.7 SQ FT (MIN) NET CLEAR OPENING
 - SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING AND BATTERY BACKUP. LOCATIONS TO COMPLY WITH F907.1.10 (IRC 2012)
 - PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS THROUGH NATURAL OR MECH. MEANS AND COMPLY WITH 1203 (IRC 2012)
 - CHIMNEYS TO BE 3'-0" MIN. ABV. THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2'-0" MIN. HIGHER THAN ANY PORTION OF THE ROOF WITHIN A 10'-0" RADIUS
 - ALL PREFAB FIREPLACES TO BE U.L. # IRC 2012 APPROVED & A COPY OF THE MANUF. INSTALLATION MANUAL SHALL BE AVAILABLE @ JOB SITE FOR INSPECTOR'S REVIEW
 - STAIR WAYS SHALL COMPLY WITH R1009 (IRC 2012)
 - HANDRAILS TO BE 34" TO 38" ABV. NOSE OF TREAD
 - ALL GUARDRAILS AND HANDRAILS SHALL COMPLY WITH R 1012 & 1013 (IRC 2012)
 - GUARDRAILS TO BE 36" A.F.F. (MIN) WITH BALUSTERS AT 4" O.C. MAX PER R1013 (IRC 2012)
 - PLUMBING AND HVAC TO FOLLOW 2012 INTERNATIONAL PLUMBING AND MECHANICAL CODE

TYPICAL INSULATION LOCATIONS:

1. EXTERIOR WALLS DIRECTLY ADJACENT TO CONDITIONED SPACE
2. ROOF RAFTERS DIRECTLY ADJACENT TO CONDITIONED SPACE
3. INTERIOR WALLS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE
4. FLOOR JOISTS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE

Revisions:

Date	Description
04.25.17	FINAL PLANS
05.11.17	REV. PLANS

DO NOT SCALE drawings; use given dimensions. Contact designer to verify dimensions as needed.

These drawings are for DESIGN INTENT ONLY. It is the contractor's responsibility to ensure construction meets or exceeds all applicable codes.

It is the contractor's responsibility to coordinate all mechanical, structural, electrical and plumbing systems with the framework and aesthetics of this home.



DESIGNS

J2Designs@comcast.net

SQUARE FOOTAGE INFO.

HEATED AREA

1ST FLR. = 938 S.F.

2ND FLR. = 867 S.F.

BONUS RM. =

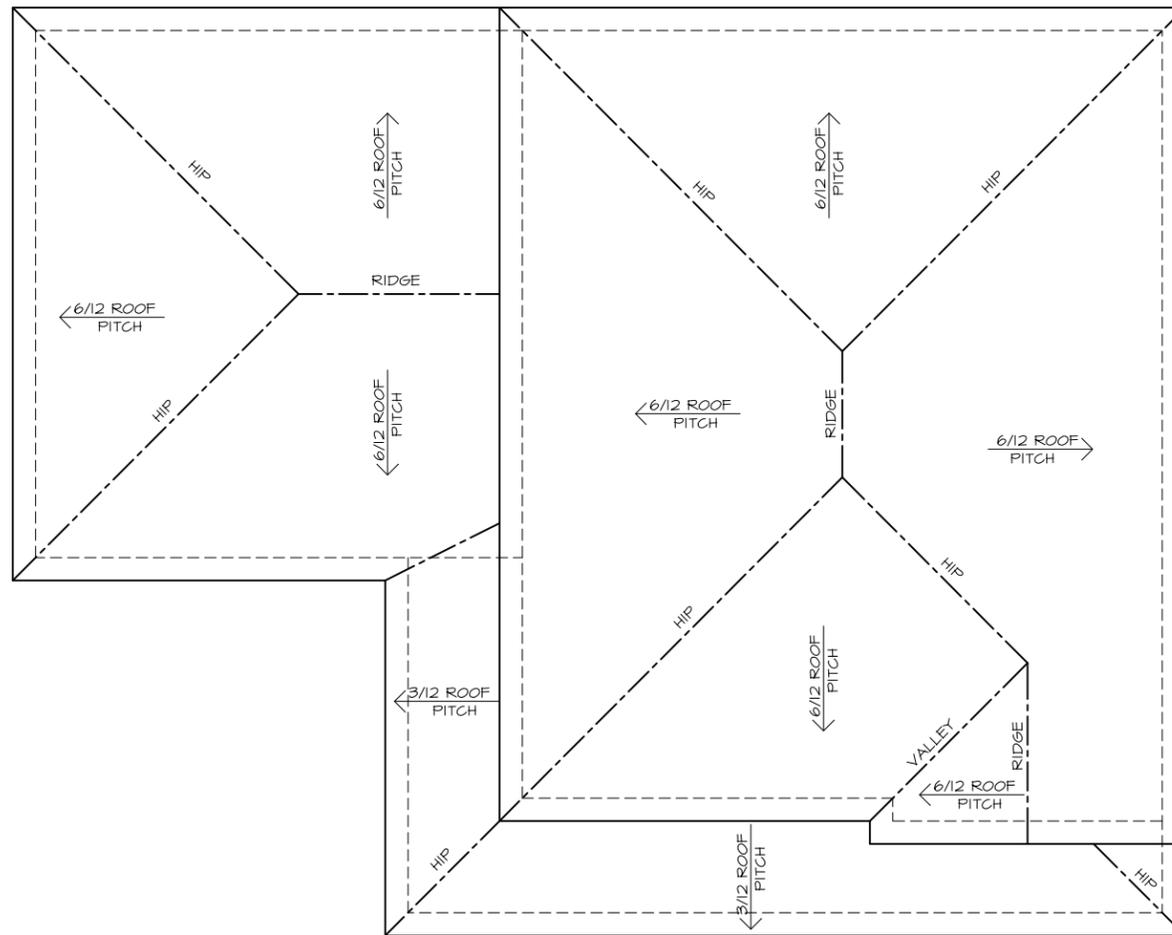
TOTAL LIVING 1,805 S.F.

GARAGE = 468 S.F.

BASMT = N/A S.F.

C. PORCH = 220 S.F.

UPDATED - 05.11.17



ROOF PLAN
SCALE: 1/4"=1'-0"

Revisions:

Date	Description
04.25.17	FINAL PLANS
05.11.17	REV. PLANS

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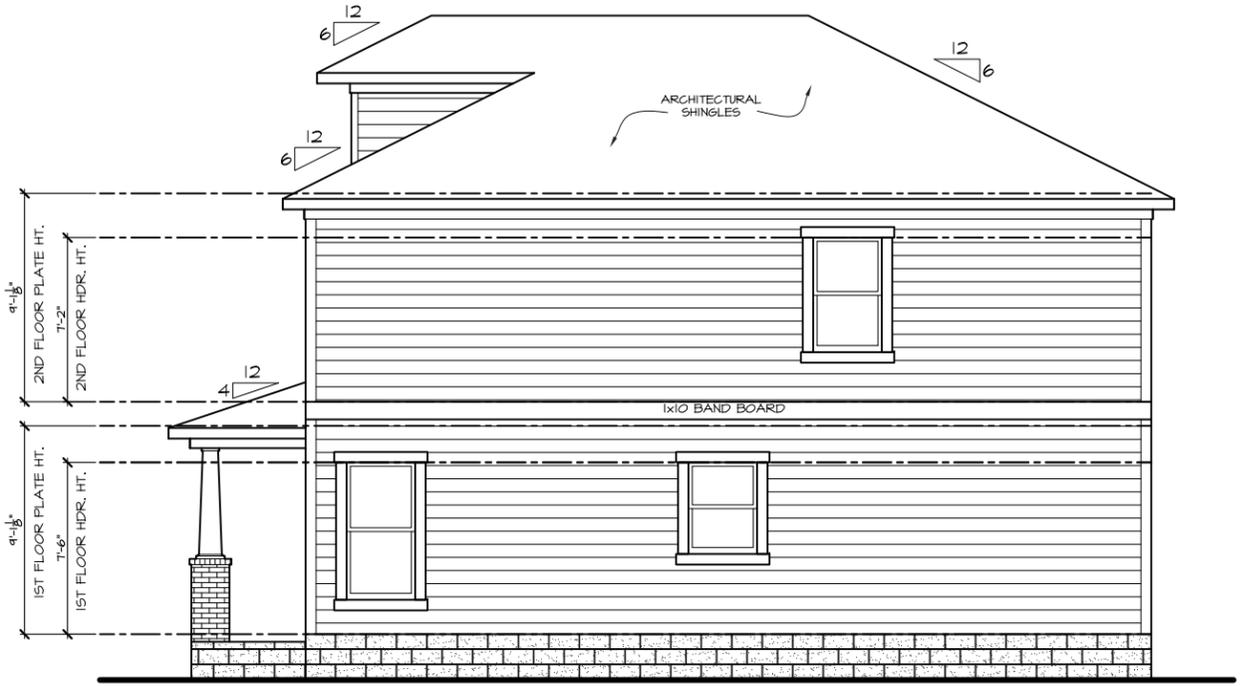
It is the contractor's responsibility to coordinate all mechanical, structural, electrical and plumbing systems with the framework and aesthetics of this home.

