



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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**STAFF RECOMMENDATION**

**1200 Seventh Avenue N, 1204 Seventh Avenue N, and 1206 Seventh Avenue N  
July 19, 2017**

**Application:** New construction-infill

**District:** Germantown Historic Preservation Zoning Overlay

**Council District:** 19

**Map and Parcel Number:** 08213017900, 08213018000, 08213018100

**Applicant:** Manuel Zeitlin, Architect

**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

**Description of Project:** This application is for a final SP (Specific Plan) review to construct part of a mixed-use development at the northeast corner of 7<sup>th</sup> Avenue North and Madison Street. This application is for ten rowhouses facing the streets and two alley houses in the interior of the site. In May 2015, the Commission approved the bulk, height, massing, roof form, and site layout for the project as part of a preliminary SP review. The SP (BL2015-1252) was approved by Council on August 10, 2015 and was effective August 14, 2015. In June 2016, MHZC approved the final details of a different design than what is currently proposed.

**Recommendation Summary:** Staff recommends approval with the conditions that:

1. There be a change in material at the foundation line;
2. Staff approve brick and stone samples;
3. Staff approve the metal cladding color and texture;
4. Staff approve the final selection of windows and doors;
5. Staff approve the design of all balcony and stair railings;
6. All mechanical systems be located on the roof, or in the interior of the development to reduce visibility from the street;
7. Staff approve any fence or walls not indicated on the plans; and
8. Staff approve all exterior lighting.

With these conditions, Staff finds the project to meet the design guidelines for new construction in the Germantown Historic Preservation Zoning Overlay.

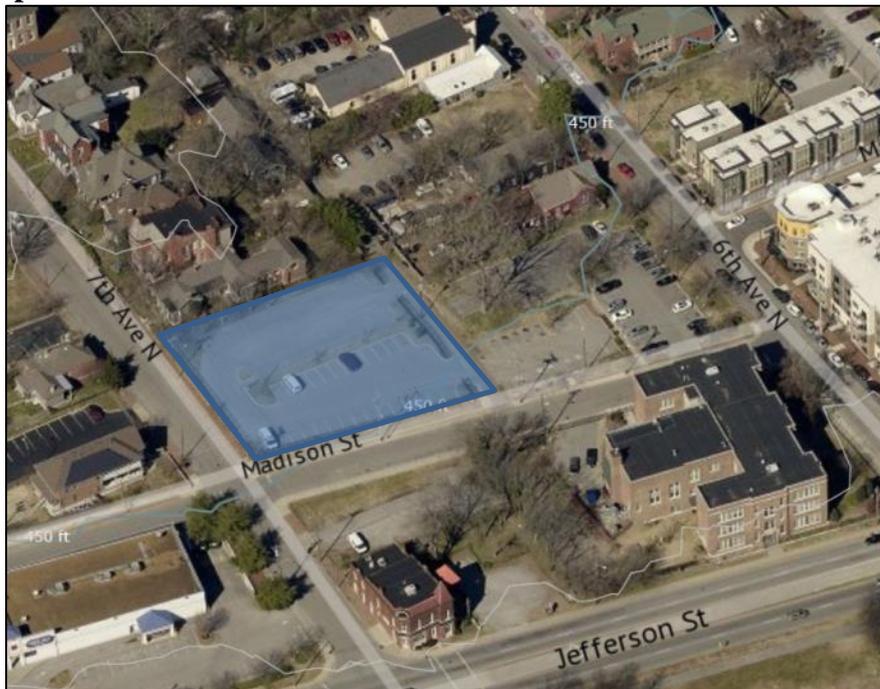
**Attachments**

- A:** Photographs
- B:** BL2015-1252
- C:** Site Plan
- D:** Floor Plans and Elevations

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### 2.0 New Construction within historic context

#### 2.1 General Principles

- 2.1.1 Guidelines apply only to the exteriors of new construction. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets. Non-public facades are those not visible from the public right of way, street or streets. Facades facing the alley are generally not considered public facades.*
- 2.1.2 Construction in Historic Germantown has taken place continuously from the mid-19th through the early 20th centuries and a variety of building styles and types have resulted. New buildings should continue this tradition while remaining compatible with the existing historic context. Because a great variety of historic building forms exist within Germantown, more flexibility in design is possible than might be the case for more architecturally homogenous historic neighborhoods.
- 2.1.3 Because new buildings should relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of the street, a dominance of the pattern and rhythm should be respected and should not be disrupted.
- 2.1.4 New construction should be consistent and compatible with existing buildings along a street in terms of height, scale, setback, relationship of materials, texture and color; roof shape; orientation; and proportion and rhythm of openings.
- 2.1.5 Reconstruction of a historic building which no longer exists may be appropriate if it meets these criteria: it was formerly located on the site on which the reconstruction is proposed; it contributed to the historic and architectural integrity of the area; it was compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the site; and pictorial documentation supports its accuracy.
- 2.1.7 The MHZC does not review paint colors on wood or metal surfaces.
- 2.1.8 Painting of masonry materials is reviewed by the MHZC.

#### 2.2 Site and Building Planning

##### 2.2.1 Setbacks

1. Maintain the prevailing setbacks from the street within a block.
2. When a definite rhythm of spacing along a street is established by existing lot and building width, infill construction shall maintain that rhythm.
3. Wings, porches, and secondary building elements should be at similar setbacks to existing context.
4. Corner Lots: New construction should appropriately address setbacks on both streets.
5. Alley Setback: Setback from any alley (rear or side) shall be a minimum of 5 feet in order to retain the historic urban street character.
6. Corner Commercial: Historic corner commercial buildings within the NR historic district were typically built to the property line/sidewalk. Setbacks for the construction of new corner commercial structures shall be compatible with this historic precedent.

