

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION

1212 McChesney Avenue

July 19, 2017

Application: New construction—infill and outbuilding

District: Inglewood Place Neighborhood Conservation Zoning Overlay

Council District: 07

Map and Parcel Number: 07203013300

Applicant: Van Pond, Jr.

Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is to construct infill and an outbuilding. The infill and outbuilding will be constructed on one-half of a one hundred foot (100') wide lot. There is another house on the lot, and the two houses will remain unconnected.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. There be a minimum of ten feet (10') in between the infill and the existing house on the lot;
2. The finished floor height be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
3. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
4. Staff approve a brick sample;
5. Staff approve the materials and design of the porch railings;
6. Staff approve the roof shingle color and texture; and
7. The HVAC shall be located behind the house or on either side, beyond the mid-point of the house.

With these conditions, staff finds that the project meets Section III of the Inglewood Place Neighborhood Conservation Zoning Overlay design guidelines.

The Commission does not have the authority to approve the use. This recommendation is for the design of the buildings based on the proposed use.

Attachments

- A: Photographs
- B: HPR plan
- C: Survey
- D: Site Plan
- E: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III. NEW CONSTRUCTION

A. Height

1. The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings. The majority of historic buildings in the neighborhood are one and one-half stories tall. Generally, a building should not exceed one and one-half stories, except in those areas where historic two-story buildings are found.

B. Scale

1. The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

C. Setback and Rhythm of Spacing

1. The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

2. The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setbacks will be determined based on:

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

Appropriate height limitations will be based on:

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

3. In most cases, an infill duplex for property that is zoned for duplexes, should be one building, in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- *There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- *The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- *An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

D. Materials, Texture, Details, and Material Color

1. The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings.

2. The majority of historic buildings are sided in brick, lap siding, stone or a combination of masonry and lap siding. Shingle siding should be minimally used for infill construction but is appropriate for additions and outbuildings.
 - a. Inappropriate materials include vinyl and aluminum, T-1-11-type building panels, "permastone", and E.F.I.S. Stud wall lumber and embossed wood grain are prohibited.
 - b. Appropriate materials include: pre-cast stone for foundations, composite materials for trim and decking, cement fiberboard lap siding, smooth-finished fiberglass doors.
 - Lap siding, should be smooth and not stamped or embossed and have a reveal of between 5" and 10", depending on the immediate historic context.
 - Four inch (4") nominal corner boards are required at the face of each exposed corner unless the lap siding is mitered.
 - Stone or brick foundations should be of a compatible color and texture to historic foundations.
 - When different materials are used, it is most appropriate to have the change happen at floor lines.
 - Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.
 - Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate for chimneys.
 - Texture and tooling of mortar on new construction should be similar to historic examples.
 - Faux leaded glass is inappropriate.
3. Asphalt shingle is an appropriate roof material for most buildings. Metal and tile are not appropriate; however, terra cotta ridge tiles are found throughout the district.

Generally, roofing should NOT have: strong simulated shadows in the granule colors which results in a rough, pitted appearance; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; or uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof or a dominant historic example.

E. Roof Shape

1. The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. The most common roof forms in the neighborhoods are side gable, cross gable, hipped, and cross gable and hipped. Pitches range from the low slope of the ranch style homes to steeper pitch of the earlier homes.
2. Small roof dormers are typical throughout the district. The most common form is gabled and a few have a hipped or shed roof. Wall dormers are only appropriate on the rear, as historic examples in the neighborhood are rare.

F. Orientation

1. The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
2. Primary entrances are an important component of most of the historic buildings in the neighborhood and include gabled, hipped and shed roof partial-or full-width porches, stoops, enclosed or "vestibule" type entrances, and decorative door surrounds. Infill duplexes should have one primary entrance facing the street. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

3. Generally, lots should not have more than 1 curb cut. Shared driveways should be a single lane. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot. Generally, new driveways should be no more than 12' wide from the street to the rear of the home. Front yard parking areas or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

G. Proportion and Rhythm of Openings

1. The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

2. Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

3. Double-hung and casement windows should generally exhibit a height to width ratio of at least 2:1. Picture windows and fixed windows (and in some cases double-hung windows) may be square or have a horizontal orientation if the principle building follows a post-1955 form, such as a ranch house.

4. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

5. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

H. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030. The word "shall" refers to detached accessory dwelling units. There is more leniency with outbuildings.)

1. A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

a. *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven 750 feet or fifty percent of the first floor area of the principal structure, whichever is less.*

b. *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed 1000 square feet.*

c. *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

2. Historically, outbuildings were utilitarian in character. High-style accessory structures are not appropriate for Inglewood Place.

3. Roof

- a. Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing primary building. In Inglewood Place, historic accessory buildings were between 8' and 14' tall.
- b. Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure.
- c. The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.
- d. *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'. (The width of the dormer shall be measured side-wall to side-wall and the roof plane from eave to eave.)*

4. Windows and Doors

- a. Publicly visible windows should be appropriate to the style of the house.
- b. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- c. Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.
- d. Generally garage doors on garages attached to the side of the house should be oriented towards the rear of the home. Where the context or historic house form allows for a front-facing garage it should be no more than 1 bay and 1 story.

5. Siding and Trim

- a. Weatherboard is a typical siding materials. Brick, stone, and parge-coated concrete block are also appropriate.
- b. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).
- c. Four inch (4" nominal) corner-boards are required at the face of each exposed corner for non-masonry structures.
- d. Stud wall lumber and embossed wood grain are prohibited.
- e. Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

6. Outbuildings should be situated on a lot as is historically typical for surrounding historic outbuildings. Typically vehicular storage should not be attached to the principle dwelling except in these situations:

- a. The new principle dwelling is following a post-1955 form such as a ranch house.
- b. A drop in grade allows the garage to be fully at the basement level with access from a recessed side wall or the rear wall.

Setbacks & Site Requirements.

- d. *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- e. *For corner lots, the DADU or outbuilding's street-side setback should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

Driveway Access.

h. On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.

i. On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

j. Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

I. Utilities

1. Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

2. Generally, utility connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

J. Public Spaces

1. Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Background: 1212 McChesney Avenue is a one-hundred foot (100') wide by two hundred and six feet (206') deep. On the left half of the lot is a one-story house constructed c. 1930 that contributes to the historic character of the Inglewood Place Neighborhood Conservation Zoning Overlay (Figure 1). The lot is zoned single family, but the existing house is categorized as a duplex. Because of the existing house is a duplex, the Codes Department has determined that if the existing house is converted to a single family house, a second dwelling unit can be constructed on the lot.



Figure 1. 1212 McChesney Avenue

The owner of the property has filed a Horizontal Property Regime (HPR) to construct a second, detached single-family residence on the right half of the property (Figure 2).

The HPR will allow the owner of the property to sell off the property separately from the existing house at 1212 McChesney. The Metro Historic Zoning Commission does not have the authority to determine the number of dwelling units allowed on a property. However, it can determine the appropriateness of the height, scale, location, and form of the second dwelling unit.