SQUARE FOOTAGE INFO.

HEATED AREA
1ST FLR. = 820 S.F.
2ND FLR. = 1,043 S.F.
BONUS RM. =
TOTAL LIVING = 1,863 S.F.
GARAGE = 290 S.F.
BASMNT = N/A S.F.
C. PORCH = 150 S.F.
UPDATED - 05.11.17

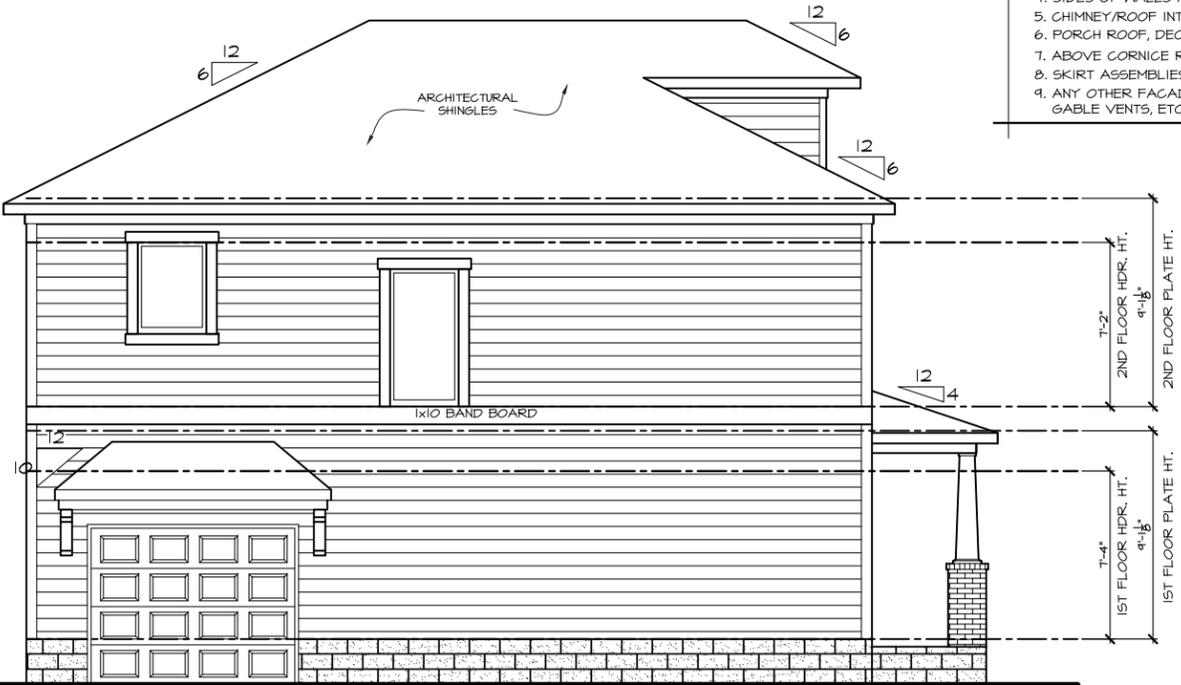


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

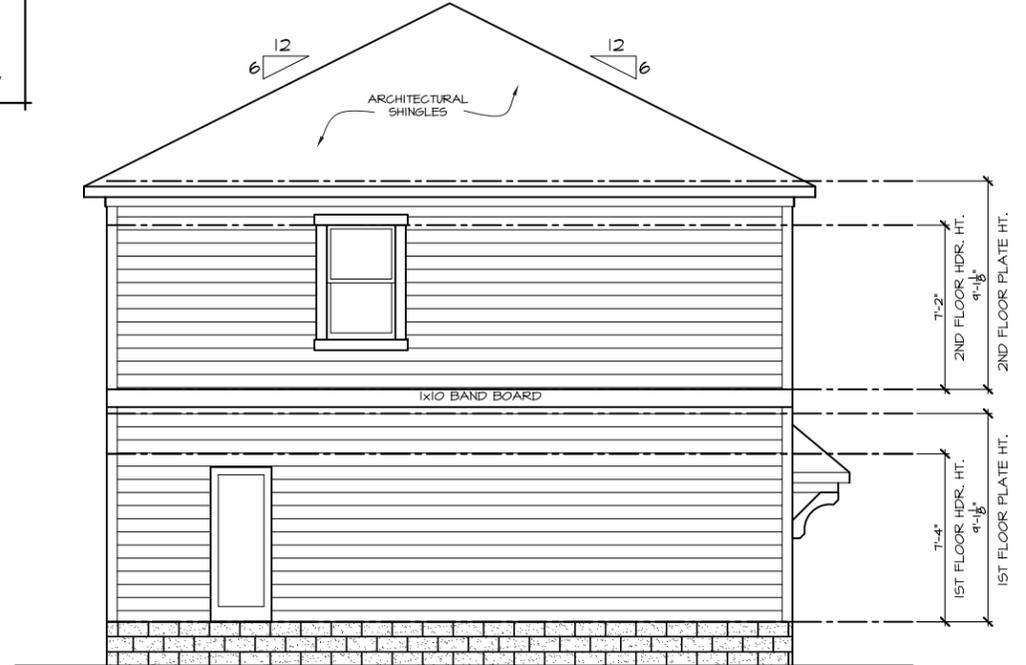


RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

- TYPICAL FLASHING APPLICATION:**
1. WINDOWS AND DOORS
 2. ALL HORIZONTAL MATERIAL CHANGES
 3. SIDES OF DORMERS
 4. SIDES OF WALLS AT INTERSECTING ROOF LINES
 5. CHIMNEY/ROOF INTERSECTIONS
 6. PORCH ROOF, DECK AND WALL INTERSECTIONS
 7. ABOVE CORNICE RETURNS
 8. SKIRT ASSEMBLIES
 9. ANY OTHER FACADE PENETRATIONS (E.G. FDN. VENTS, GABLE VENTS, ETC.)



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

Revisions:

Date	Description
04.25.17	FINAL PLANS
05.11.17	REV. PLANS

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DESIGNS

J2Designs@comcast.net

SQUARE FOOTAGE INFO.

HEATED AREA

1ST FLR. = 820 S.F.

2ND FLR. = 1,043 S.F.

BONUS RM. =

TOTAL LIVING 1,863 S.F.

GARAGE = 290 S.F.

BASMT = N/A S.F.

C. PORCH = 150 S.F.

UPDATED - 05.11.17

SHELTON AVE. UNIT 2

Revisions:

Date	Description
04.25.17	FINAL PLANS
05.11.17	REV. PLANS

DO NOT SCALE drawings; use given dimensions. Contact designer to verify dimensions as needed.

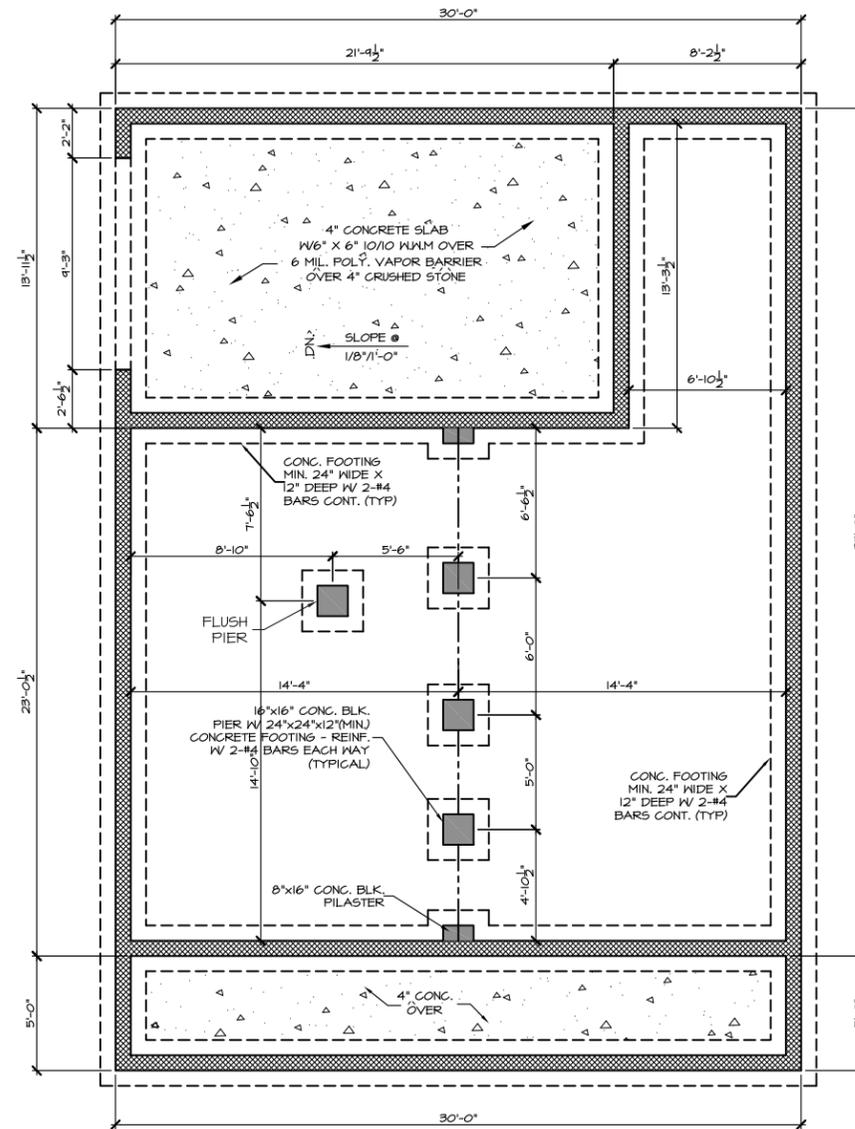
These drawings are for DESIGN INTENT ONLY. It is the contractor's responsibility to ensure construction meets or exceeds all applicable codes.