2.2.2 Orientation: The orientation of a structure's primary facade shall be consistent with that of adjacent historic buildings.

##### 2.2.3 Massing and Scale

1. In new construction, the size of a building, its mass in relation to open spaces and its windows, door openings and porches should be visually compatible with the surrounding buildings.
2. The visual mass of the building shall be at or near the same setback as buildings on adjacent sites.
3. When multiple lots or parcels are assembled within the district, buildings shall be designed to be compatible with the adjacent structures. New structures shall employ design techniques that break the facades into multiple vertical elevations.

#### 2.3 Foundations

- 2.3.1 The foundation height shall be visually compatible, by not contrasting greatly, with those of surrounding historic buildings.

- 2.3.2 For new structures, brick, limestone or split-face concrete block may be used for either pier or solid perimeter foundations. Intervening spaces may be filled with an open lattice work.
- 2.3.3 Foundation access doors shall be located on the side or rear of the building. Slab-on-grade foundations may be appropriate for commercial buildings. Slab-on-grade foundations are generally not appropriate for residential infill buildings.

#### 2.4 Walls/Exterior Materials

- 2.4.1 Masonry materials and wood siding were primarily used in the district and should continue to be predominant. Other materials may be used if they possess characteristics similar in scale, design, finish, texture, durability, and detailing to historic materials and meet *The Secretary of the Interior's Standards*.
- 2.4.2 The relationship and use of materials, texture, details and material color of a new building's public facades shall be visually compatible with and similar to or shall not contrast conspicuously with those of adjacent historic buildings.
- 2.4.3 Large expanses of featureless wall surface are not appropriate. It is most appropriate for materials to change between the foundation to the first floor.
- 2.4.4 Exterior Insulation Finish Systems (E.I.F.S) and vinyl siding are not appropriate exterior materials.
- 2.4.5 Traditional brick colors range from dark red-orange to dark red. The use of "antique" reproduction or multi-colored brick is not permitted.
- 2.4.6 Clapboard siding should exhibit an exposure of 3 to 5". Wood or composite siding and trim (ex. Hardi-plank) are appropriate. Composite materials must match the visual and durability characteristics of wood.

#### 2.5 Doors

- 2.5.1 The relationship of width to height of doors and the rhythm of solids (*walls*) to voids should be compatible with surrounding buildings. (*Exterior doors often have transoms, giving them a tall, narrow proportion.*)
- 2.5.2 Primary entrances shall be in locations similar to those used historically for primary entrances.
- 2.5.3 Door openings should be recessed (2" minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
- 2.5.4 Front doors shall be wood and at least half-glass.

#### 2.6 Windows

- 2.6.1 The relationship of width to height of windows and the rhythm of solids (*walls*) to voids should be visually compatible with surrounding buildings. (*Exterior windows are generally tall and narrow in proportion*)
- 2.6.2 Tinted, reflective, or colored glass are generally not appropriate.
- 2.6.3 Window openings should be recessed (2" minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
- 2.6.4 For new commercial structures a significant portion of the street level façade shall be transparent (i.e., doors and windows) to provide visual interest and access for the pedestrian.
- 2.6.5 On corner commercial buildings, glazing shall address both streets.

#### 2.6 Porches / Entrance/ Recessed Entries

- 2.6.1 Primary building entrances should be oriented towards the street.
- 2.6.2 Within the district front porches and recessed entries are common on residential and commercial buildings. New construction (specifically of single and multi family homes) shall provide an entry that utilizes elements of a porch to create a transition from the outside (*public domain*) to the inside (*private domain*).
- 2.6.3 The height of porch roofs shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- 2.6.4 Entrances to commercial buildings should be recessed.

#### 2.8 Utilities / Mechanical

- 2.8.1 Utility connections such as gas meters, electric meters, electric service mast and power lines, phone, cable, satellite TV and HVAC condenser units should be located so as to minimize their visibility from

the street. Exterior utilities and mechanical equipment shall generally be located in the rear or side yard and/or screened when visible from the street.

- 2.8.2 Appurtenances related to new buildings and additions, should be visually compatible with the environment established by surrounding existing buildings and the site on which they are located.

## **5.0 Site Improvements/ Appurtenances**

*Site improvements or appurtenances include fences, walls, sidewalks, paving or driveways, parking areas, exterior lighting, utility connections, and other permanent landscape features.*

*Historic architecturally-significant site improvements should be maintained, and repaired using historically appropriate materials and methods.*

### 5.1 Fences & Walls

Character-defining features of historic fences and stone retaining walls including gates, decorative pickets, finials, and hardware should be preserved. Repair rather than replace fence and wall materials. For irreparable elements replacement features shall match the original features.

- 5.1.2 Fences or walls may be utilized to demarcate property lines and screen private areas from public view.

5.1.3 New fences and walled areas shall be compatible with the building site and streetscape in terms of location, height, opaqueness; design, style, materials composition, scale, proportion, color and texture. *Consideration of the physical characteristics of a property and its use will be given in determining appropriate fence heights and location (e.g. exceptional topographic condition, lot location within the District (street corners etc), adjacent to non compatible use, lot size and/or shape)*

*Walls of solid masonry construction within the front setback are permitted up to 24" in height.*

*Fences shall be constructed of wood, metal or masonry. Vinyl is generally not an appropriate fencing material.*

*The combination of fences and walls in front setbacks shall not exceed 48". Generally side yard fences from the street to a distance of 10' behind the front (public) façade shall not exceed 48".*

*Side yard fences shall be located a minimum of 10' behind the front (public) façade and shall not exceed 72" in height. (Exception: Fences may be 96" in ht. when the top 24" is open in nature).*

*Rear yard / privacy fences shall not exceed 72". (Exception: Fences may be 96" in height when the top 24" is open in nature).*

- 5.1.4 Coordination of style and materials with adjacent properties is encouraged where appropriate.

