

MEGAN BARRY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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**STAFF RECOMMENDATION**  
**2204 Belmont Boulevard**  
**June 19, 2017**

**Application:** New construction-outbuilding  
**District:** Belmont-Hillsboro Neighborhood Conservation Zoning Overlay  
**Council District:** 18  
**Map and Parcel Number:** 10416035400  
**Applicant:** Sage Construction, LLC  
**Project Lead:** paul.hoffman@nashville.gov

**Description of Project:** Application to construct an outbuilding behind the principal building on this RM-20 zoned lot.

**Recommendation Summary:** Staff recommends approval of the proposed outbuilding with the conditions:

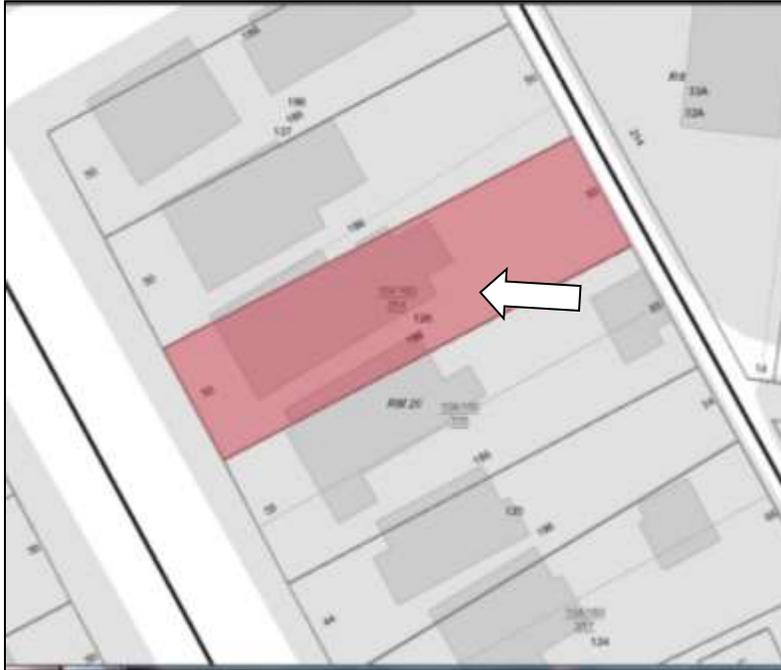
1. The cladding, windows, doors, steps and planter box materials are approved prior to purchase and installation.
2. Stairs shall be enclosed.

Staff finds that the outbuilding meets Section II.B.i. of the design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.

**Attachments**

- A:** Photographs
- B:** Site Plan
- C:** Elevations
- D:** Floor Plans

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### II.B. New Construction

#### i. Outbuildings

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that have are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

#### *Outbuildings: Height & Scale*

- On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

#### *Outbuildings: Character, Materials and Details*

- Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

#### *Outbuildings: Roof*

- Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

#### *Outbuildings: Windows and Doors*

- Publicly visible windows should be appropriate to the style of the house.*
- Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

#### *Outbuildings: Siding and Trim*

- Brick, weatherboard, and board-and-batten are typical siding materials.
  - Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
  - Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
  - Stud wall lumber and embossed wood grain are prohibited.
  - Four inch (4" nominal) cornerboards and casings around doors, windows, and vents within clapboard walls is required. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

*Setbacks & Site Requirements.*

· *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*

· *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*

· *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*

· *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

*Driveway Access.*

· *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*

· *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

*Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*



Figure 1. 2204 Belmont Blvd

**Background:** 2204 Belmont Boulevard is a brick bungalow that was built circa 1915 (Figure 1) and is a contributing building in the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay. The site is zoned RM20; therefore it is permitted four residential units on the lot by Code.

**Analysis and Findings:** The request is to construct an outbuilding at the rear of the lot. Although dwelling space is included, Staff reviewed the application as an outbuilding and not a DADU, due to the base zoning.