It is the contractor's responsibility to coordinate all mechanical, structural, electrical and plumbing systems with the framework and aesthetics of this home.

S.1

GENERAL FOUNDATION NOTES:

- BUILDER TO SIZE ALL BEAMS AND FRAMING MEMBERS OF UPPER LEVEL(S) PRIOR TO CONSTRUCTION.
- PERIMETER DIMENSIONS ARE TO OUTSIDE FACE OF 12" BLOCK. INTERNAL DIMENSIONS ARE TO OUTSIDE FACE OF 8" BLOCK AND CENTER LINES OF BEAMS / THICKENED SLAB UNLESS NOTED OTHERWISE.
- BUILDER TO PROVIDE TERMITE TREATMENT UNDER SLABS THAT COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES.
- ALL INTERIOR FINISH FLOORS SHALL BE FLUSH TO ADJACENT FINISH FLOORS UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. BUILDER SHALL HAVE A LICENSED STRUCTURAL ENGINEER REVIEW ACTUAL SITE CONDITIONS PRIOR TO DESIGN OF ALL STRUCTURAL ELEMENTS.
- IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THAT ALL WORK AND CONSTRUCTION MEET OR EXCEED APPLICABLE CODES.
- PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS WHICH RUN PARALLEL TO FLOOR JOISTS.
- BUILDER SHALL INSPECT ACTUAL SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- BUILDER SHALL NOTIFY THE DESIGNER OR LICENSED STRUCTURAL ENGINEER OF ANY NON-TYPICAL CONDITIONS REGARDING SOILS, GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING.
- BUILDER SHALL PROVIDE A CONTINUOUS MOISTURE BARRIER BETWEEN MASONRY AND EXPOSED SHEATHING OR FRAMING.



FOUNDATION PLAN

SCALE: 1/4"=1'-0"



DESIGNS

J2Designs@comcast.net

SQUARE FOOTAGE INFO.

HEATED AREA

1ST FLR. = 820 S.F.

2ND FLR. = 1,043 S.F.

BONUS RM. =

TOTAL LIVING 1,863 S.F.

GARAGE = 240 S.F.

BASMNT = N/A S.F.

C. PORCH = 150 S.F.

UPDATED - 05.11.17

SHELTON AVE. UNIT 2

Revisions:

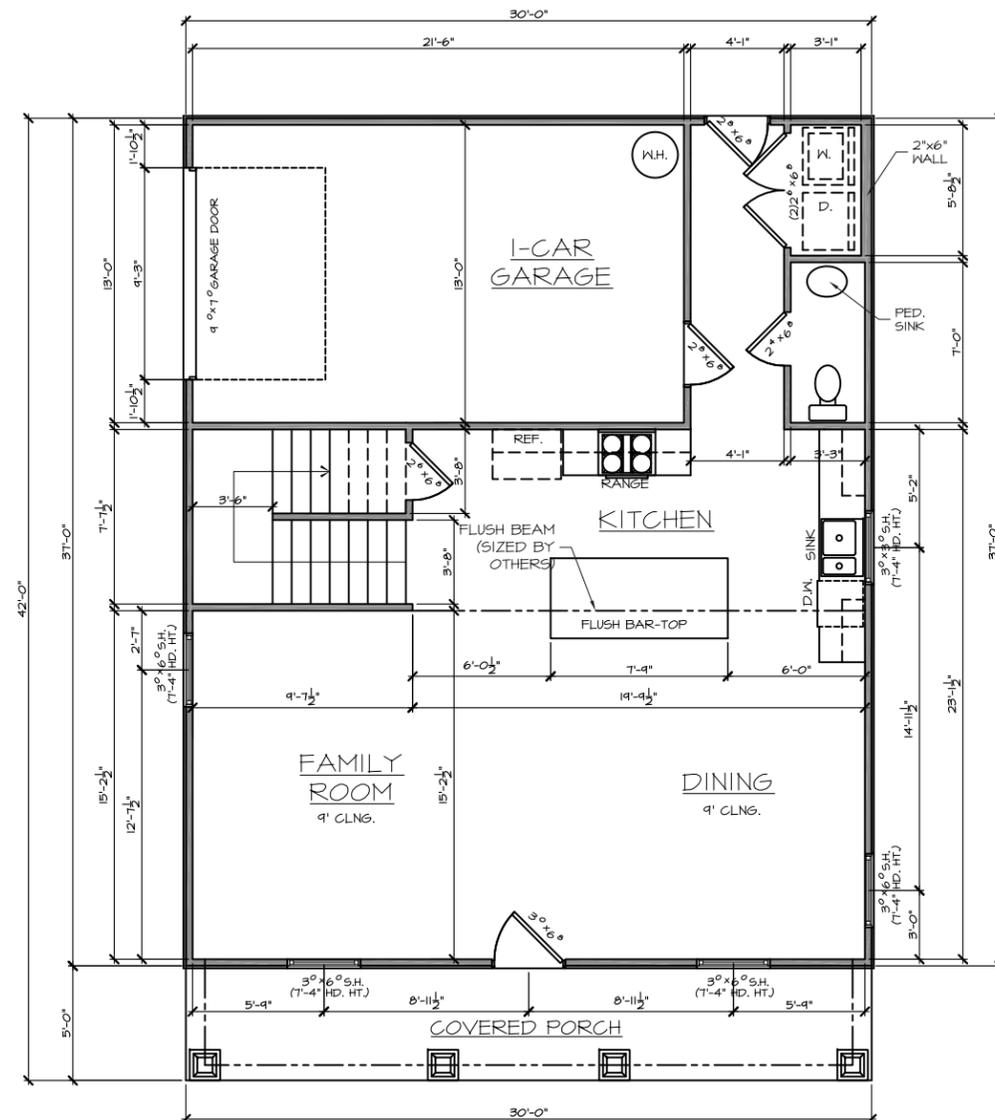
Date	Description
04.25.17	FINAL PLANS
05.11.17	REV. PLANS

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A.3



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

TYPICAL INSULATION LOCATIONS:

1. EXTERIOR WALLS DIRECTLY ADJACENT TO CONDITIONED SPACE
2. ROOF RAFTERS DIRECTLY ADJACENT TO CONDITIONED SPACE
3. INTERIOR WALLS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE
4. FLOOR JOISTS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE

NOTES:

- GYP. BOARD WALL AND CEILINGS
- ALL EXTERIOR WALLS TO BE 2x6 (U.N.O.)
- 3/8" TYPE "X" GYP. BOARD @ GARAGE CEILING
- 9'-1/8" CEILING HEIGHT FIRST FLOOR
- 9'-1/8" CEILING HEIGHT SECOND FLOOR
- ALL ANGLES TO BE 45 DEGREES U.N.O.
- 1 3/8" H.C. INTERIOR DOORS
- 1 3/4" S.C. EXTERIOR DOORS
- 6'-8" DOOR HT. AT FIRST FLOOR
- 6'-8" DOOR HEIGHT AT SECOND FLOOR
- ALL WINDOWS TO BE SINGLE HUNG
- 7'-4" HEADER HT. AT FIRST FLOOR
- 7'-2" HEADER HT. AT SECOND FLOOR
- ALL BEDROOM WINDOWS TO BE 44" A.F.F. (MAX)
- 22" HIGH x 20" WIDE (MIN.) OPENING WITH 5.7 SQ FT (MIN) NET CLEAR OPENING
- SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING AND BATTERY BACKUP. LOCATIONS TO COMPLY WITH F907.1.10 (IRC 2012)
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS THROUGH NATURAL OR MECH. MEANS AND COMPLY WITH 1203 (IRC 2012)
- CHIMNEYS TO BE 3'-0" MIN. ABV. THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2'-0" MIN. HIGHER THAN ANY PORTION OF THE ROOF WITHIN A 10'-0" RADIUS
- ALL PREFAB FIREPLACES TO BE U.L. # IRC 2012 APPROVED
- # A COPY OF THE MANUF. INSTALLATION MANUAL SHALL BE AVAILABLE @ JOB SITE FOR INSPECTOR'S REVIEW
- STAIR WAYS SHALL COMPLY WITH R1004 (IRC 2012)
- HANDRAILS TO BE 34" TO 38" ABV. NOSE OF TREAD
- ALL GUARDRAILS AND HANDRAILS SHALL COMPLY WITH R 1012 # 1013 (IRC 2012)
- GUARDRAILS TO BE 36" A.F.F. (MIN) WITH BALUSTERS AT 4" O.C. MAX PER R1013 (IRC 2012)
- PLUMBING AND HVAC TO FOLLOW 2012 INTERNATIONAL PLUMBING AND MECHANICAL CODE



DESIGNS

J2Designs@comcast.net

SQUARE FOOTAGE INFO.