5.1.5 In general chain link fencing is not appropriate. Black or dark green chain link fencing may be used for pet enclosures or at the rear of the lot when it is screened from public view.

### 5.2 Sidewalks

5.2.1 New sidewalks or walkways should remain visually compatible with the materials and placement of historic walkways.

5.2.2 Curb cuts on public streets are generally not appropriate. The removal of existing curb cuts on primary streets (where a lot can be accessed from the alley) is encouraged to bring non conforming properties into conformance.

5.2.3 Original sidewalks and walkways, including details such as original curbstones, brick, etc., should be preserved in their original state as closely as possible. Special care shall be taken to preserve existing specimen trees and significant landscape elements.

5.2.4 Pathways and walkways providing access to buildings shall be serviceable and relate to the building in scale, width, placement and material.

5.2.5 Brick, concrete, concrete pavers, stone, and stepping stones are appropriate walkway materials.

### 5.3. Paving/Driveways/Parking Areas and Parking Lots

5.3.1 The predominant vehicular access to properties within the District should continue to be through the use of alleys. It is acknowledged that in some cases alley access may not be possible or practical. In this case, curb cuts and driveways at the public street should be minimized and the width of parking access should be limited. Curb cuts and driveways shall be located so they are visually less dominant.

5.3.2 Vehicular access to new developments (specifically large lot developments) shall be executed with techniques that minimize interruption to the sidewalk network and the pedestrian environment. Cross access between parking areas to minimize street curb cuts and adjacent driveway is encouraged.

- 5.3.3 Parking structures should generally be located below or behind buildings and landscaped to mitigate their visual impact.
- 5.3.4 Parking structures that are located close to the sidewalk are encouraged to include retail uses at street level to minimize the visual impact of the structure and engage the pedestrian network - Where street level retail uses are not feasible, architectural treatments shall be used to modulate the façade breaking the mass and horizontal lines typical of parking structures. Facades of parking structures facing public streets shall have flat (non sloping) floor plates.
- 5.3.5 Shared parking facilities that efficiently utilize parking spaces are encouraged.
- 5.3.6 Garages and carports shall be accessed from the service alley as is typical in the district. For residential lots new curb cuts on public streets are generally not appropriate. Where a lot can be accessed from the alley, the removal of existing curb cuts on primary streets is encouraged. Where an existing lot cannot be accessed from the alley executed vehicular access shall be executed with techniques that minimize interruption to the sidewalk network and the pedestrian environment.
- 5.3.7 Swimming pools are to be located in the rear yard or appropriately screened from view and set back from the street; fencing around swimming pools required by zoning or inance must comply with these design guidelines.
- 5.3.8 Portable storage buildings less than 100 square feet are not reviewed by the MHZC.

5.4 Exterior Lighting/ Miscellaneous

- 5.4.1 Dumpsters and other trash containers shall be located with techniques that minimize interruption to the sidewalk network and the pedestrian environment. The most appropriate location for dumpster and trash containers is in the rear yard or alley and screened from public view.
- 5.4.2 Exterior lighting fixtures shall be compatible in style, size, scale and material with the character of the structure and neighborhood.
- 5.4.3 Avoid spilling light onto adjacent structures, signs, or properties.
- 5.4.4 Ground mounted light fixtures/spotlights shall be screened from public view.

**Background:** This application is for a final SP (Specific Plan) review to construct a mixed-use development on what are currently three parcels at the northeast corner of 7<sup>th</sup> Avenue North and Madison Street. The parcels are vacant (Figure 1). The SP includes four additional parcels across the alley, to the east, at the northwest corner of 6<sup>th</sup> Avenue North and Madison Street; these parcels are not part of this application (Figure 2).



Figure 1. The northeast corner of Seventh Avenue North and Madison Street



Figure 2. The northwest corner of Sixth Avenue North and Madison Street

In May 2015, the Commission approved the bulk, height, massing, roof form, and site layout for the project as part of a preliminary SP review. The SP (BL2015-1252) was approved by Council on August 10, 2015 and was effective August 14, 2015. The SP zoning allows for a mixed use development, with a maximum height of three stories, and with a maximum number of seventy-five (75) dwelling units.

In 2016, MHZC approved the design details for a previous design that is different than what is currently proposed. Because the site plan has changed from what was approved in 2015 and because the design has also changed, MHZC must re-review all aspects of the project.

The applicant intends to return to the Commission in the near future with revisions to the development on the other parcels at the northwest corner of 6<sup>th</sup> Avenue North and Madison Street.

**Analysis and Findings:** This application is for a final SP (Specific Plan) review to construct part of a mixed-use development at the northeast corner of 7<sup>th</sup> Avenue North and Madison Street. This application is for ten rowhouses facing the streets and two alley houses in the interior of the site. Because the site plan, layout, and details of the development have changed since MHZC's previous reviews, MHZC must re-review all aspects of this application.

The previous plan, approved by MHZC in June 2016, included an apartment building at the northeast corner of 7<sup>th</sup> Avenue North and Madison Street, and three townhouses along Seventh Avenue North. The plan currently under consideration is for seven townhouses facing Madison Street, three townhouses facing Seventh Avenue North, and two alley houses. Although the setbacks, height, scale, and roof form are similar, they are different enough to warrant being analyzed again for their appropriateness. In addition, the alley houses are a new element that were not included in the previous design.