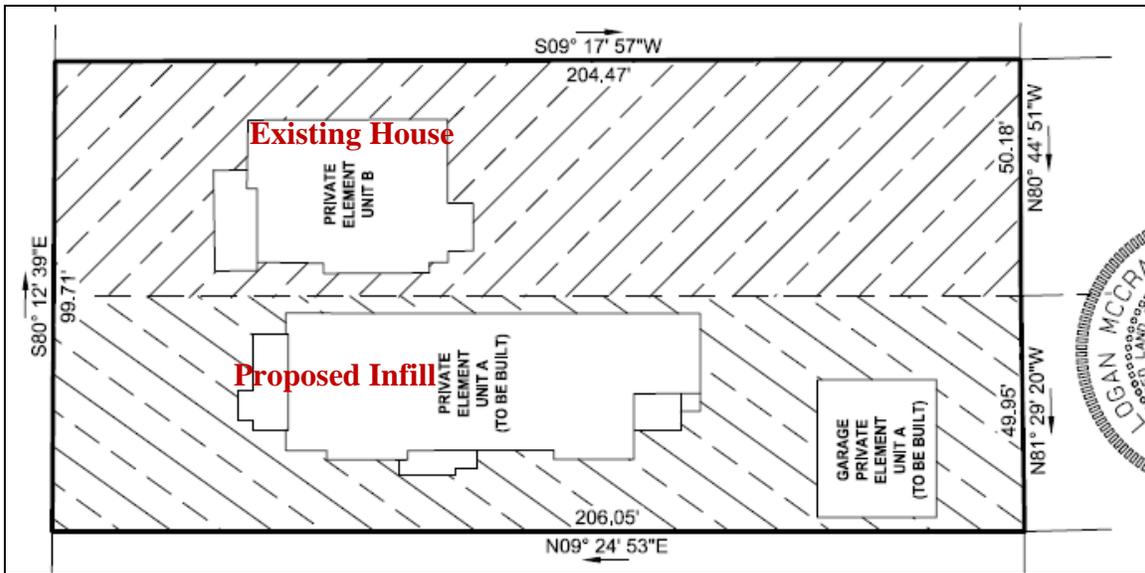


Figure 2. The HPR filed for the new development

Analysis and Findings: Application is to construct infill and an outbuilding. The infill and outbuilding will be constructed on one-half of a one hundred foot (100’) wide lot. There is another house on the lot, and the two houses will remain unconnected.

Setback & Rhythm of Spacing: The proposed infill will be a side-by-side, unattached duplex, as it will be a second dwelling unit on the lot. MHZC typically does not allow for detached side by side duplexes, as they typically result in narrow houses that do not meet the historic context. In this case, staff finds that the proposed detached second house on the lot does meet the historic context and the rhythm of spacing along the street. As the “Vicinity Map” shows, there are several fifty foot (50’) wide lots on both sides of this block of McChesney Avenue. Constructing a new house adjacent to the existing house will result in two houses on what appear to be two fifty-foot (50’) wide lots, which meets the historic context.

The two houses on the lot will be separated by eight feet (8’). Staff’s analyzed the distance between houses on this street that are on fifty-foot (50’) wide lots like this one. Staff found these houses are between eight and nineteen feet (8’-19’) apart, with the approximate average being a distance of fifteen feet (15’). There are two houses across the street that are approximately eight feet (8’) apart, as is proposed for this site. The new infill is shifted close to the existing house in order to allow for a driveway on the right side of the property line. Staff recommends that the infill be shifted a minimum of two feet (2’) to the right so that there is a minimum of ten feet (10’) in between the two

houses. This will situate that house five feet (5') from the HPR line. If the HPR line were a side property line, then base zoning would require a five foot (5') side setback.

The infill's front setback will match that of the existing house on the lot. The front wall of the infill will line up with the front wall of the existing house. The new infill will be approximately twelve feet (12') from the right side property line, and will be approximately seventy-six feet (76') from the rear property line. These meet the base zoning setbacks.

With the condition that the infill be situated a minimum of ten feet (10') from the existing house, staff finds that the project's setback and rhythm of spacing meet Section III.C. of the Inglewood Place Neighborhood Conservation Zoning Overlay design guidelines.

Height & Scale: The proposed infill is one story, with an eave height ranging from nine foot (9'6") to eleven feet (11') above grade and a ridge height of twenty feet, six inches (20'6") above grade. Staff finds that the height and scale meet the immediate context where houses are largely one and one-half stories with heights ranging from fifteen to twenty-five feet (15'-25'). The existing house on the lot has an eave height of approximately ten feet (10') and ridge height of approximately twenty-three feet (23'). The proposed infill is therefore in keeping with the height of the neighboring house on the lot. The foundation height will range from one to two feet (1'-2'), due to the slope. Staff recommends approval of the finished floor height to ensure it is compatible with the finished floor height of the existing house on the lot.

The house will be twenty-eight feet (28') wide at the front. It will expand to a thirty foot (30') width. A covered side entrance on the right side will bring the maximum width of the house to thirty-three feet, six inches (33'6"). By comparison, the existing house on the lot is thirty-feet (30') wide at the front, with a maximum width of thirty-two feet (32'). Staff finds that the proposed width meets the historic context. The infill will have a depth of eighty-seven feet (87'), not including an eight foot (8') deep front porch. The total footprint of the house will be approximately two thousand, five hundred and fifty square feet (2,550 sq. ft.).

Staff finds that the project's height and scale meet Sections III.A. and III.B. of the Inglewood Place Neighborhood Conservation Zoning Overlay design guidelines.

Materials:

	Proposed	Color/Texture/Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Concrete Block	Split Face	Yes	No
Cladding	5" cement fiberboard lap siding	Smooth	Yes	No

Secondary Cladding	Cement fiberboard Board-and-batten	Smooth face	Yes	No
Roofing	Architectural Fiberglass Shingles	Unknown	Yes	Yes
Trim	Composite wood	Smooth faced	Yes	No
Front and Side Porch floor/steps	Concrete	Natural Color	Yes	No
Front and Side Porch Column Base/Wall	Brick	Unknown	Yes	Yes
Front and Side porch Columns	Wood	Typical	Yes	No
Front and Side Porch Railing	Not indicated	Unknown	Unknown	Yes
Rear Porch floor/steps	Wood	Typical	Yes	No
Rear Porch Posts	Wood	Typical	Yes	No
Rear Porch Railing	Wood	Typical	Yes	No
Windows	Wood with Simulated Divided Lights	Unknown	Unknown	yes
Principle Entrance	¾ Lights, wood	Unknown	Unknown	yes
Side/rear doors	Not indicated	Unknown	Unknown	Yes
Driveway	Concrete	Typical	Yes	No
Walkway	Concrete	Typical	Yes	No

Staff recommends final approval be obtained for the roof color and texture, a brick sample, the porch railing material and design, and all final window and door selections. With staff's approval of all final material choices, staff finds that the project's materials meet Section III.D. of the Inglewood Place Neighborhood Conservation Zoning Overlay design guidelines.

Roof form: The primary roof form is a front-facing gable with a 7/12 pitch. The right façade contains a cross gable, a side entry porch, and a rear screened porch, all with a

6/12 gable form. Staff finds that the proposed roof forms are compatible with the historic Inglewood Place neighborhood and meet Section III.E. of the Inglewood Place Neighborhood Conservation Zoning Overlay design guidelines.

Orientation: The infill is oriented to face McChesney, which is appropriate. The primary entrance is behind a partial-width, eight foot (8') deep front porch. The right façade contains a secondary side entrance, behind a covered, five foot (5') deep porch. Staff finds that the side entrance will read as a secondary entrance and will not affect the house's orientation towards McChesney. A front walkway will lead from the street to the front porch. The site lacks an alley, so vehicular access will be via a new curb cut and driveway to the right of the house. The driveway will extend to the rear yard. Staff finds that the project's orientation meets Section III.F. of the Inglewood Place Neighborhood Conservation Zoning Overlay design guidelines.

Proportion and Rhythm of Openings: The windows on the proposed infill are all twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large expanses of wall space without a window or door opening. Staff finds the project's proportion and rhythm of openings meet Section III.G. of the Inglewood Place Neighborhood Conservation Zoning Overlay design guidelines.