HEATED AREA

1ST FLR. = 820 S.F.

2ND FLR. = 1,043 S.F.

BONUS RM. =

TOTAL LIVING 1,863 S.F.

GARAGE = 290 S.F.

BASMNT = N/A S.F.

C. PORCH = 150 S.F.

UPDATED - 05.11.17

SHELTON AVE. UNIT 2

Revisions:

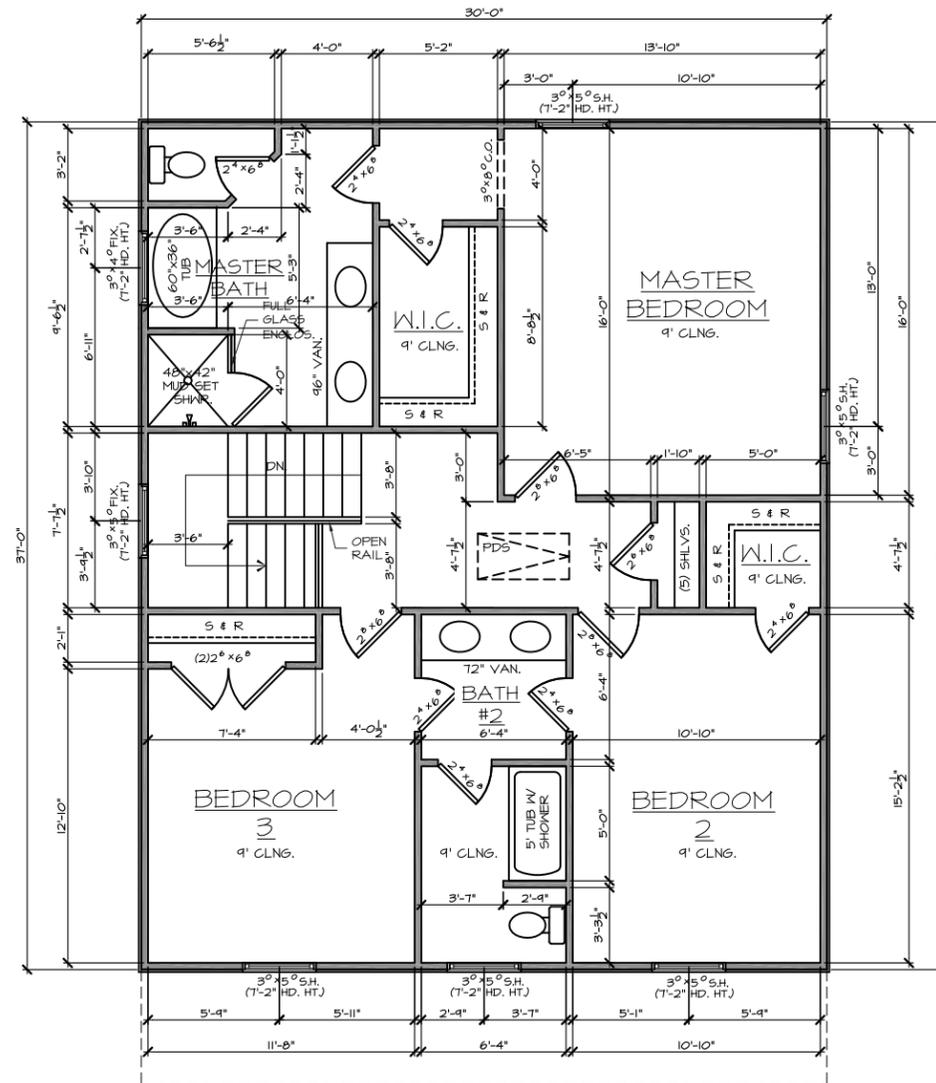
Date	Description
04.25.17	FINAL PLANS
05.11.17	REV. PLANS

DO NOT SCALE drawings; use given dimensions. Contact designer to verify dimensions as needed.

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A.4



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

TYPICAL INSULATION LOCATIONS:

1. EXTERIOR WALLS DIRECTLY ADJACENT TO CONDITIONED SPACE
2. ROOF RAFTERS DIRECTLY ADJACENT TO CONDITIONED SPACE
3. INTERIOR WALLS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE
4. FLOOR JOISTS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE

NOTES:

- 6" P. BOARD WALL AND CEILING
- ALL EXTERIOR WALLS TO BE 2x6 (U.N.O.)
- 3/4" TYPE 'X' GYP BOARD @ GARAGE CEILING
- 4'-1/8" CEILING HEIGHT FIRST FLOOR
- 9'-1/8" CEILING HEIGHT SECOND FLOOR
- ALL ANGLES TO BE 45 DEGREES U.N.O.
- 1 3/8" H.C. INTERIOR DOORS
- 1/2" S.C. EXTERIOR DOORS
- 6'-8" DOOR HT. AT FIRST FLOOR
- 6'-8" DOOR HEIGHT AT SECOND FLOOR
- ALL WINDOWS TO BE SINGLE HUNG
- 7'-4" HEADER HT. AT FIRST FLOOR
- 7'-2" HEADER HT. AT SECOND FLOOR
- ALL BEDROOM WINDOWS TO BE 44" A.F.F. (MAX)
- 22" HIGH X 20" WIDE (MIN) OPENING WITH 5.7 SQ FT (MIN) NET CLEAR OPENING
- SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING AND BATTERY BACKUP. LOCATIONS TO COMPLY WITH F907.1.10 (IRC 2012)
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS THROUGH NATURAL OR MECH. MEANS AND COMPLY WITH 1203 (IRC 2012)
- CHIMNEYS TO BE 3'-0" MIN. ABVV. THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2'-0" MIN. HIGHER THAN ANY PORTION OF THE ROOF WITHIN A 10'-0" RADIUS
- ALL PREFAB FIREPLACES TO BE U.L. & IRC 2012 APPROVED & A COPY OF THE MANUF. INSTALLATION MANUAL SHALL BE AVAILABLE @ JOB SITE FOR INSPECTOR'S REVIEW
- STAIR WAYS SHALL COMPLY WITH R1004 (IRC 2012)
- HANDRAILS TO BE 34" TO 38" ABV. NOSE OF TREAD
- ALL GUARDRAILS AND HANDRAILS SHALL COMPLY WITH R 1012 & 1013 (IRC 2012)
- GUARDRAILS TO BE 36" A.F.F. (MIN) WITH BALUSTERS AT 4" O.C. MAX PER R1013 (IRC 2012)
- PLUMBING AND HVAC TO FOLLOW 2012 INTERNATIONAL PLUMBING AND MECHANICAL CODE



DESIGNS

J2Designs@comcast.net

SQUARE FOOTAGE INFO.

HEATED AREA

1ST FLR. = 820 S.F.

2ND FLR. = 1,043 S.F.

BONUS RM. =

TOTAL LIVING 1,863 S.F.