Setbacks, and Site and Building Planning: The townhouses along Madison Street will be grouped so that four are attached on the right/east side of the lot and three are attached on the left/west side of the lot. They are separated by a space of approximately seven feet (7'). Madison Street angles slightly between Sixth and Seventh Avenues, and the townhouses' front setbacks will angle and will be stepped to address the street's angle. The eastern most townhouse on Madison Street, which is the townhouse closest to the alley, will be located ten feet (10') from the alley at the front and approximately six feet (6') from the alley at the rear. It will have a front wall that is fourteen feet (14') from the sidewalk line and twenty-four feet (24') from the edge of the street. The three other townhouses in this row will have similar front setbacks.

The group of three townhouses on the western side of the lot will sit slightly closer to the street than the other townhouses, and will be approximately twelve feet (12') from the sidewalk line and twenty-one feet (21') from the line of the street. With the exception of the townhouses at the corner of Seventh Avenue North and Madison Street, the townhouses all have entry stoops/uncovered porches that are between six and ten feet (6'-10') deep. The townhouse at the corner of Seventh Avenue North and Madison Street has an eight by twelve (8'X 12') entry stoop at the corner, which is appropriate. This corner townhouse will be approximately nine feet (9') from the Seventh Avenue North sidewalk line and eighteen feet (18') from the line of the street.

The three townhouses that face Seventh Avenue North will step back to transition from the corner townhouse to the existing historic house at 1208 7<sup>th</sup> Avenue North. The southern-most townhouse will be set back five feet (5') from the sidewalk line and fourteen feet (14') from the line of the street. The other two townhouses will line up with the front setback of the historic house at 1208 7<sup>th</sup> Avenue North, which staff finds to be appropriate.

The two alley houses will be located behind the street-facing townhouses, and will face the alley. They will be between five and eight feet (5'-8') off the alley, which staff finds to be appropriate because the design guidelines state that structures should be a minimum of five feet (5') from the alley. Staff finds that the alley houses are appropriate because Germantown is a mixed use neighborhood, with several larger townhouse and multi-family developments. The lot is zoned for mixed use, multi-family, and a development that includes alley houses is in keeping with other developments approved by MHZC in the Germantown Historic Preservation Zoning Overlay. Staff finds that the development's setbacks and site and building planning meet Sections 2.1 and 2.2. of the design guidelines.

Height, Scale: Although the project has changed from an apartment building to townhouses, the overall height and scale of the new design is similar to what MHZC previously approved. The previously apartment building along Madison Street was three stories in height, with a maximum height of forty-two feet (42') from grade. The new townhouse design is also three stories, with a primary height of thirty-nine to forty-one feet (39'-41'), depending upon grade. Four of the seven townhouses along Madison Street have stair bulkheads, which will add another six feet (6') above the parapet, and

balcony railings, which will be between two and three feet (2’-3’) above the parapet. Even with the stair bulkheads, the townhouses will be below the maximum height of forty-six feet (46’) set in the SP zoning plan.

For the three townhouses that face Seventh Avenue North, the southern-most townhouse will be three stories and thirty-eight feet (38’) in height, not including the seven foot (7’) tall stair bulkhead. The other two townhouses will be just two stories in height, making the transition from the three-story multifamily development to the one-story historic house next door at 1208 7<sup>th</sup> Avenue North. The two-story townhouses will have heights of approximately twenty-eight feet (28’), which will be about seven feet (7’) taller than the historic house at 1208 7<sup>th</sup> Avenue North.

Staff finds that the height and scale of the ten townhouses that face Madison Street and Seventh Avenue North to meet the historic context. The historic Elliott School, directly across the street from this site is approximately three stories and forty-six feet (46’) tall. The townhouses will be slightly lower in height than this historic school.

The two alley houses will be two stories and approximately twenty-nine feet (29’) tall. They are subordinate in height and scale to the townhouses facing the street, which staff finds to be appropriate.

Staff finds that the project’s height and scale to meet Sections 2.1 and 2.1. of the design guidelines.

Roof form: The roofs of the ten townhouses will be flat with parapets at the perimeter. Flat roofs are common in Germantown on both non-historic and historic buildings, including the three-story historic Elliot School building across Madison Street from the proposed infill. The two alley houses will have front-facing gables with a 6/12 slope, which staff finds to be appropriate. Staff finds the proposed roof forms to meet Sections 2.1 and 2.7. of the design guidelines.

Foundation: The proposed buildings will not have defined foundation lines; the brick or metal façade material will extend to grade. Staff recommends that there be a change in material to show a foundation line, as historically, structures had a delineated foundation line. This condition will ensure that the foundations meet Section 2.3 of the Germantown design guidelines.

Walls, Exterior Materials:

	<b>Proposed</b>	<b>Color/Texture/Make/Manufacturer</b>	<b>Approved Previously or Typical of Neighborhood</b>	<b>Requires Additional Review</b>
<b>Stoops</b>	Cast stone masonry	Not indicated	Yes	Yes
<b>Primary Cladding</b>	Brick	Not indicated	Yes	Yes

<b>Secondary Cladding</b>	Metal tiles	Rheinzink prepatina flatlock tile, graphite grey and blue grey colors	Yes	No
<b>Detail material</b>	Cast stone masonry	Not indicated	Yes	Yes
<b>Roofing</b>	Not indicated (not visible)	Not indicated	Unknown	No (not visible)
<b>Stoop Railing</b>	Metal pipe handrail and guardrail	Not indicated	Yes	Yes
<b>Roof Balcony</b>	Metal mesh guard rail	Not indicated	Yes	Yes
<b>Windows</b>	Aluminum clad	Not indicated	Yes	Yes
<b>Front doors</b>	Aluminum clad, full glass	Frosted glass	Yes	Yes
<b>Alley house trellis</b>	Galvanized steel	Typical	Yes	No
<b>Garage doors</b>	Metal doors	Frosted glass	Yes	Yes
<b>Driveway</b>	Concrete	Typical	Yes	No
<b>Walkway</b>	Concrete	Typical	Yes	No

Staff will want to review all final material choices, including the windows, doors, metal material, brick sample, stone sample, balconies, and railings. With the aforementioned staff approval of final material choices, staff finds that the known materials meet Section 2.4 of the Germantown design guidelines.