Appurtenances & Utilities: A new curb cut and driveway will be created on the right side, which is appropriate since there is no alley access and driveways are common on this street and in the Inglewood Place neighborhood. The location of the HVAC and other utilities was not noted. Staff recommends that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house.

Outbuildings: The project includes a one-story outbuilding. The outbuilding will not be used as Detached Accessory Dwelling Unit (DADU).

Roof Shape:

Proposed Element	Proposed Form	Typical of district?
Primary form	Side Gable	Yes
Primary roof slope	7/12	Yes

Since the roof form and slope are similar to historic outbuildings, staff finds that the outbuilding meets Section III.H.3 of the design guidelines.

Design Standards: The accessory structure has a simple, utilitarian design that is appropriate for outbuildings. Its roof form, detailing, and form do not contrast greatly with the primary structure. The outbuilding is in a minimally-visible at the rear of the lot. Staff finds that the outbuilding's design meets section III.H.2 of the design guidelines.

Materials:

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood
Foundation	Concrete Block	Split Face	Yes
Cladding	Wood	Smooth, 4”	Yes
Roofing	Architectural Fiberglass Shingles	Unknown	Yes
Trim	Composite Wood	Smooth	Yes
Driveway	Concrete	Typical	Yes
Windows	Wood with Simulated Divided Lights	Unknown	Yes
Pedestrian Door	Wood	Unknown	Yes
Vehicular Door	Steel	Unknown	Yes

With the staff’s final approval of the windows and doors and roof shingle color, staff finds that the known materials meet Section III.H. of the design guidelines.

General requirements for Outbuildings:

The answer to each of these questions must be “yes” for either an outbuilding or a DADU.

	YES	NO
If there are stairs, are they enclosed?	N/A	
If a corner lot, are the design and materials similar to the principle building?	N/A	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	N/A	
If dormers are used, do they sit back from the wall below by at least 2’?	N/A	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	Yes	
Is the building located towards the rear of the lot?	Yes	

Staff finds that the outbuilding meets Section III.H. of the design guidelines.

Site Planning & Setbacks: The outbuilding will have a footprint less than seven hundred square feet (700 sq. ft.) and will have garage doors that face the street, not an alley.

	Minimum	Proposed
Rear Setback	3'	19'
Right Side Setback	3'	3'
Left Side Setback	3'	68' from property line; 18' from the HPR line
Distance between house and DADU	20'	32'

Staff finds that the proposed setbacks and location of the outbuilding meet Section III.H. of the design guidelines.

	MINIMUM	PROPOSED
How is the building accessed?	From the alley or existing curb cut	New curb cut*
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	Two-bay	yes

*Because there is no alley, and because curb cuts and driveways from the street are common on McChesney Avenue and much of the Inglewood Place Neighborhood Conservation Zoning Overlay, staff finds the new curb cut to be appropriate.

Massing Planning:

	Potential maximums (heights to be measured from grade)	Existing conditions (height of historic portion of the home to be measured from finished floor)	Proposed
Ridge Height	25' or height of primary structure, whichever is less	20'6"	16'11"
Eave Height	10' or less than primary structure eave height	10'3"	7'6"

Proposed	50% of first floor area of principle structure	Lot is less than 10,000 square feet	Proposed
Maximum Square Footage	1,275 sq. ft.	750 sq. ft.	685 sq. ft.

Staff finds the proposed outbuilding meets Section III.H. of the Inglewood Place design guidelines.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. There be a minimum of ten feet (10') in between the infill and the existing house on the lot;
2. The finished floor height be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
3. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
4. Staff approve a brick sample;
5. Staff approve the materials and design of the porch railings;
6. Staff approve the roof shingle color and texture; and
7. The HVAC shall be located behind the house or on either side, beyond the mid-point of the house.

With these conditions, staff finds that the project meets Section III of the Inglewood Place Neighborhood Conservation Zoning Overlay design guidelines.

The Commission does not have the authority to approve the use. This recommendation is for the design of the buildings based on the proposed use.

Context Photos:



Lot at 1212 McChesney. The existing house is behind the tree, and to the right is where the infill is proposed to be constructed.



1212 McChesney (right) and houses to its left.



Houses across the street



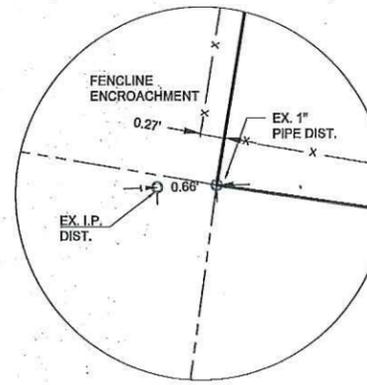
Additional houses across the street.



VICINITY MAP
(NOT TO SCALE)

BOUNDARY AND TOPOGRAPHIC SURVEY

OF THE SYLVIA R. MOBLEY PROPERTY
 AS RECORDED IN OFFICIAL DOCUMENT 7109-66
 REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE
 TAX MAP PARCEL 07203013300
 1212 MCCHESENEY AVE., NASHVILLE, TN 37216
 7TH COUNCIL DISTRICT OF DAVIDSON COUNTY, TENNESSEE
 TOTAL AREA = 20,492.89 SQUARE FEET OR 0.47 ACRES, MORE OR LESS
 ZONE:RS 7.5 DATE: 04-27-17



DETAIL NOT
TO SCALE



SITE LEGEND	
---	BOUNDARY LINE
- - -	ADJOINING BOUNDARY LINE
X	FENCE
G	UNDERGROUND GAS LINE
W	WATER LINE
P	OVERHEAD UTILITY LINE
ELEV.	CONTOUR LINE INDEX
ELEV.	CONTOUR LINE INTERVAL
SA	MINIMUM BUILDING SETBACK LINE
SA	SANITARY SEWER LINE (SIZE AND TYPE AS INDICATED)
SA	ROADWAY CENTER LINE
SA	EDGE OF PAVEMENT
SAS	SANITARY SEWER PER GIS
[Hatched]	BUILDING
[Dotted]	ASPHALT
[Cross-hatched]	CONCRETE
[Stippled]	GRAVEL
[Circle with cross]	FIRE HYDRANT
[Square with cross]	WATER METER
[Square with G]	GAS METER
[Circle with cross]	BENCHMARK
[Circle with W]	WATER VALVE
[Circle with E]	ELECTRIC METER
[Circle with U]	UTILITY POLE
[Circle with H]	MAILBOX
[Circle with U and L]	UTILITY POLE WITH LIGHT
[Circle with S]	SANITARY SEWER MANHOLE
[Circle with O]	MONUMENT FOUND (SIZE AND TYPE AS INDICATED)
[Circle with R]	MONUMENT SET (1/2" REBAR CAPPED 'DBS & ASSOC.')

N.A.D. = NORTH AMERICAN DATUM
 N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
 F.F.E. = FINISHED FLOOR ELEVATION
 MBSL = MINIMUM BUILDING SETBACK LINE
 RW = RIGHT OF WAY
 SAS = SANITARY SEWER
 TC = TOP OF CASTING
 IE = INVERT ELEVATION
 RODCT = REGISTER OFFICE OF DAVIDSON COUNTY, TENNESSEE
 RLS = REGISTERED LAND SURVEYOR
 POB = POINT OF BEGINNING
 DOC = DOCUMENT
 ELEV = ELEVATION
 GIS = GEOGRAPHIC INFORMATION SYSTEM

SURVEYOR'S NOTES

A TITLE COMMITMENT SEARCH WAS NOT FURNISHED AT TIME OF SURVEY, THEREFORE THIS SURVEY IS SUBJECT TO AN ACCURATE TITLE COMMITMENT SEARCH.