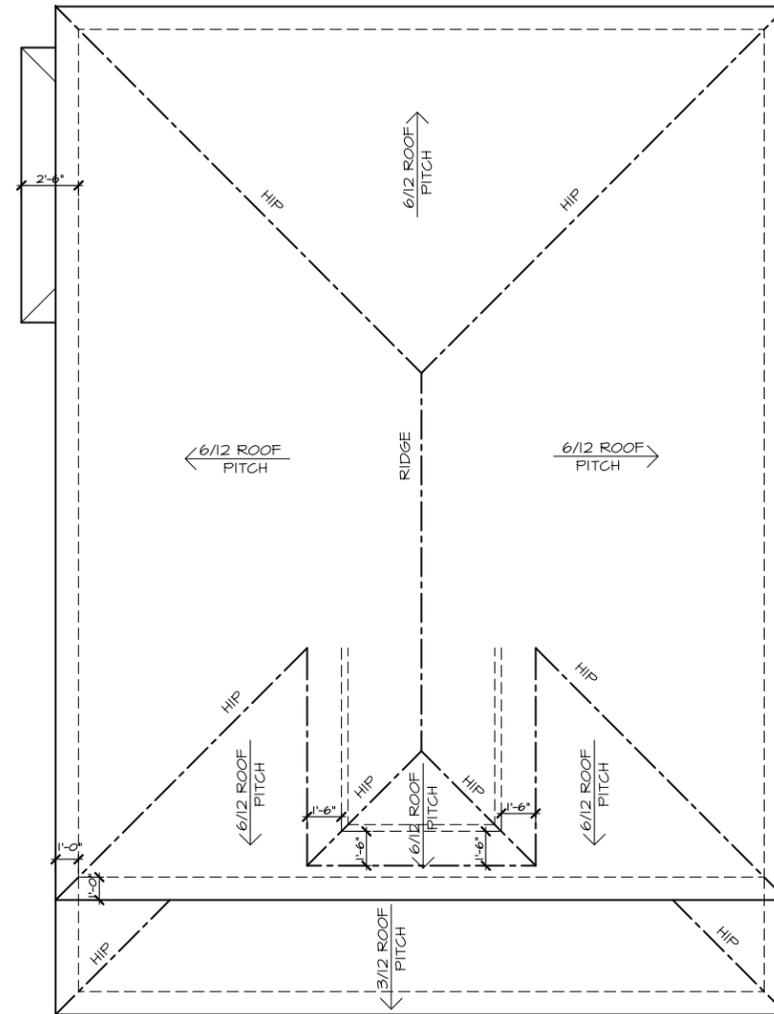
GARAGE = 290 S.F.

BASMT = N/A S.F.

C. PORCH = 150 S.F.

UPDATED - 05.11.17

SHELTON AVE. UNIT 2



ROOF PLAN
SCALE: 1/4"=1'-0"

Revisions:	
Date	Description
04.25.17	FINAL PLANS
05.11.17	REV. PLANS

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SQUARE FOOTAGE INFO.
HEATED AREA
1ST FLR. = 820 S.F.
2ND FLR. = 1,043 S.F.
BONUS RM. =
TOTAL LIVING 1,863 S.F.
GARAGE = 290 S.F.
BASMNT = N/A S.F.
C. PORCH = 150 S.F.
UPDATED - 05.11.17

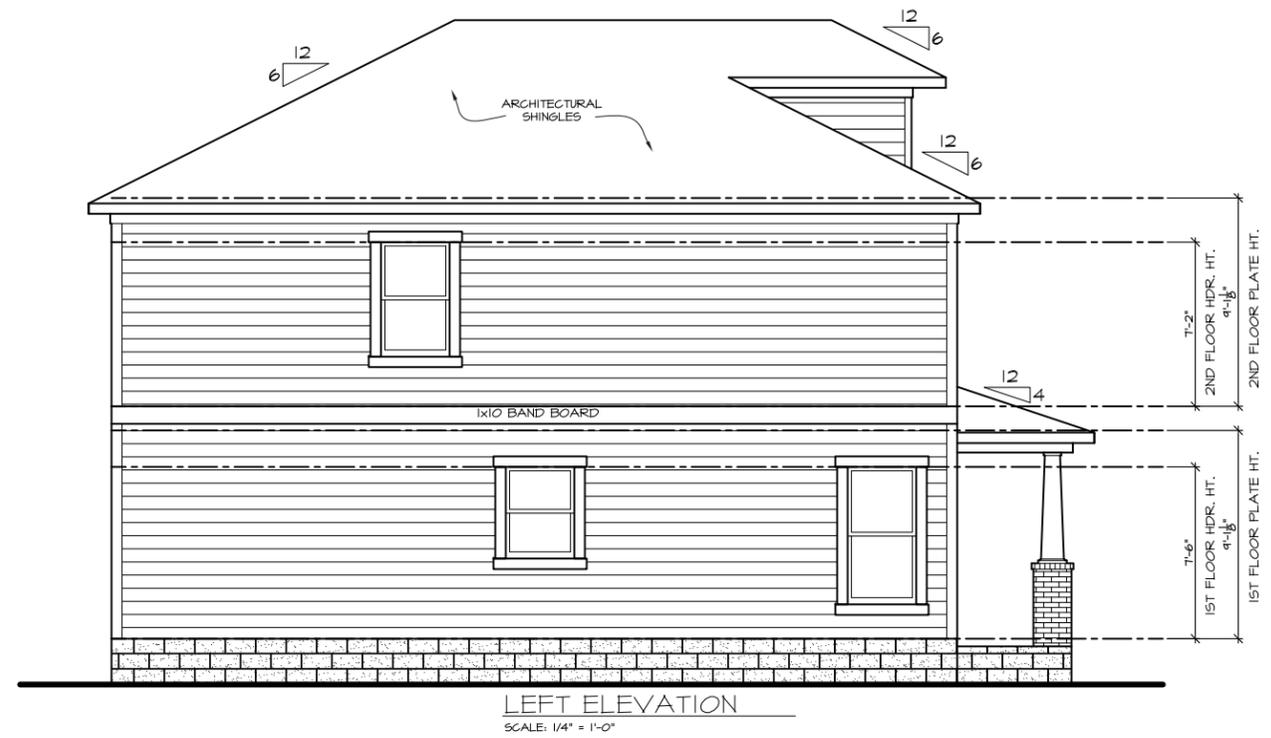
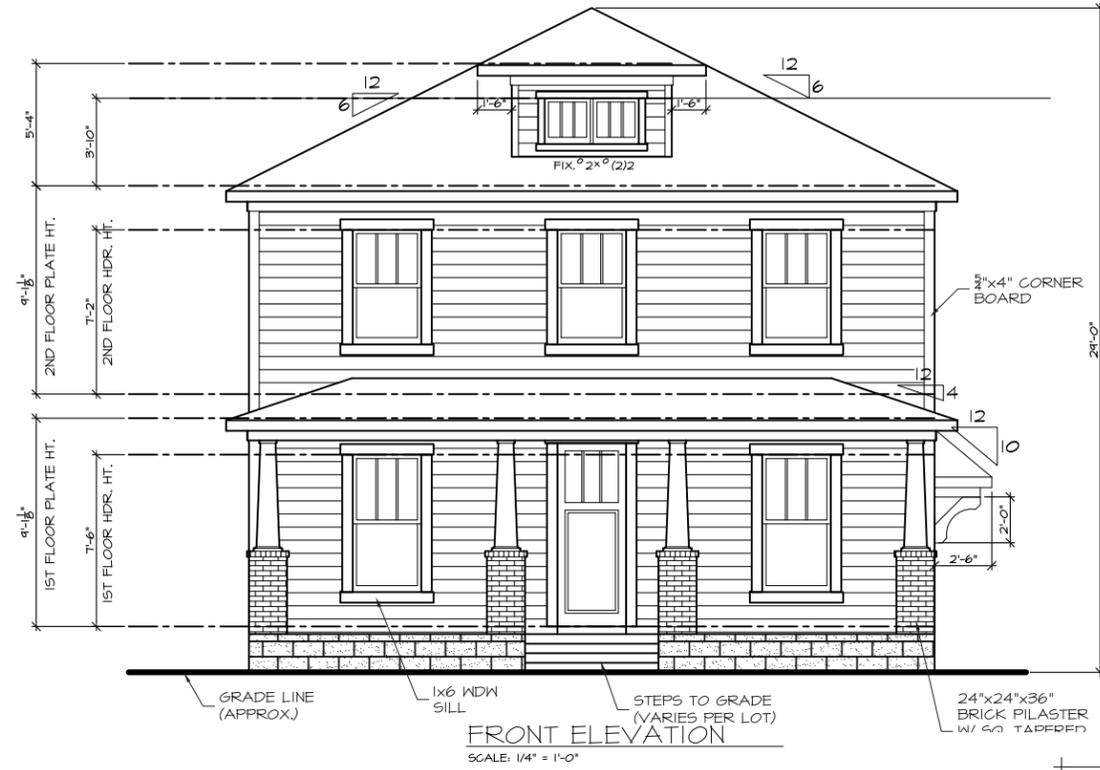
SHELTON AVE. UNITS