Doors, Porches and Entries. For the street facing townhouses, each will have its own entry behind a stoop along its street. The doors will be aluminum with full glass openings with frosted glass. The two alley townhouses will have doorways of full glass facing both the interior of the lot and the alley. Staff finds these doors to be appropriate. Staff finds the proposed doors and entries to meet Sections 2.5 and 2.6 of the Germantown design guidelines.

Windows: The fenestration pattern for the proposed development ensures that there is an appropriate proportion of solid-to-void in the design. The development's facades on Seventh Avenue North and Madison Street have window patterns that address the street and do not result in large expanses of walls without a window or door opening. Windows within masonry walls will be recessed a minimum of two inches (2"), which is appropriate. Windows will be aluminum, and staff recommends approval of the final window selection prior to purchase and installation. Staff finds the proposed windows to meet Section 2.6 of the design guidelines.

Mechanical: The locations of the mechanical equipment were not indicated on the drawings, and staff recommends that all mechanical systems be located on the roof, or in the interior of the development to reduce their visibility from the street in order to meet Section 2.8 of the design guidelines. The electrical meter will be placed off the alley, facing the interior of the lot in order to minimize its visibility. Staff finds that this meets Section 2.8. of the design guidelines.

Fences: No other fencing or perimeter walls were indicated on the site plan. Staff will need to approve all fencing and perimeter walls to ensure that they meet Section 5.1 of the Germantown design guidelines.

Sidewalks: The development will retain the brick sidewalks on Seventh Avenue North. Concrete walkways will be added from the sidewalk to the entries along Seventh Avenues North and Madison Street. Staff finds that the development's sidewalks meet Section 5.2 of the design guidelines.

Parking: Each townhouse will have attached parking on the ground floor for two cars. For the street-facing townhouses, the parking will be on the interior of the lot, not visible from the street. The alley houses will have attached parking on the ground floor, accessed via the alley, with garage doors facing the alley. All parking will be accessed via the alley. No curb cuts will be created on Seventh Avenue North or Madison Street. Staff finds that the proposed parking meets Section 5.3 of the Germantown design guidelines.

Exterior Lighting: No information on exterior lighting was provided. Staff recommends approval of all exterior lighting to ensure it meets Section 5.4 of the Germantown design guidelines.

### **Recommendation Summary:**

Staff recommends approval with the conditions that:

1. There be a change in material at the foundation line;
2. Staff approve brick and stone samples;
3. Staff approve the metal cladding color and texture;
4. Staff approve the final selection of windows and doors;
5. Staff approve the design of all balcony and stair railings;
6. All mechanical systems be located on the roof, or in the interior of the development to reduce visibility from the street;
7. Staff approve any fence or walls not indicated on the plans; and
8. Staff approve all exterior lighting.

With these conditions, Staff finds the project to meet the design guidelines for new construction in the Germantown Historic Preservation Zoning Overlay.

**Context Photos:**



1201 Seventh Avenue North, across Seventh Avenue North from the site



1207 Seventh Avenue North, across Seventh Avenue North from the site



1208- 1212 Seventh Avenue North, across Seventh Avenue North from the site



Elliott School, across Madison Street from the site (Sixth Avenue North façade seen here)



Elliott School, across Madison Street from the site (Sixth Avenue North façade seen here)



Vista Germantown, catty corner across Sixth Avenue North and Madison Street from the site



Northeast corner of Sixth Avenue North and Madison Street, across Sixth Avenue North from the site.



1211 and 1213 Sixth Avenue North, behind the site.

**ORDINANCE NO. BL2015-1252**

**An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from IR, MUN and CS to SP zoning for properties located at 1201, 1205 and 1207 6th Avenue North and 1200, 1204 and 1206 7th Avenue North and 604 Madison Street, at the northeast corner of 7th Avenue North and Madison Street (1.25 acres), to permit a mixed use development up to 3 stories in height, with up to 75 residential units, all of which is described herein (Proposal No. 2015SP-058-001).**

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from IR, MUN and CS to SP zoning for properties located at 1201, 1205 and 1207 6th Avenue North and 1200, 1204 and 1206 7th Avenue North and 604 Madison Street, at the northeast corner of 7th Avenue North and Madison Street (1.25 acres), to permit a mixed use development up to 3 stories in height, with up to 75 residential units, being Property Parcel Nos. 179, 180, 181, 188, 189, 190, 191 as designated on Map 082-13 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 082 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to up to 75 multi-family residential units and all uses allowed within the MUG-A zoning district.

Section 4. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:

1. Provide a detailed landscaping plan with the submittal of the Final SP.
2. On the corrected set, add the following note to the Bicycle Parking Table: 20% of the spaces for the residential uses shall be publicly available and all of the spaces for the non-residential uses shall be publicly available.
3. A minimum of 50% of ground floor residential units shall include a porch, stoop or front door that has direct access to the sidewalk network.
4. The number of building stories, height, placements and elevations, as well as all site improvements shall be approved by the Metro Historic Zoning Commission.
5. The final site plan shall meet the conditions of Metro Public Works. A parking and access study shall be submitted for review and approval to Metro Traffic and Parking.
6. The Preliminary SP plan is the site plan and associated documents. If applicable, remove all notes and references that indicate that the site plan is illustrative, conceptual, etc.