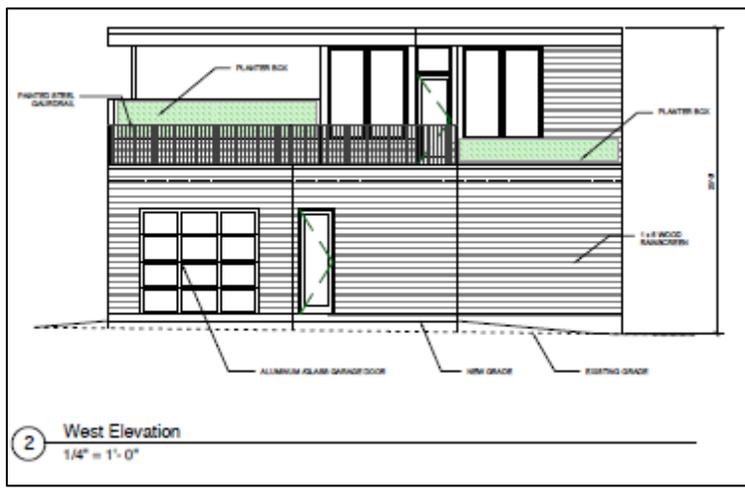


Figure 2. Front elevation of proposed DADU

Design Standards, Roof:

Proposed Element	Proposed Form	Typical of district?
Primary form	Flat	No
Primary roof slope	Flat	Flat

The roof form of an outbuilding is not required to match that of the house, but should have at least 4/12 pitch, according to the design guidelines. Nevertheless, flat roofed forms have been approved in the past when the building is minimally visible from the street and the overall height and massing is appropriate as the guidelines also allow for outbuildings to have a utilitarian design. Flat roofs are found on utilitarian historic outbuildings.

Materials:

	<b>Proposed</b>	<b>Color/Texture</b>	<b>Approved Previously or Typical of Neighborhood</b>	<b>Requires Additional Review</b>
<b>Foundation</b>	Concrete slab	Natural	Yes	
<b>Primary Cladding</b>	Wood siding	Stained shiplap and board-and-batten	Yes	
<b>Cornice</b>	Not indicated	n/a		
<b>Windows</b>	Aluminum clad	Not indicated	Not indicated	Yes
<b>Pedestrian Door</b>				Yes
<b>Vehicular Doors</b>	Wood for alley doors and aluminum/glass for interior-lot door	Wood door will be stained	Yes	Yes
<b>Railings</b>	Aluminum and glass r	n/a	Yes	
<b>Steps</b>	Not indicated			
<b>Planter Box</b>	Not indicated			
<b>Column</b>	Steel	Painted	No	

Steel columns are not typical of historic outbuildings; however, there is only one column located on the second level that will be partially obscured with a wall. Staff finds it to be appropriate for the modern style of the building and because of its minimal visibility. Staff finds that the project meets Section II.B.i.1 of the design guidelines for materials.

General requirements for outbuildings: The answer to each of these questions must be “yes” for either an outbuilding or a DADU.

	<b>YES</b>	<b>NO</b>
<b>If there are stairs, are they enclosed?</b>		No
<b>If a corner lot, are the design and materials similar to the principle building?</b>	N/A	
<b>If dormers are used, do they cover less than 50% of the roof</b>	N/A	

<b>plane where they are located as measured from side-to-side?</b>		
<b>If dormers are used, do they sit back from the wall below by at least 2'?</b>	N/A	
<b>Is the roof pitch at least 4/12?</b>		No*
<b>If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?</b>	N/A	
<b>Is the building located towards the rear of the lot?</b>	Yes	

- Please see discussion of the roof pitch under roof form.

An exterior stairway was not indicated on the elevations, however the site plan shows exterior stairs on the outbuilding's right side, which would not meet the section on Character, Materials and Details. Staff recommends as a condition of approval that stairs are enclosed.

Site Planning:

	<b>MINIMUM</b>	<b>PROPOSED</b>
<b>Space between principal building and outbuilding</b>	20'	42'
<b>Rear setback</b>	5'	10'
<b>L side setback**</b>	5'	6'
<b>R side setback**</b>	5'	5'
<b>How is the building accessed?</b>	From the alley or existing curb cut	Alley

Staff finds that the project meets Section II.B.i.2 of the design guidelines and 17.16.030.G. 4, 5 and 6 of the ordinance for location and setback.

Massing Planning:

	<b>Existing conditions (height of historic portion of the home to be measured from finished floor)</b>	<b>Potential maximums (heights to be measured from grade)</b>	<b>Proposed (should be the same or less than the lesser number to the left)</b>
<b>Ridge Height</b>	30'	25'	23' 3"
<b>Eave Height</b>	12'-4"	10'	N/A

	<b>Lot is less than 10,000 square feet</b>	<b>50% of first floor area of principal structure</b>	<b>Proposed footprint</b>
<b>Maximum Square Footage</b>	750 sq. ft.	1,079 sq. ft.	746 sq. ft.