Revisions:	
Date	Description
04.25.17	FINAL PLANS
05.11.17	REV. PLANS

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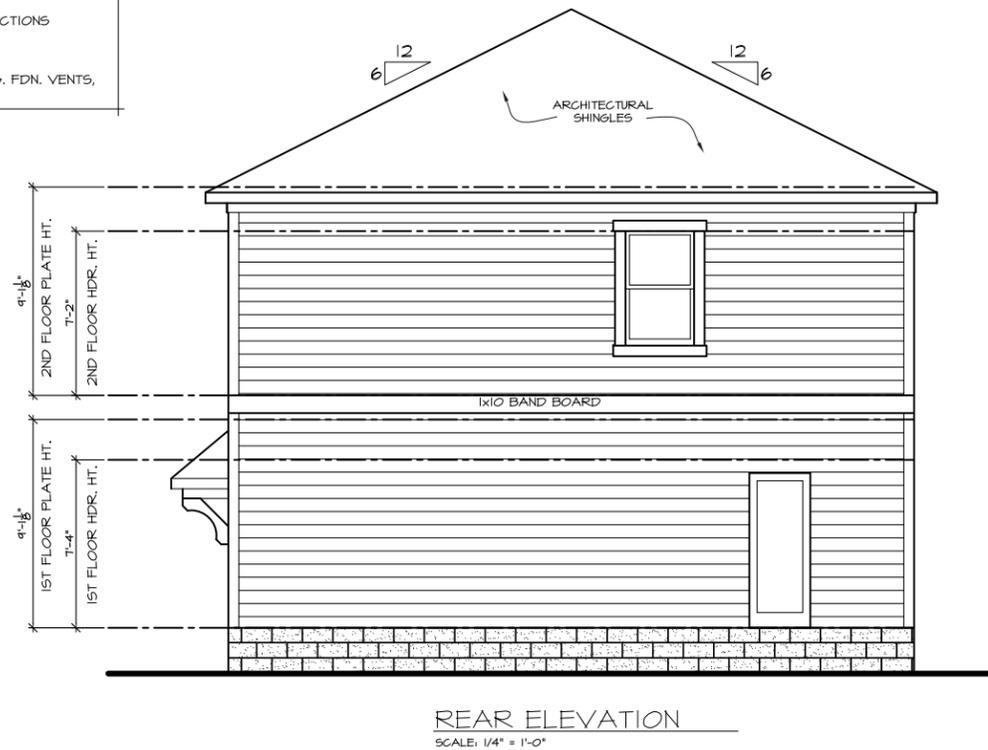
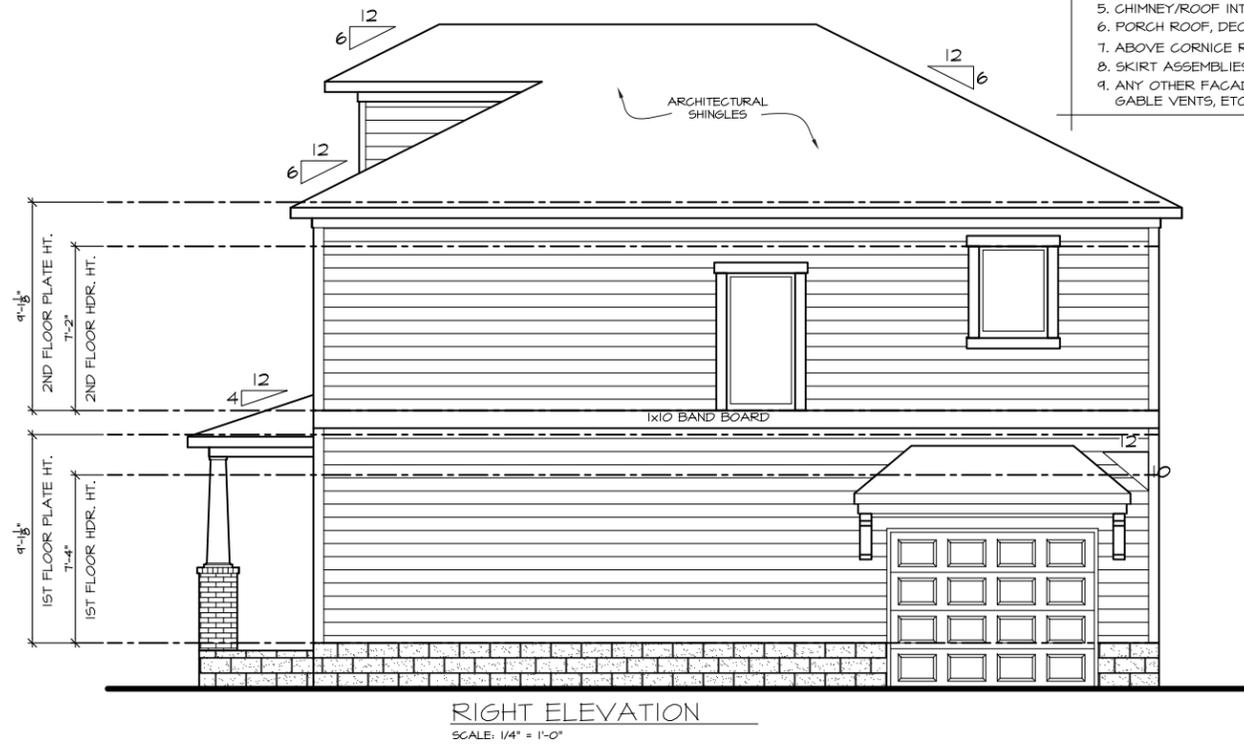
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TYPICAL FLASHING APPLICATION:

1. WINDOWS AND DOORS
2. ALL HORIZONTAL MATERIAL CHANGES
3. SIDES OF DORMERS
4. SIDES OF WALLS AT INTERSECTING ROOF LINES
5. CHIMNEY/ROOF INTERSECTIONS
6. PORCH ROOF, DECK AND WALL INTERSECTIONS
7. ABOVE CORNICE RETURNS
8. SKIRT ASSEMBLIES
9. ANY OTHER FACADE PENETRATIONS (E.G. FDN. VENTS, GABLE VENTS, ETC.)





DESIGNS

J2Designs@comcast.net

SQUARE FOOTAGE INFO.

HEATED AREA

1ST FLR. = 820 S.F.

2ND FLR. = 1,043 S.F.

BONUS RM. =

TOTAL LIVING 1,863 S.F.

GARAGE = 290 S.F.

BASMT = N/A S.F.

C. PORCH = 150 S.F.

UPDATED - 05.11.17

SHELTON AVE. UNITS

Revisions:

Date	Description
04.25.17	FINAL PLANS
05.11.17	REV. PLANS

DO NOT SCALE drawings; use given dimensions. Contact designer to verify dimensions as needed.

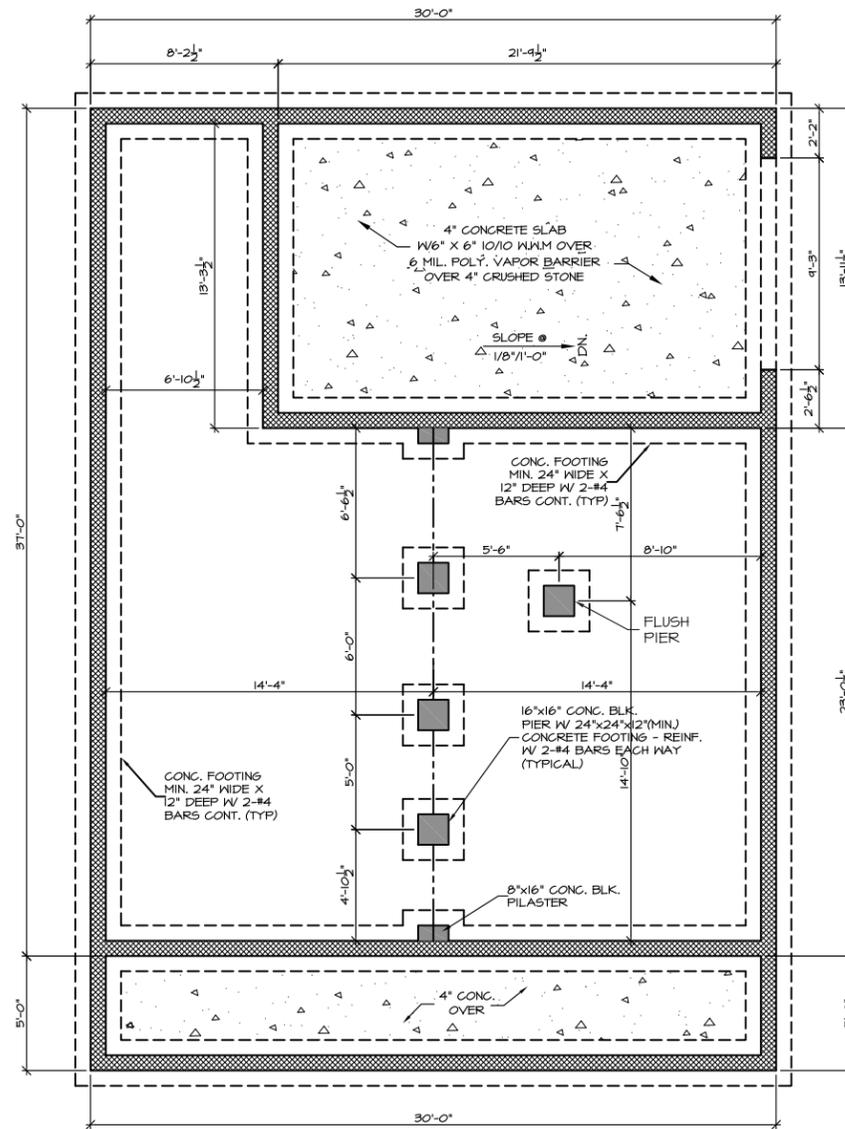
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It is the contractor's responsibility to coordinate all mechanical, structural, electrical and plumbing systems with the framework and aesthetics of this home.