Section 5. Be it further enacted, a corrected copy of the preliminary SP plan incorporating the conditions of approval by Metro Council shall be provided to the Planning Department prior to or with final site plan application.

Section 6. Be it further enacted, minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Section 7. Be it further enacted, if a development standard, not including permitted uses, is absent from the

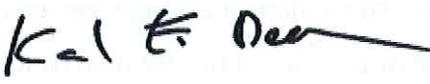
SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the MUG-A zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.

Section 8. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

Sponsored by: Erica Gilmore

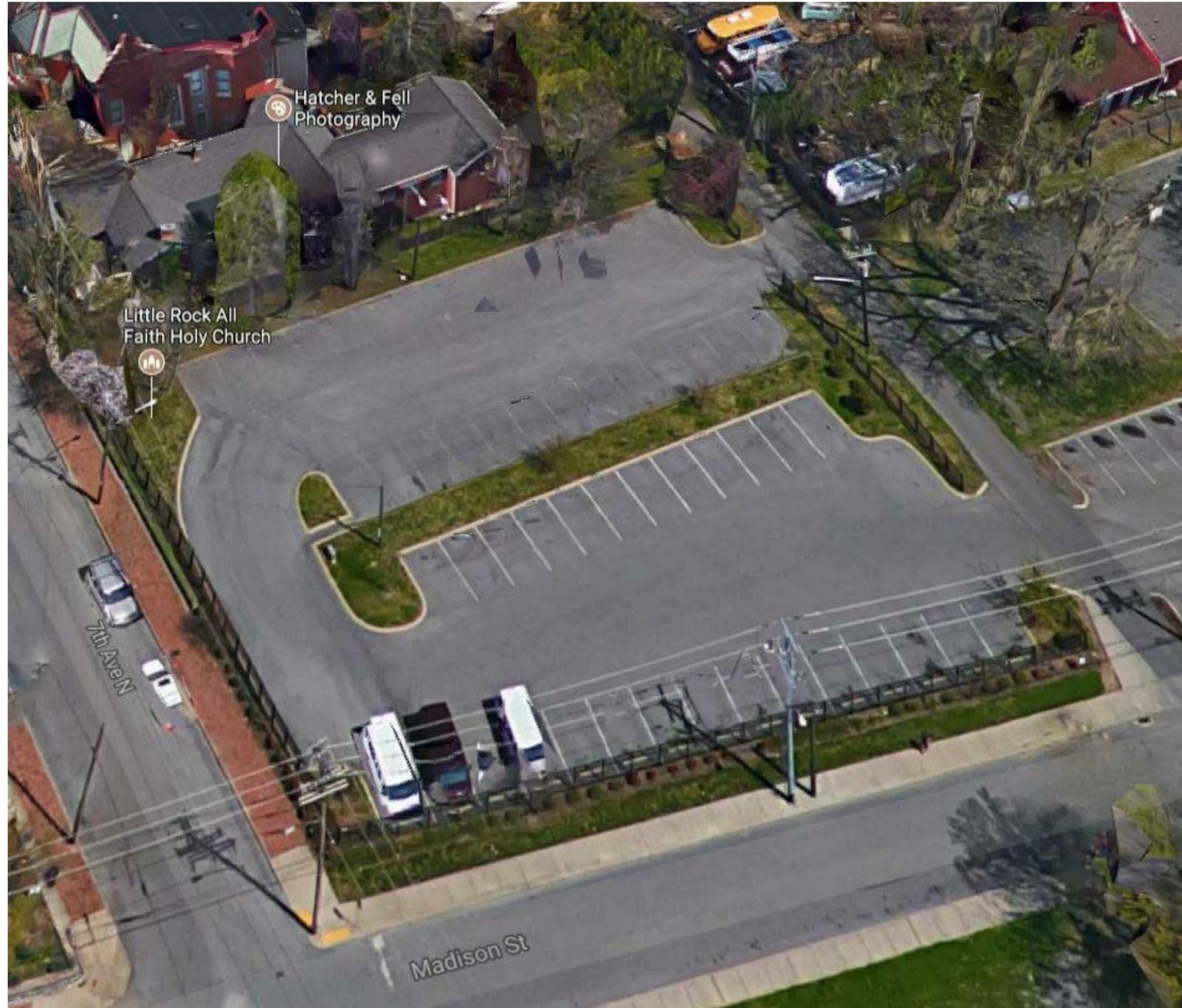
[View Sketch](#)

[View Site Plan](#)

<b>LEGISLATIVE HISTORY</b>	
Introduced:	July 7, 2015
Passed First Reading:	July 7, 2015
Referred to:	Planning Commission - Approved with conditions and disapproved without all conditions. (8-0) Planning & Zoning Committee
Passed Second Reading:	July 28, 2015
Passed Third Reading:	August 4, 2015
Approved:	August 10, 2015
By:	
Effective:	August 14, 2015

Requests for ADA accommodation should be directed to the Metropolitan Clerk at 615/862-6770.