The proposed accessory structure has two stories and a contemporary design. Since there is no eave height with a flat roof form, the eave height of the home with the addition of one to two feet (1'-2'); has been used in the past to provide guidance on the appropriate overall height for an outbuilding. In this case, the property is zoned RM allowing for multiple units on what was originally likely a single-family property. In cases like these, the goal is to assure that the secondary building is subordinate to the historic home rather than require the building to meet the standards of a property zoned for one or two-families. Staff finds the building to be subordinate based on the lower overall height and the small footprint. In addition, the second level of the building does not cover the entirety of the building's footprint, further minimizing its impact.

Appurtenances: The plan includes additional alterations such as landscaping, decks, pool and fencing, which are not reviewed for existing buildings in this neighborhood.

**Recommendation Summary:** Staff recommends approval of the proposed outbuilding with the conditions:

1. That stairs are enclosed; and,
2. The cladding, windows, doors, steps and planter box materials are approved prior to purchase and installation.

Staff finds that the outbuilding meets the requirements of Section II.B.i. of the design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.

# A DESIGN STUDY



**PEPPENHORST**  
landscape architecture, LLC

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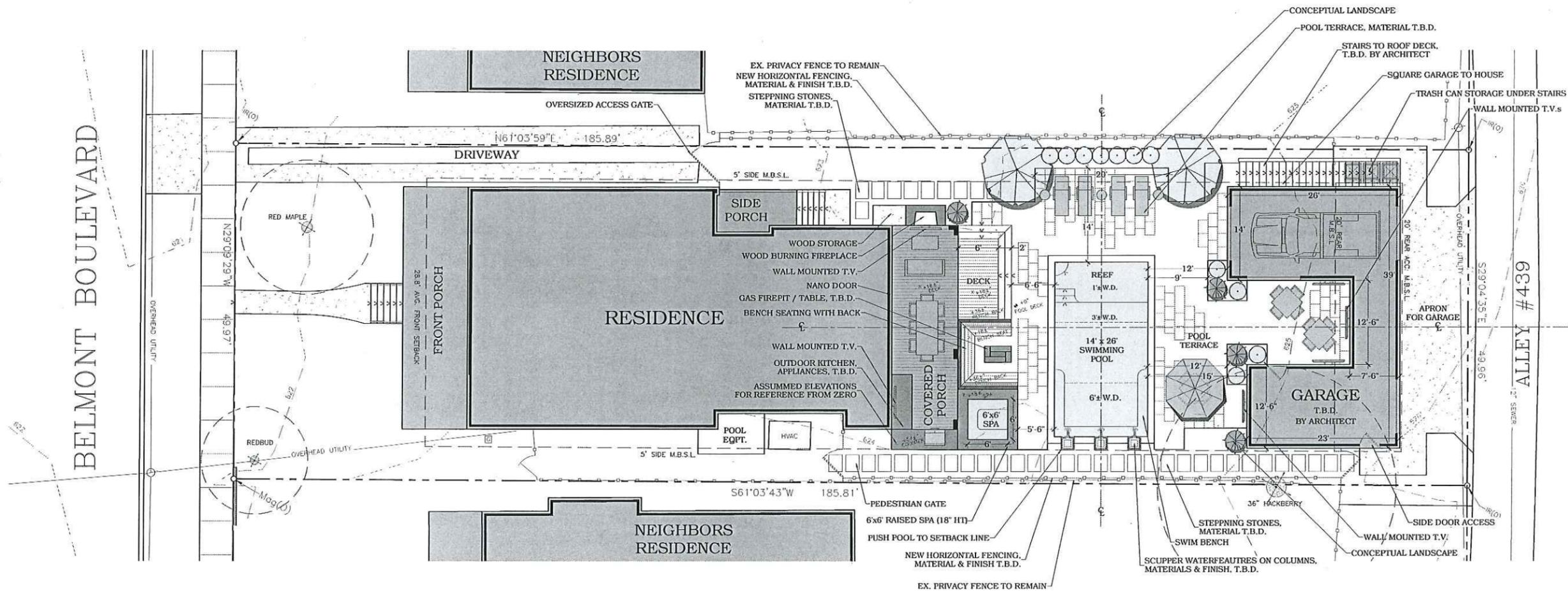
**McLALLEN RESIDENCE**  
2204 BELMONT BOULEVARD  
NASHVILLE, TN 37212