S.1

GENERAL FOUNDATION NOTES:

- BUILDER TO SIZE ALL BEAMS AND FRAMING MEMBERS OF UPPER LEVEL(S) PRIOR TO CONSTRUCTION.
- PERIMETER DIMENSIONS ARE TO OUTSIDE FACE OF 12" BLOCK. INTERNAL DIMENSIONS ARE TO OUTSIDE FACE OF 8" BLOCK AND CENTER LINES OF BEAMS / THICKENED SLAB UNLESS NOTED OTHERWISE.
- BUILDER TO PROVIDE TERMITE TREATMENT UNDER SLABS THAT COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES.
- ALL INTERIOR FINISH FLOORS SHALL BE FLUSH TO ADJACENT FINISH FLOORS UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. BUILDER SHALL HAVE A LICENSED STRUCTURAL ENGINEER REVIEW ACTUAL SITE CONDITIONS PRIOR TO DESIGN OF ALL STRUCTURAL ELEMENTS.
- IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THAT ALL WORK AND CONSTRUCTION MEET OR EXCEED APPLICABLE CODES.
- PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS WHICH RUN PARALLEL TO FLOOR JOISTS.
- BUILDER SHALL INSPECT ACTUAL SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- BUILDER SHALL NOTIFY THE DESIGNER OR LICENSED STRUCTURAL ENGINEER OF ANY NON-TYPICAL CONDITIONS REGARDING SOILS, GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING.
- BUILDER SHALL PROVIDE A CONTINUOUS MOISTURE BARRIER BETWEEN MASONRY AND EXPOSED SHEATHING OR FRAMING.



FOUNDATION PLAN
SCALE: 1/4"=1'-0"



DESIGNS

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SQUARE FOOTAGE INFO.

HEATED AREA

1ST FLR. = 820 S.F.

2ND FLR. = 1,043 S.F.

BONUS RM. =

TOTAL LIVING 1,863 S.F.

GARAGE = 240 S.F.

BASMNT = N/A S.F.

C. PORCH = 150 S.F.

UPDATED - 05.11.17

SHELTON AVE. UNITS

Revisions:

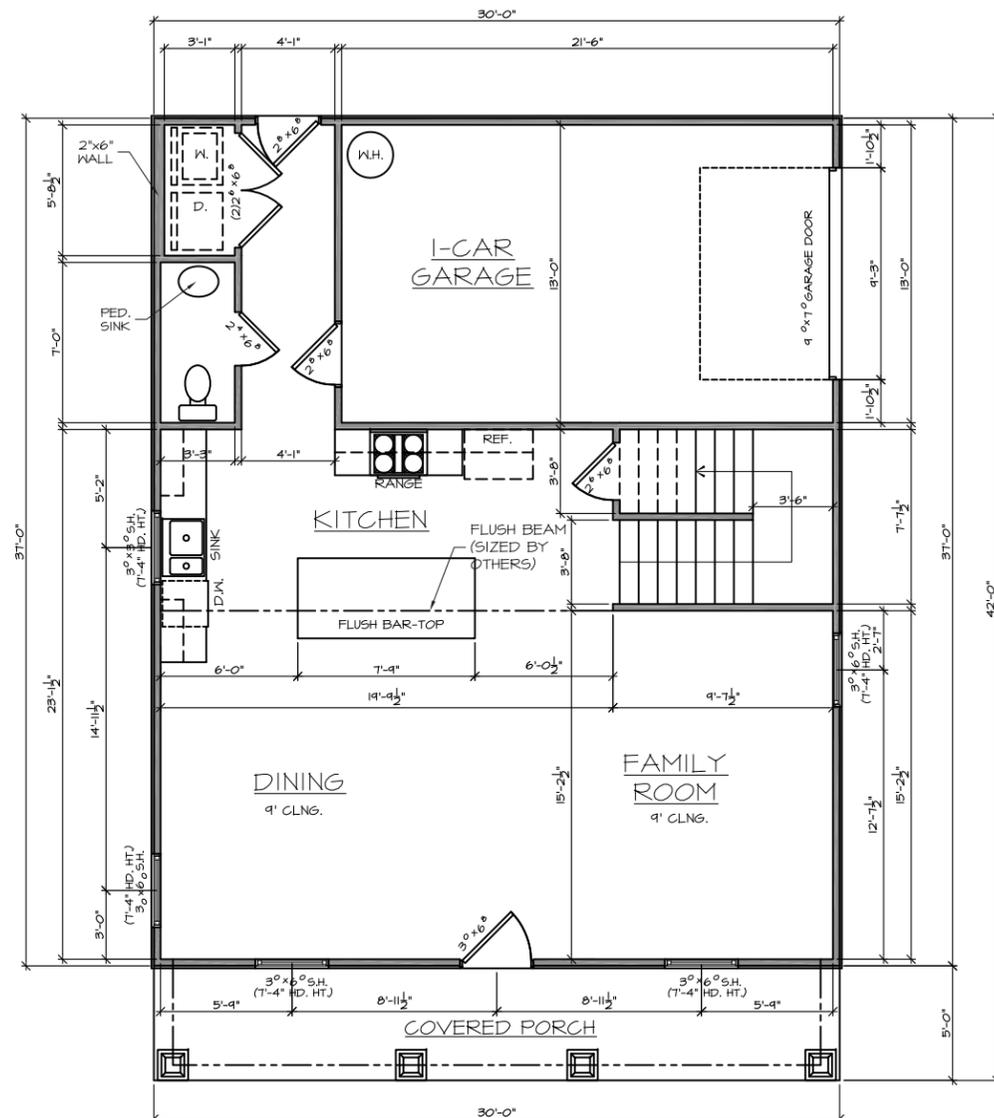
Date	Description
04.25.17	FINAL PLANS
05.11.17	REV. PLANS

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A.3



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

TYPICAL INSULATION LOCATIONS:

1. EXTERIOR WALLS DIRECTLY ADJACENT TO CONDITIONED SPACE
2. ROOF RAFTERS DIRECTLY ADJACENT TO CONDITIONED SPACE
3. INTERIOR WALLS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE
4. FLOOR JOISTS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE

NOTES:

- GYP. BOARD WALL AND CEILINGS
- ALL EXTERIOR WALLS TO BE 2x6 (U.N.O.)
- 3/8" TYPE "X" GYP. BOARD @ GARAGE CEILING
- 1"-1/8" CEILING HEIGHT FIRST FLOOR
- 1"-1/8" CEILING HEIGHT SECOND FLOOR
- ALL ANGLES TO BE 45 DEGREES U.N.O.
- 1 3/8" H.C. INTERIOR DOORS
- 1 3/8" S.C. EXTERIOR DOORS
- 6'-8" DOOR HT. AT FIRST FLOOR
- 6'-8" DOOR HEIGHT AT SECOND FLOOR
- ALL WINDOWS TO BE SINGLE HUNG
- 7'-4" HEADER HT. AT FIRST FLOOR
- 7'-2" HEADER HT. AT SECOND FLOOR
- ALL BEDROOM WINDOWS TO BE 44" A.F.F. (MAX)
- 22" HIGH x 20" WIDE (MIN.) OPENING WITH 5.7 SQ FT (MIN) NET CLEAR OPENING
- SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING AND BATTERY BACKUP. LOCATIONS TO COMPLY WITH F907.1.10 (IRC 2012)
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS THROUGH NATURAL OR MECH. MEANS AND COMPLY WITH 1209 (IRC 2012)
- CHIMNEYS TO BE 3'-0" MIN. ABV. THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2'-0" MIN. HIGHER THAN ANY PORTION OF THE ROOF WITHIN A 10'-0" RADIUS
- ALL PREFAB FIREPLACES TO BE U.L. # IRC 2012 APPROVED
- A COPY OF THE MANUF. INSTALLATION MANUAL SHALL BE AVAILABLE @ JOB SITE FOR INSPECTOR'S REVIEW
- STAIR WAYS SHALL COMPLY WITH R1004 (IRC 2012)
- HANDRAILS TO BE 34" TO 38" ABV. NOSE OF TREAD
- ALL GUARDRAILS AND HANDRAILS SHALL COMPLY WITH R 1012 # 1013 (IRC 2012)
- GUARDRAILS TO BE 36" A.F.F. (MIN) WITH BALUSTERS AT 4" O.C. MAX PER R1013 (IRC 2012)
- PLUMBING AND HVAC TO FOLLOW 2012 INTERNATIONAL PLUMBING AND MECHANICAL CODE



DESIGNS

J2Designs@comcast.net

SQUARE FOOTAGE INFO.