**Last Modified 08/11/2015 09:50:01**



# 7TH AVENUE NORTH TOWNHOMES

1202, 1204, 1206 7TH AVE. N  
NASHVILLE, TN

MANUEL ZEITLIN ARCHITECTS

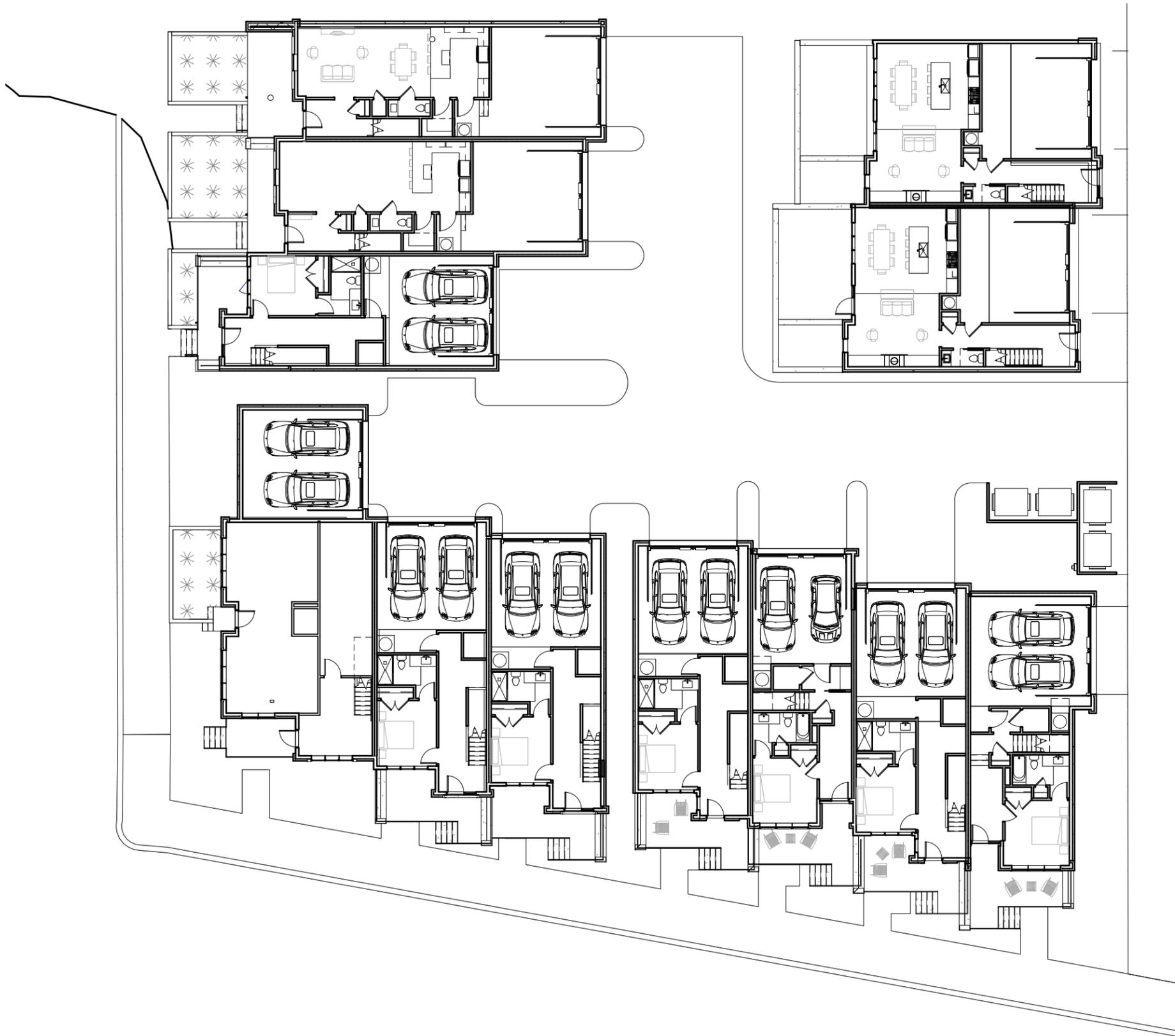


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# SITE PLAN

07.10.2017



**1 LEVEL 1**  
 3/64" = 1'-0"

**7TH AVENUE NORTH TOWNHOMES**

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 NASHVILLE, TN

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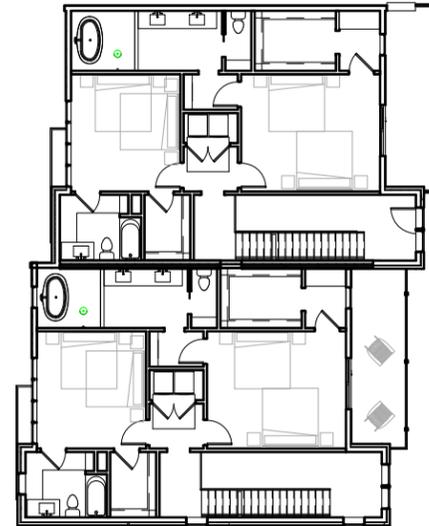


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**LEVEL 1**

07.10.2017



**1** LEVEL 2  
3/64" = 1'-0"

**7TH AVENUE NORTH TOWNHOMES**

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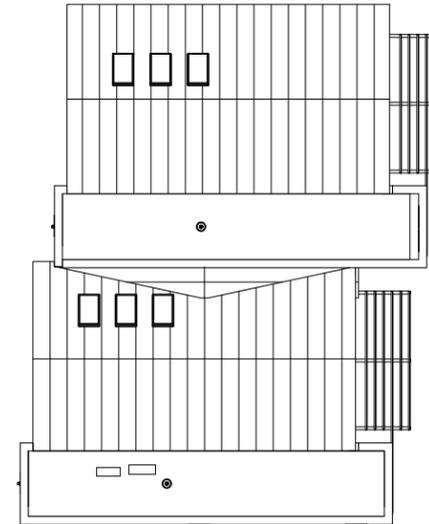
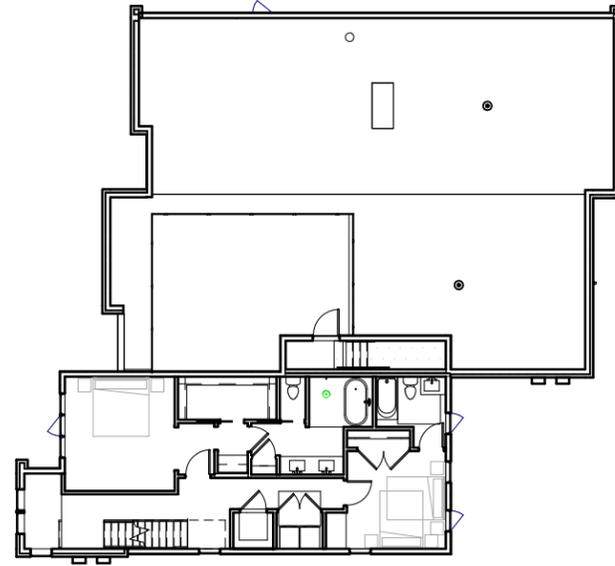