BEARINGS AND DISTANCES TAKE PRECEDENCE OVER SCALE

SETBACKS ARE AS PER ZONING, PROPERTY IS ZONED AS "RS 7.5". PROPERTY IS ALSO SUBJECT TO AN OVERLAY DISTRICT (OV-NH), BEFORE CONSTRUCTION PLEASE REVIEW TO LOCAL PLANNING OFFICE.

PROPERTY IS SUBJECT TO COVENANTS, EASEMENTS, RIGHTS OF WAY AND RESTRICTIONS OF RECORD AND NOT OF RECORD.

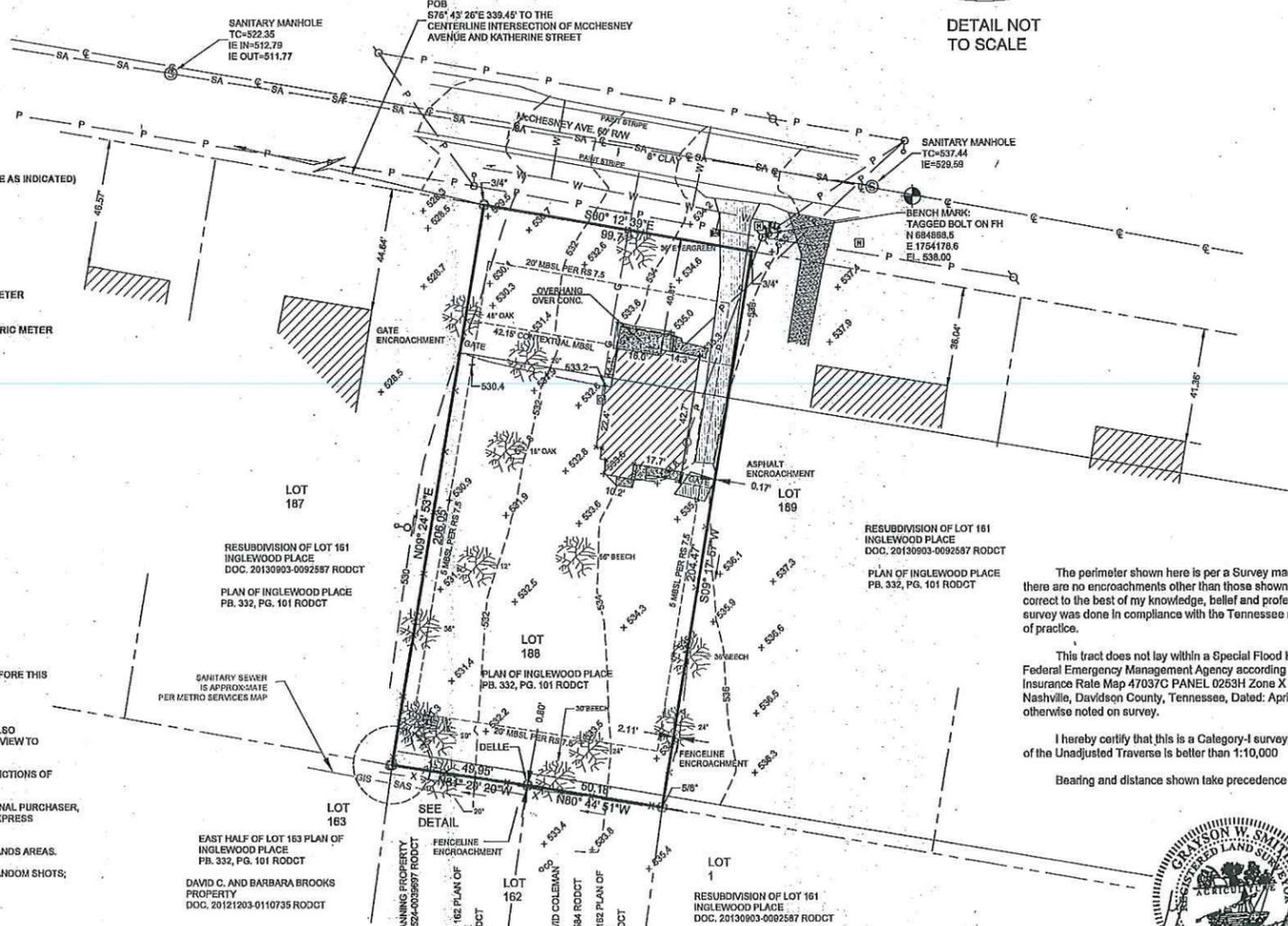
THE SURVEYOR'S LIABILITY FOR THIS DOCUMENT SHALL BE LIMITED TO THE ORIGINAL PURCHASER, AND DOES NOT EXTEND TO ANY UNARMED PERSONS OR ENTITIES WITHOUT AN EXPRESS RE-CERTIFICATION BY THE SURVEYOR WHOSE NAME APPEARS HEREON.

THIS SURVEY DOES NOT ADDRESS THE EXISTENCE OR NON-EXISTENCE OF WETLANDS AREAS.

TOPOGRAPHIC FEATURES WERE DERIVED FROM FIELD MEASUREMENTS USING RANDOM SHOTS; CONTOUR INTERVAL = 2

DISCLAIMER

THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPEARANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THEREFORE, RELIANCE UPON THE TYPE, SIZE, AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION, AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT, THAT TWO INDICES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) THREE OR NO MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR COLLISION. TENNESSEE ONE CALL, 1-800-311-1111.

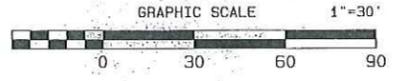


The perimeter shown here is per a Survey made on the ground, there are no encroachments other than those shown, and the survey is correct to the best of my knowledge, belief and professional opinion. This survey was done in compliance with the Tennessee minimum standards of practice.

This tract does not lay within a Special Flood Hazard Area of the Federal Emergency Management Agency according to the Flood Insurance Rate Map 47037C PANEL 0253H Zone X of the City of Nashville, Davidson County, Tennessee, Dated: April 6, 2017, unless otherwise noted on survey.

I hereby certify that this is a Category-1 survey, and that the Closure of the Unadjusted Traverse is better than 1:10,000

Bearing and distance shown take precedence over scale.