REVISIONS:  
1:6/5/17-PER OWNER  
2:6/8/17-PER OWNER

LANDSCAPE  
MASTER PLAN

DATE: 5/25/2017  
SCALE: 1/8"=1'-0"

**L1**

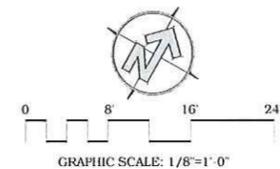


## GENERAL NOTES:

1. PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS BEFORE BEGINNING WORK. THE CONTRACTOR SHALL CONTACT THE STATE UTILITY LOCATION SERVICE OR 811 (1-800-351-1111) AT LEAST 72 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES MADE DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL CONFORM TO ALL CODES AND REGULATIONS AND RECEIVE APPROVAL AND/OR OBTAIN PERMITS FOR ANY CONSTRUCTION AS REQUIRED BY THE GOVERNING JURISDICTIONS OF THE PROJECT. ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS.
3. CONTRACTORS IS RESPONSIBLE FOR FIELD VERIFYING EXISTING SITE CONDITIONS AS WELL AS UNDERSTANDING THE PROPOSED PLAN PRIOR TO PROCEEDING. ANY DISCREPANCIES OR ISSUES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE.
4. PLAN WAS PRODUCED FROM A VARIETY OF RESOURCES SUCH AS SURVEY, FIELD MEASUREMENTS, AND/OR AERIAL PHOTOGRAPHY. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE PLAN BEFORE PROCEEDING. ANY DISCREPANCIES OR ISSUES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE.



Know what's below.  
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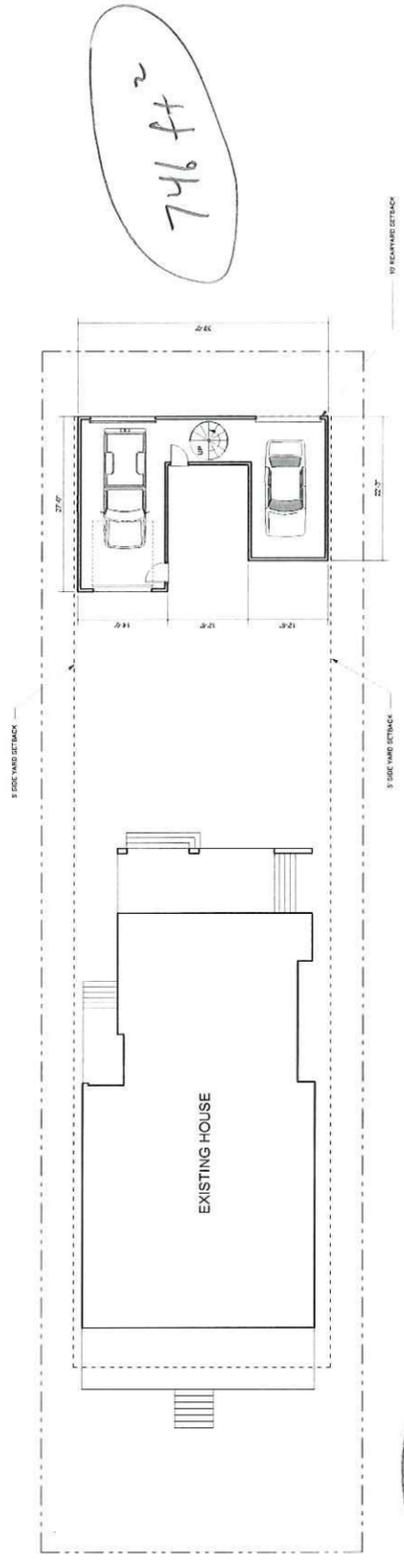