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**LEVEL 2**

07.10.2017



**1** LEVEL 3  
3/64" = 1'-0"

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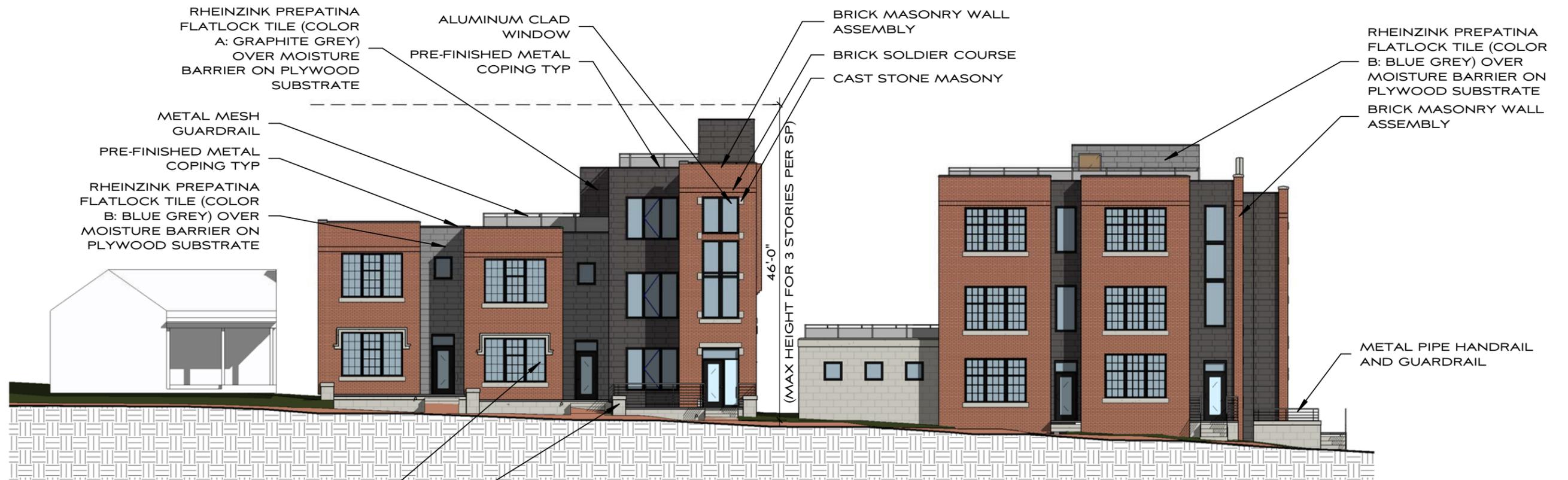


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**LEVEL 3**

07.10.2017



**2 7TH AVE ELEVATION**  
1/16" = 1'-0"



**1 MADISON ST ELEVATION**  
1/16" = 1'-0"

**7TH AVENUE NORTH TOWNHOMES**  
1202, 1204, 1206 7TH AVE. N  
NASHVILLE, TN

MANUEL ZEITLIN ARCHITECTS



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**ELEVATIONS  
(STREET  
SIDE)**  
07.10.2017



- RHEINZINK PREPATINA FLATLOCK TILE (COLOR B: BLUE GREY) OVER MOISTURE BARRIER ON PLYWOOD SUBSTRATE
- LAMB'S TONGUE THROUGH WALL OVERFLOW SCUPPER
- ALUMINUM CLAD WINDOW
- PAINTED, GALVANIZED STEEL
- CAST STONE MASONRY
- BIO RETENTION

**4 CARRIAGE HOUSE - REAR ELEVATION**  
1/16" = 1'-0"



- ALUMINUM CLAD WINDOW
- SKYLIGHT
- PAINTED, GALVANIZED STEEL TRELLIS
- RHEINZINK PREPATINA FLATLOCK TILE (COLOR B: BLUE GREY) OVER MOISTURE BARRIER ON PLYWOOD SUBSTRATE
- METAL MESH GUARDRAIL
- PAINTED, GALVANIZED STEEL CAST STONE MASONRY
- FROSTED GLASS GARAGE DOOR
- FULL FROSTED GLASS ALUMINUM CLAD DOOR W/ TRANSOM AND FROSTED SIDELITE

**3 CARRIAGE HOUSE ALLEY ELEVATION**  
1/16" = 1'-0"



**2 7TH AVE REAR ELEVATION**  
1/16" = 1'-0"



**1 MADISON ST REAR ELEVATION**  
1/16" = 1'-0"

**7TH AVENUE NORTH TOWNHOMES**

1202, 1204, 1206 7TH AVE. N  
NASHVILLE, TN

MANUEL ZEITLIN ARCHITECTS



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**ELEVATIONS  
(ALLEY  
SIDE)**

07.10.2017



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3D STREET

07.10.2017



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3D ALLEY

07.10.2017