GRAYSON W. SMITH TN RLS# 3003
 DBS & ASSOCIATES ENGINEERING

95 White Bridge Rd Sulte
 SUITE #250
 Nashville, TN 37205
 Phone (615) 244-2040
 Fax (615) 447-7355
 www.dbsengr.com



BOUNDARY AND TOPOGRAPHIC SURVEY

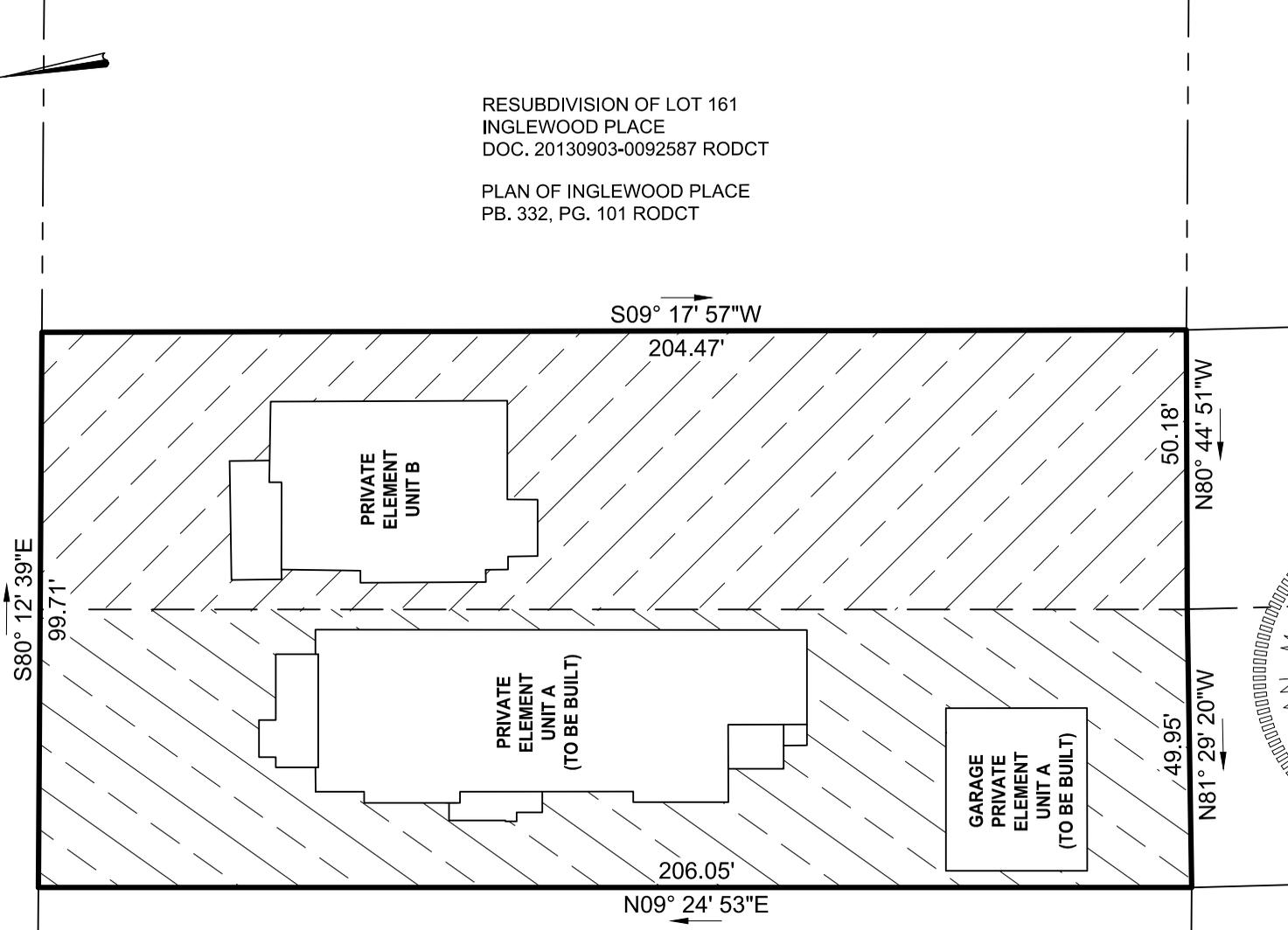
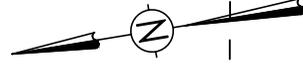
OF THE SYLVIA R. MOBLEY PROPERTY
 AS RECORDED IN OFFICIAL DOCUMENT 7109-66
 REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE
 TAX MAP PARCEL 07203013300
 1212 MCCHESENEY AVE., NASHVILLE, TN 37216
 7TH COUNCIL DISTRICT OF DAVIDSON COUNTY, TENNESSEE
 TOTAL AREA = 20,492.89 SQUARE FEET OR 0.47 ACRES, MORE OR LESS
 ZONE:RS 7.5 DATE: 04-27-17

REVISIONS

DRAWN BY: MW
 CHECKED BY: GS

SHEET
1 OF 1

-  LIMITED COMMON ELEMENT
-  LIMITED COMMON ELEMENT
-  PRIVATE ELEMENT

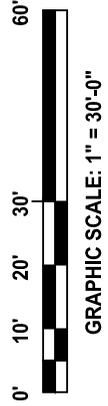


RESUBDIVISION OF LOT 161
 INGLEWOOD PLACE
 DOC. 20130903-0092587 RODCT

PLAN OF INGLEWOOD PLACE
 PB. 332, PG. 101 RODCT

RESUBDIVISION OF LOT 161
 INGLEWOOD PLACE
 DOC. 20130903-0092587 RODCT

PLAN OF INGLEWOOD PLACE
 PB. 332, PG. 101 RODCT



7-7-17

EXHIBIT B A HORIZONTAL PROPERTY REGIME WITH PRIVATE ELEMENTS

SETBACKS:

FRONT CONTEXTUAL
 SETBACK = 42.15'
 (SEE NOTE)
 SIDES = 5'
 REAR = 20'

NOTE:

FRONT/STREET SETBACK PER
 METRO GOVERNMENT OF NASHVILLE
 MUNICIPAL CODES, CHAPTER
 17.12.030, NOTE C(3) PER OR NO.
 BL2007-1426 (AVERAGE SETBACK)