HEATED AREA

1ST FLR. = 820 S.F.

2ND FLR. = 1,043 S.F.

BONUS RM. =

TOTAL LIVING 1,863 S.F.

GARAGE = 290 S.F.

BASMNT = N/A S.F.

C. PORCH = 150 S.F.

UPDATED - 05.11.17

SHELTON AVE. UNITS

Revisions:

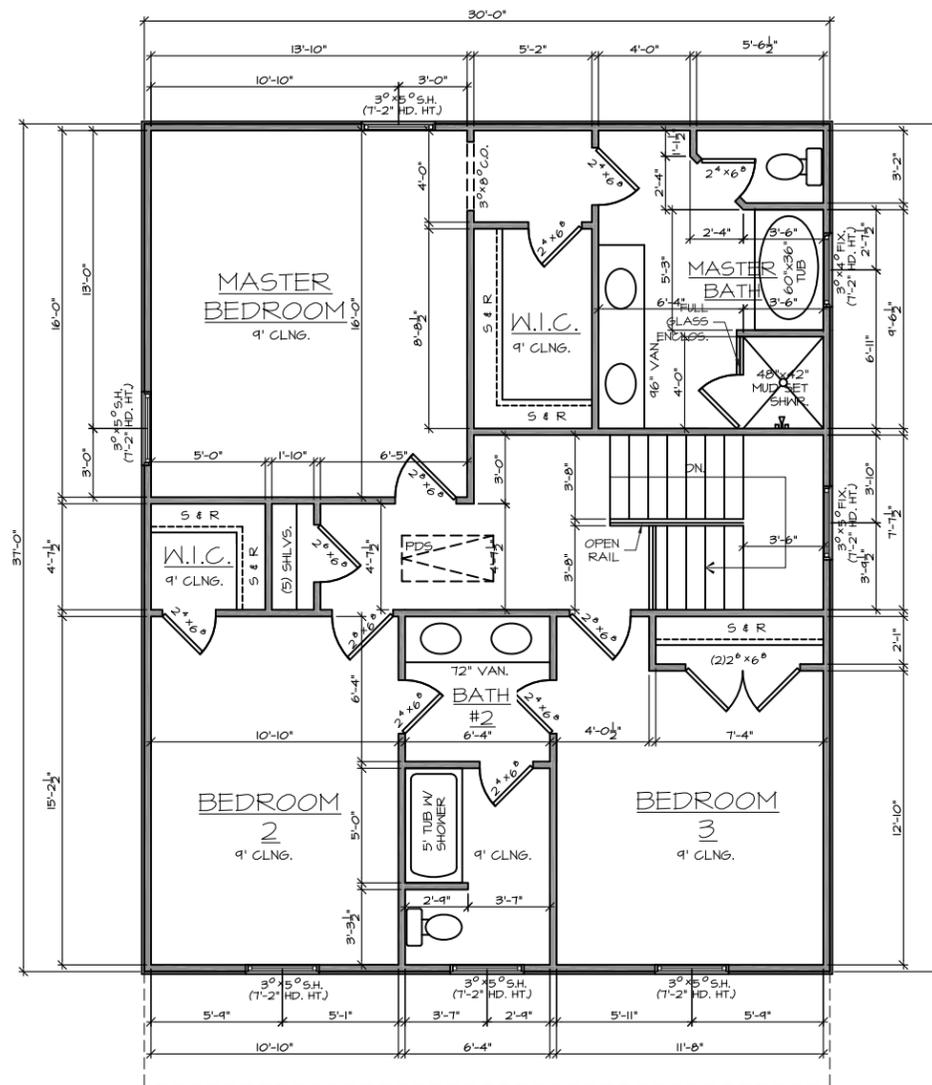
Date	Description
04.25.17	FINAL PLANS
05.11.17	REV. PLANS

DO NOT SCALE drawings; use given dimensions. Contact designer to verify dimensions as needed.

These drawings are for DESIGN INTENT ONLY. It is the contractor's responsibility to ensure construction meets or exceeds all applicable codes.

It is the contractor's responsibility to coordinate all mechanical, structural, electrical and plumbing systems with the framework and aesthetics of this home.

A.4



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

TYPICAL INSULATION LOCATIONS:

1. EXTERIOR WALLS DIRECTLY ADJACENT TO CONDITIONED SPACE
2. ROOF RAFTERS DIRECTLY ADJACENT TO CONDITIONED SPACE
3. INTERIOR WALLS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE
4. FLOOR JOISTS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE

NOTES:

- 6\"
- ALL EXTERIOR WALLS TO BE 2x6 (U.N.O.)
- 3/4\"
- 4\"
- 1\"
- ALL ANGLES TO BE 45 DEGREES U.N.O.
- 1 3/8\"
- 1/2\"
- 6\"
- 6\"
- ALL WINDOWS TO BE SINGLE HUNG
- 7\"
- 7\"
- ALL BEDROOM WINDOWS TO BE 44\"
- 22\"
- SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING AND BATTERY BACKUP. LOCATIONS TO COMPLY WITH F907.1.10 (IRC 2012)
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS THROUGH NATURAL OR MECH. MEANS AND COMPLY WITH 1203 (IRC 2012)
- CHIMNEYS TO BE 3\"
- ALL PREFAB FIREPLACES TO BE U.L. # IRC 2012 APPROVED & A COPY OF THE MANUF. INSTALLATION MANUAL SHALL BE AVAILABLE @ JOB SITE FOR INSPECTOR'S REVIEW
- STAIR WAYS SHALL COMPLY WITH R1004 (IRC 2012)
- HANDRAILS TO BE 34\"
- ALL GUARDRAILS AND HANDRAILS SHALL COMPLY WITH R 1012 & 1013 (IRC 2012)
- GUARDRAILS TO BE 36\"
- PLUMBING AND HVAC TO FOLLOW 2012 INTERNATIONAL PLUMBING AND MECHANICAL CODE



DESIGNS

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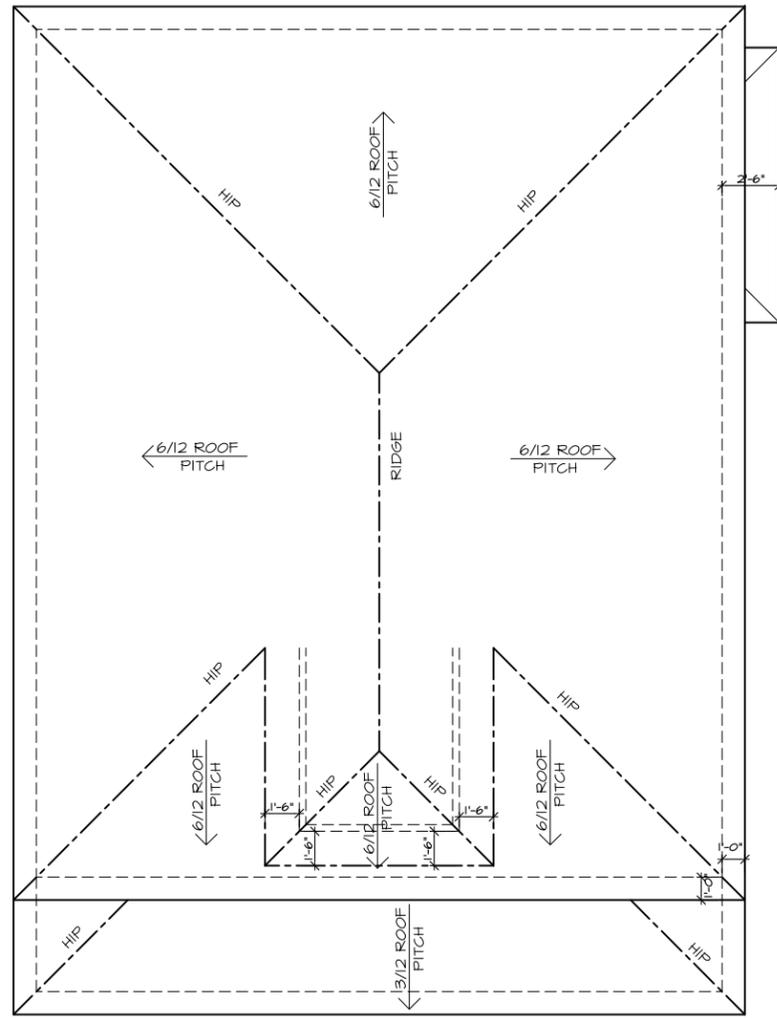
GARAGE = 240 S.F.

BASMT = N/A S.F.

C. PORCH = 150 S.F.

UPDATED - 05.11.17

SHELTON AVE. UNITS



ROOF PLAN
SCALE: 1/4"=1'-0"

Revisions:

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