MCCHESENEY GARDEN

NASHVILLE
DAVIDSON COUNTY, TENNESSEE
DATE: 7/7/2017

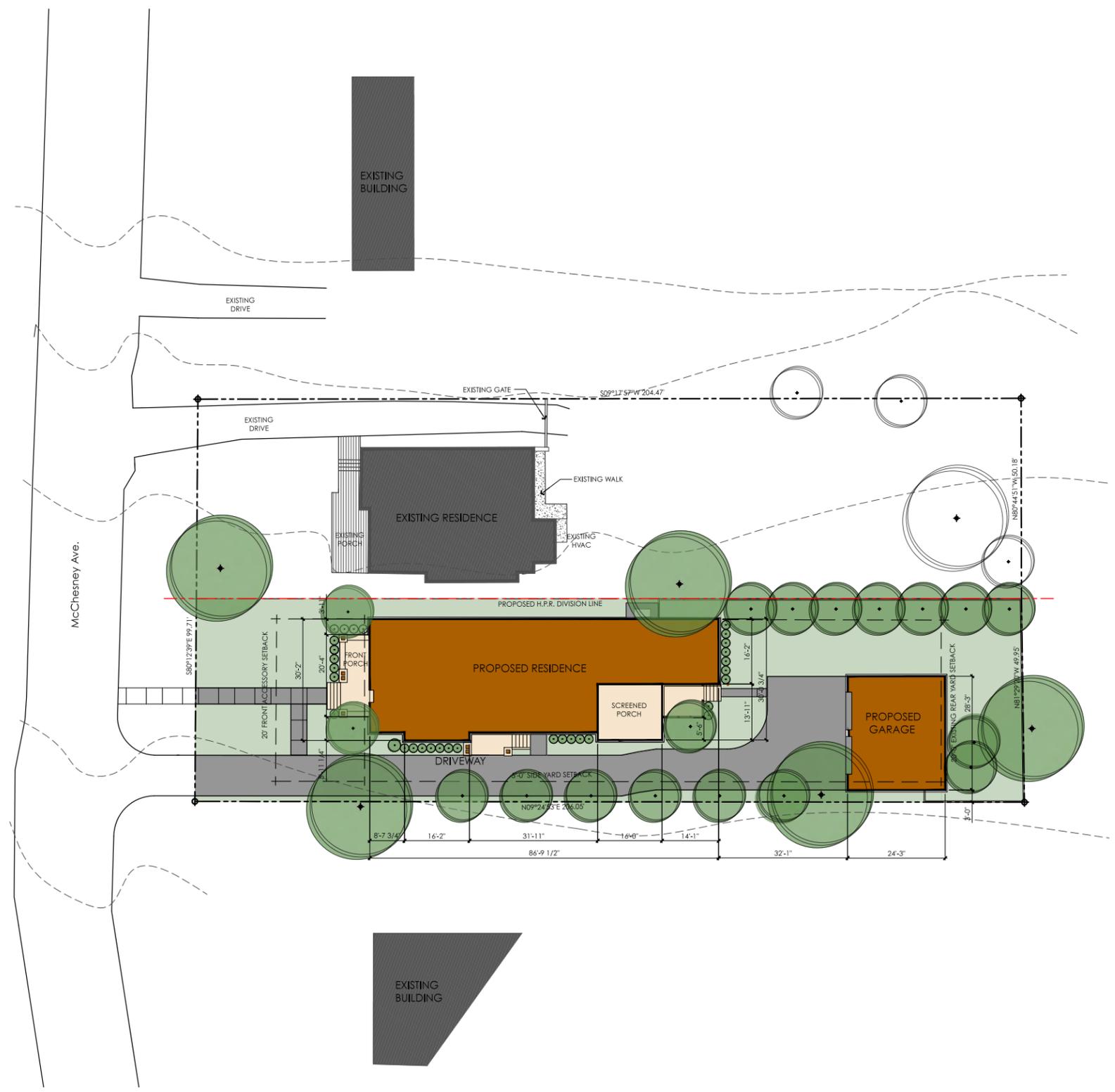
DRAWN BY: WRW
 CHECKED BY: BSC

HPR 1.00



95 White Bridge Rd
 Suite #250
 Nashville, TN 37205
 Phone (615) 244-2040
 www.dbsengr.com
 Fax (615) 647-7195

Engineers • Surveyors • Planners



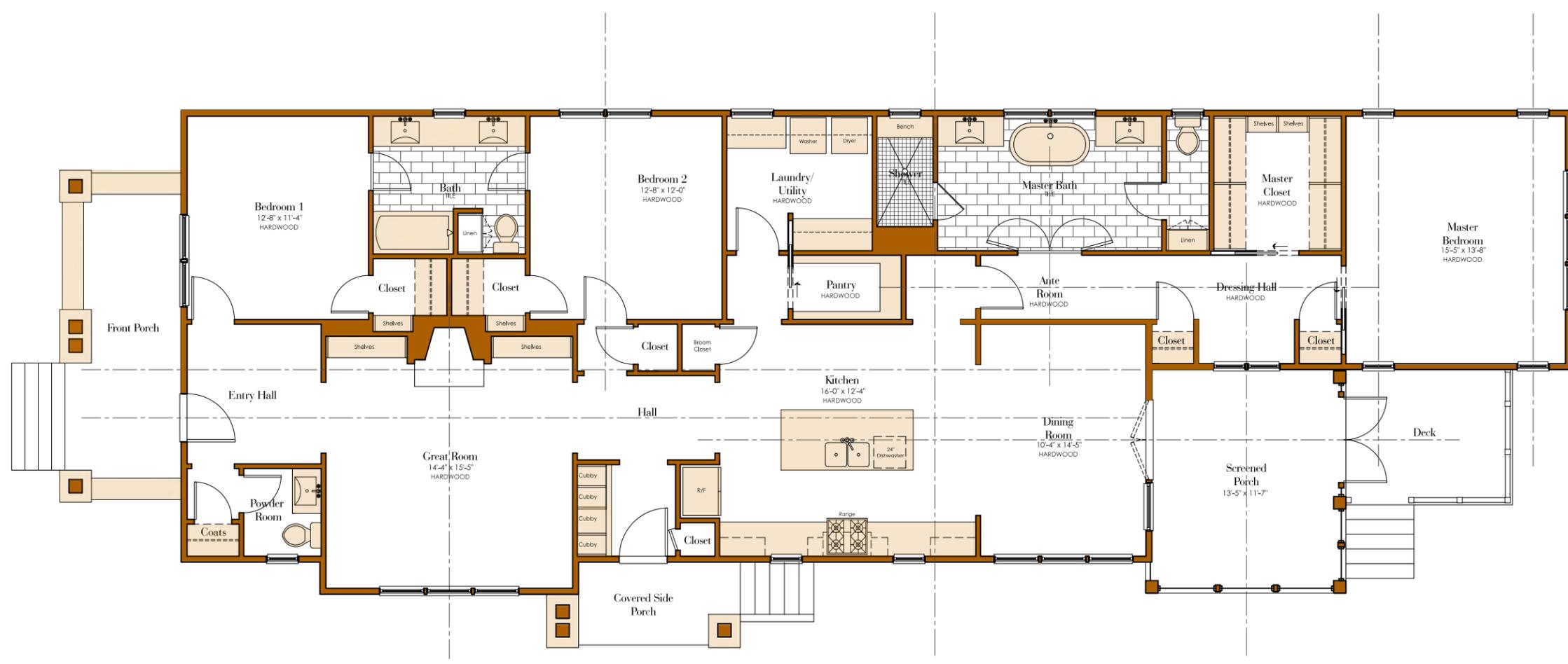
① Proposed Site Plan
 Scale 1/16" = 1'-0"

A New Residence at:
1212 McClesney Avenue
 Nashville, Tennessee 37216

METROPOLITAN HISTORIC ZONING COMMISSION SUBMITTAL

DATE OF ISSUANCE:
 06 July 2017
 PROPOSED SITE PLAN

L1



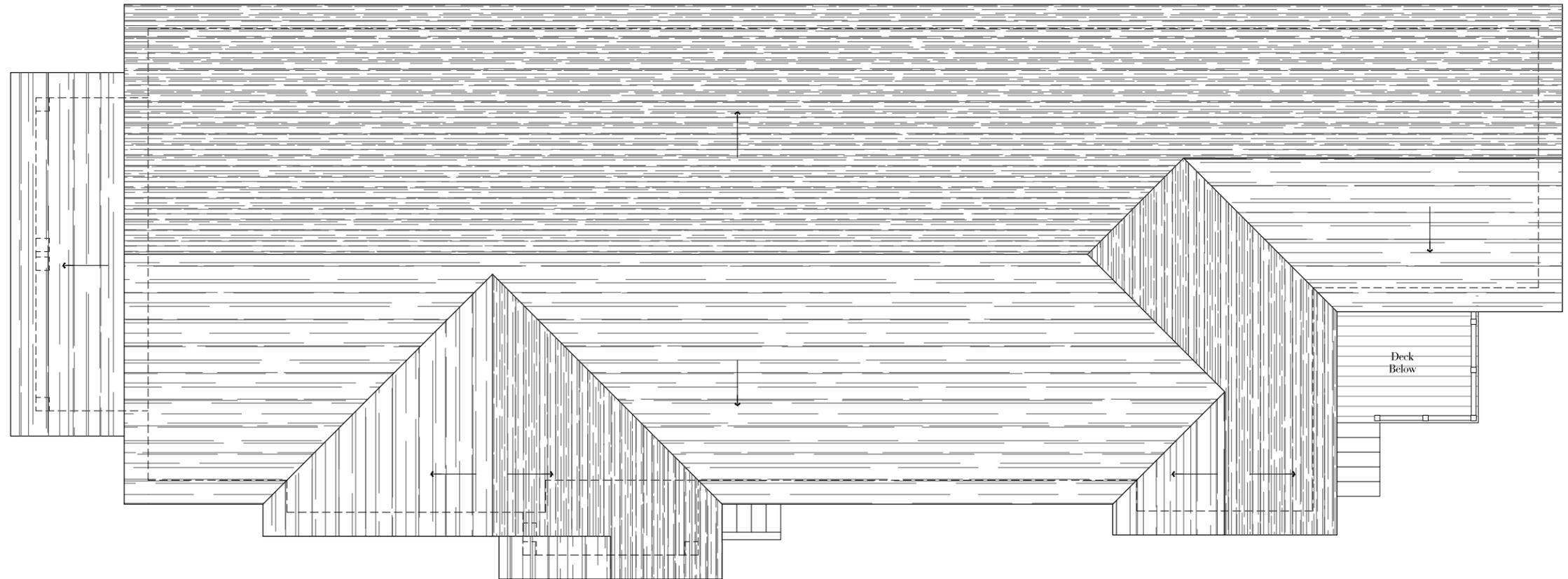
① Proposed Main Floor Plan

A New Residence at:
1212 McChesney Avenue
 Nashville, Tennessee 37216

METROPOLITAN HISTORIC ZONING COMMISSION SUBMITTAL

DATE OF ISSUANCE:
 06 July 2017
 PROPOSED FLOOR PLANS

A1



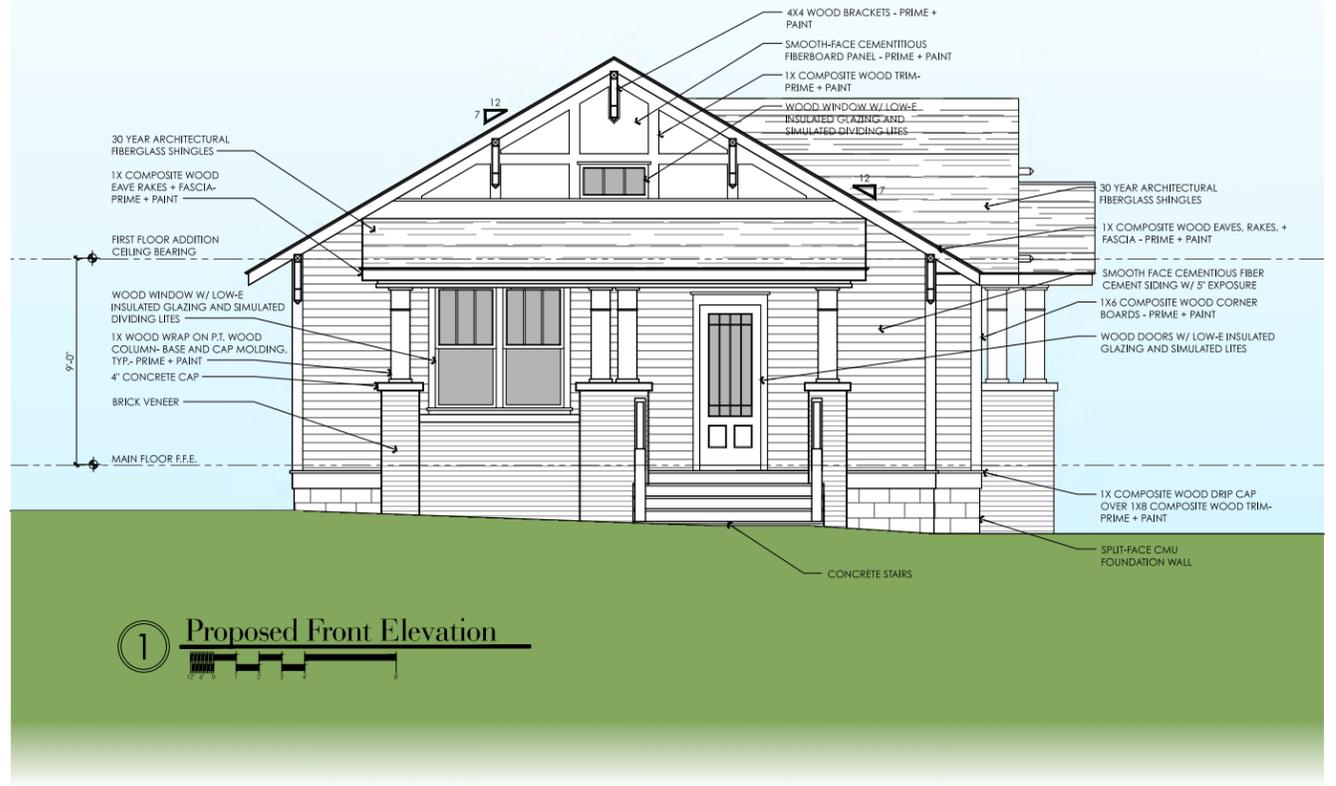
① Proposed Roof Plan

A New Residence at:
1212 McChesney Avenue
Nashville, Tennessee 37216

METROPOLITAN HISTORIC ZONING COMMISSION SUBMITTAL

DATE OF ISSUANCE:
06 July 2017
PROPOSED FLOOR PLANS

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1 Proposed Front Elevation



2 Proposed Side Elevation

A New Residence at:
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METROPOLITAN HISTORIC ZONING COMMISSION SUBMITTAL

DATE OF ISSUANCE:
 06 July 2017
 PROPOSED ELEVATIONS

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① Proposed Rear Elevation



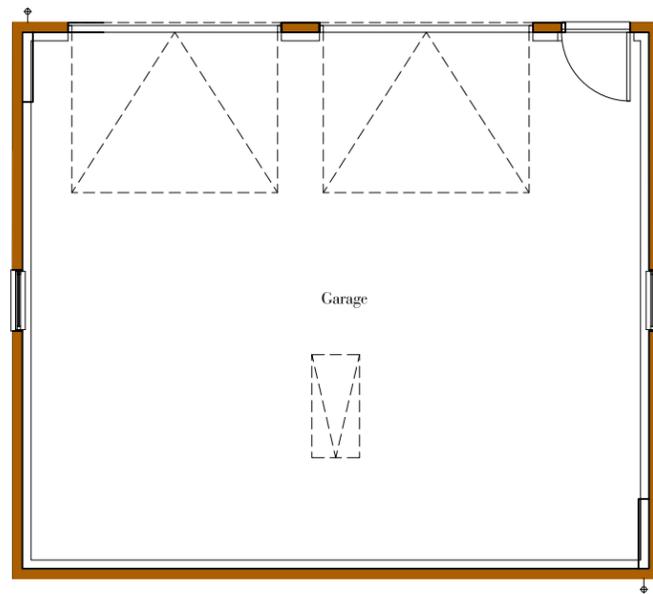
② Proposed Side Elevation

A New Residence at:
1212 McChesney Avenue
Nashville, Tennessee 37216

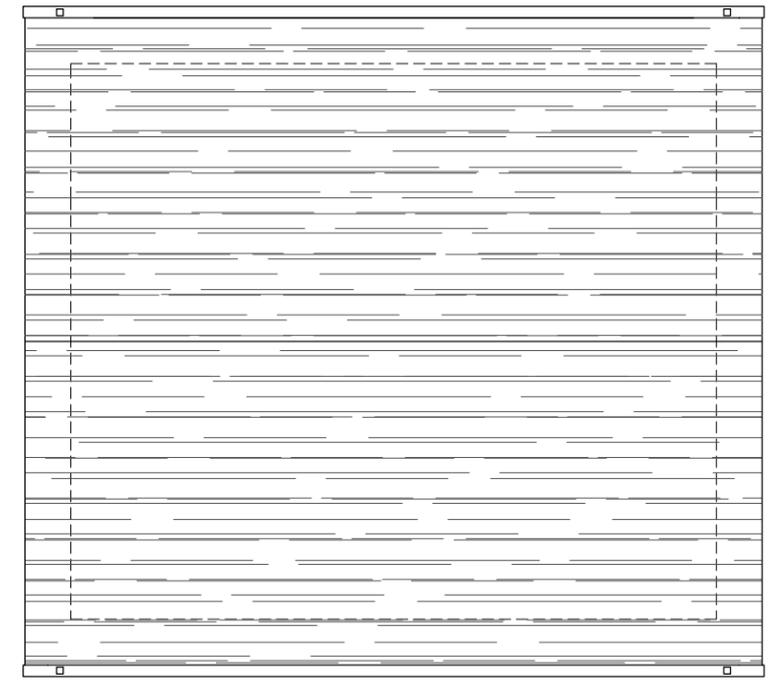
METROPOLITAN HISTORIC ZONING COMMISSION SUBMITTAL

DATE OF ISSUANCE:
06 July 2017

PROPOSED ELEVATIONS

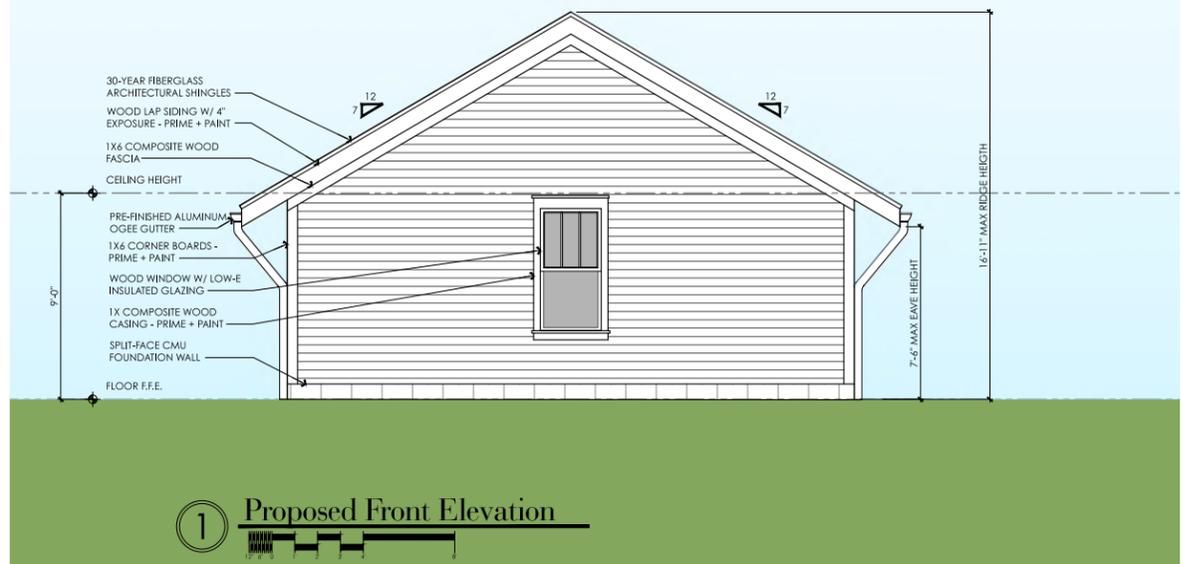


① Proposed Main Floor Plan

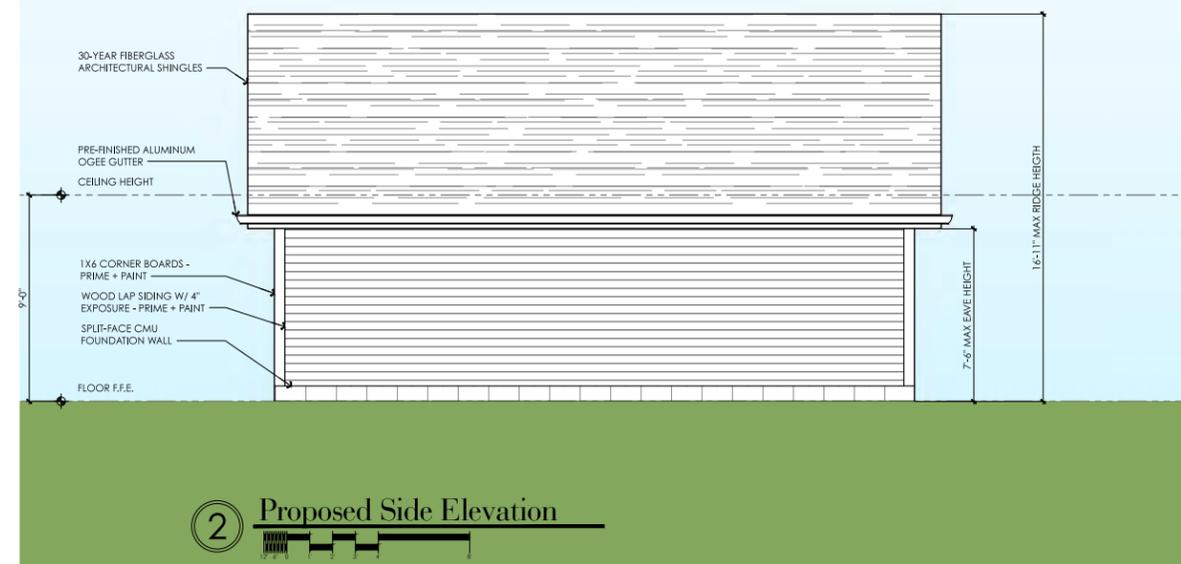


② Proposed Roof Plan

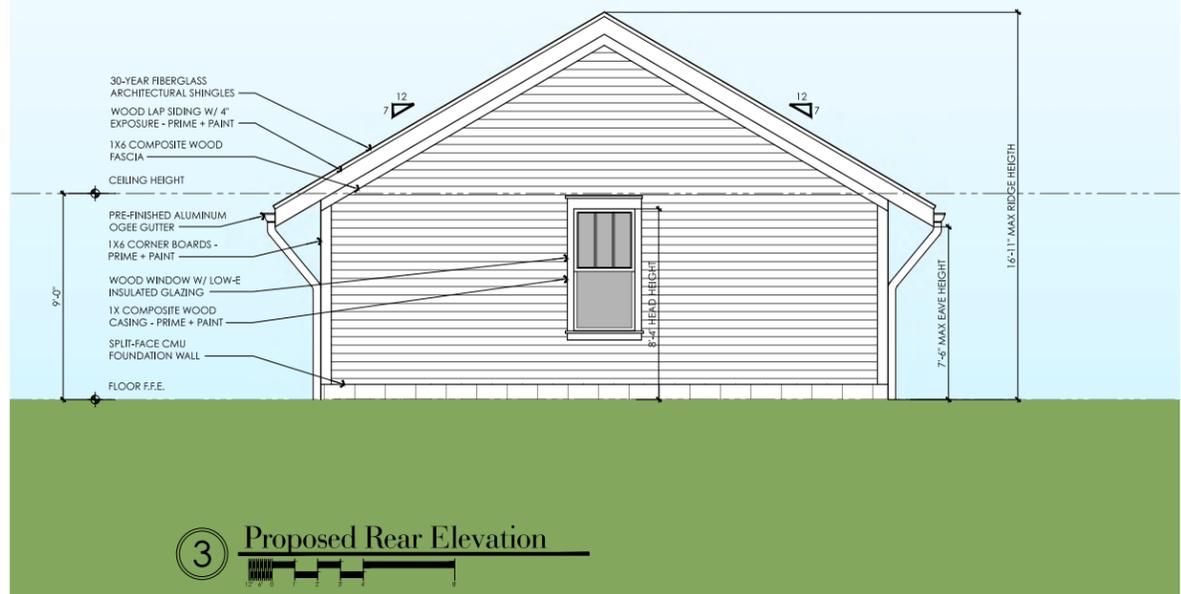
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1 Proposed Front Elevation



2 Proposed Side Elevation



3 Proposed Rear Elevation



4 Proposed Side Elevation

A New Residence at:
1212 McChesney Avenue
Nashville, Tennessee 37216
METROPOLITAN HISTORIC ZONING COMMISSION SUBMITTAL

DATE OF ISSUANCE:
06 July 2017
PROPOSED GARAGE ELEVATIONS