2018  
PLANS

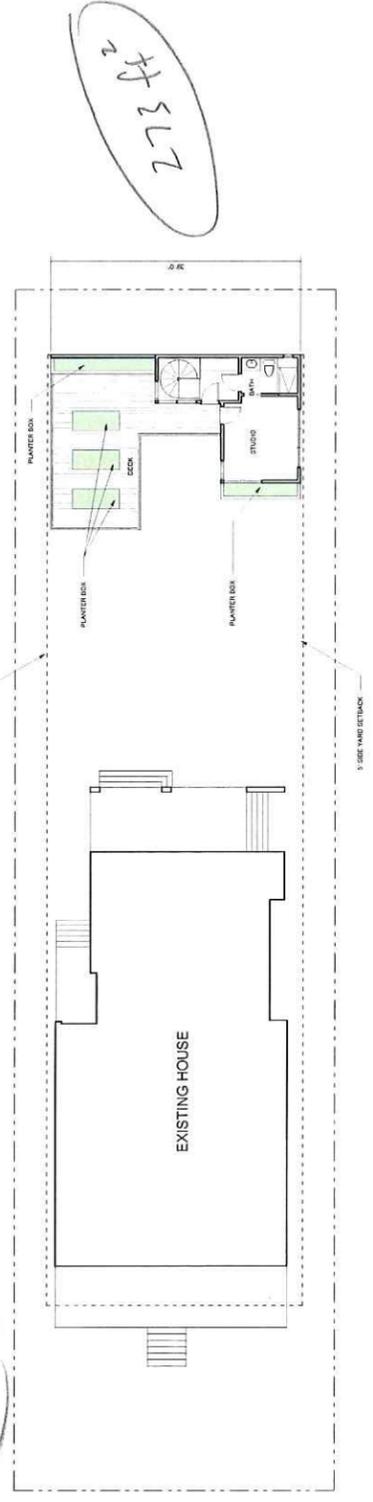
McAllen Garage  
2204 Belmont Boulevard Trail  
Nashville, Tennessee

Michael Folwell Architecture  
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Phone: 720.324.1555 Fax: 303.499.4337  
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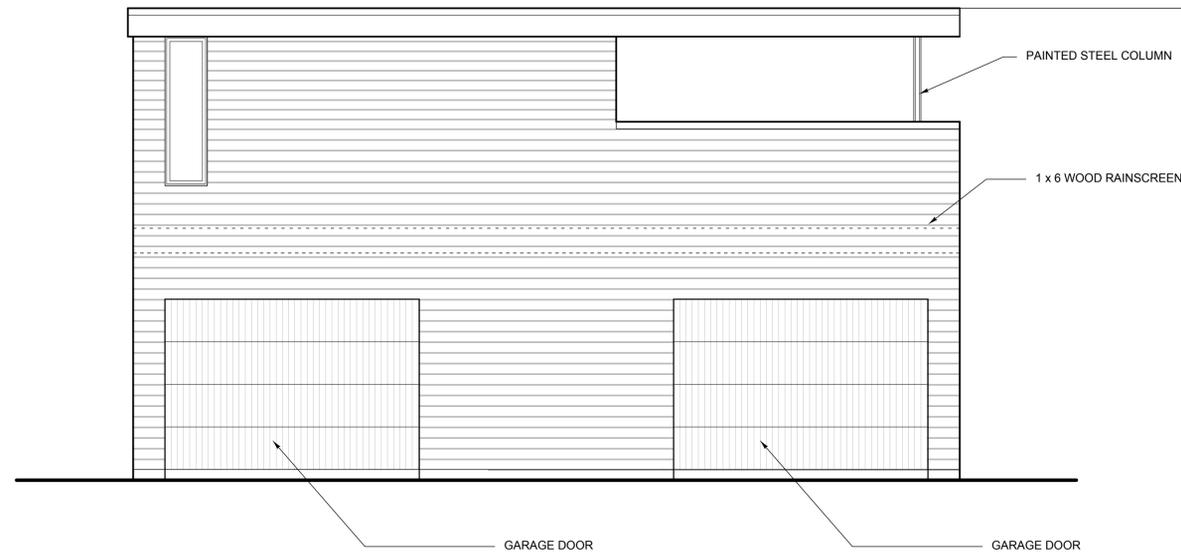
A1.2



1 1st Floor Plan  
1/8" = 1'-0"  
746 Sq. Ft.



2 Second Floor Plan  
1/8" = 1'-0"  
273 Sq. ft.



1 East Elevation  
1/4" = 1'- 0"



3 North Elevation  
1/4" = 1'- 0"



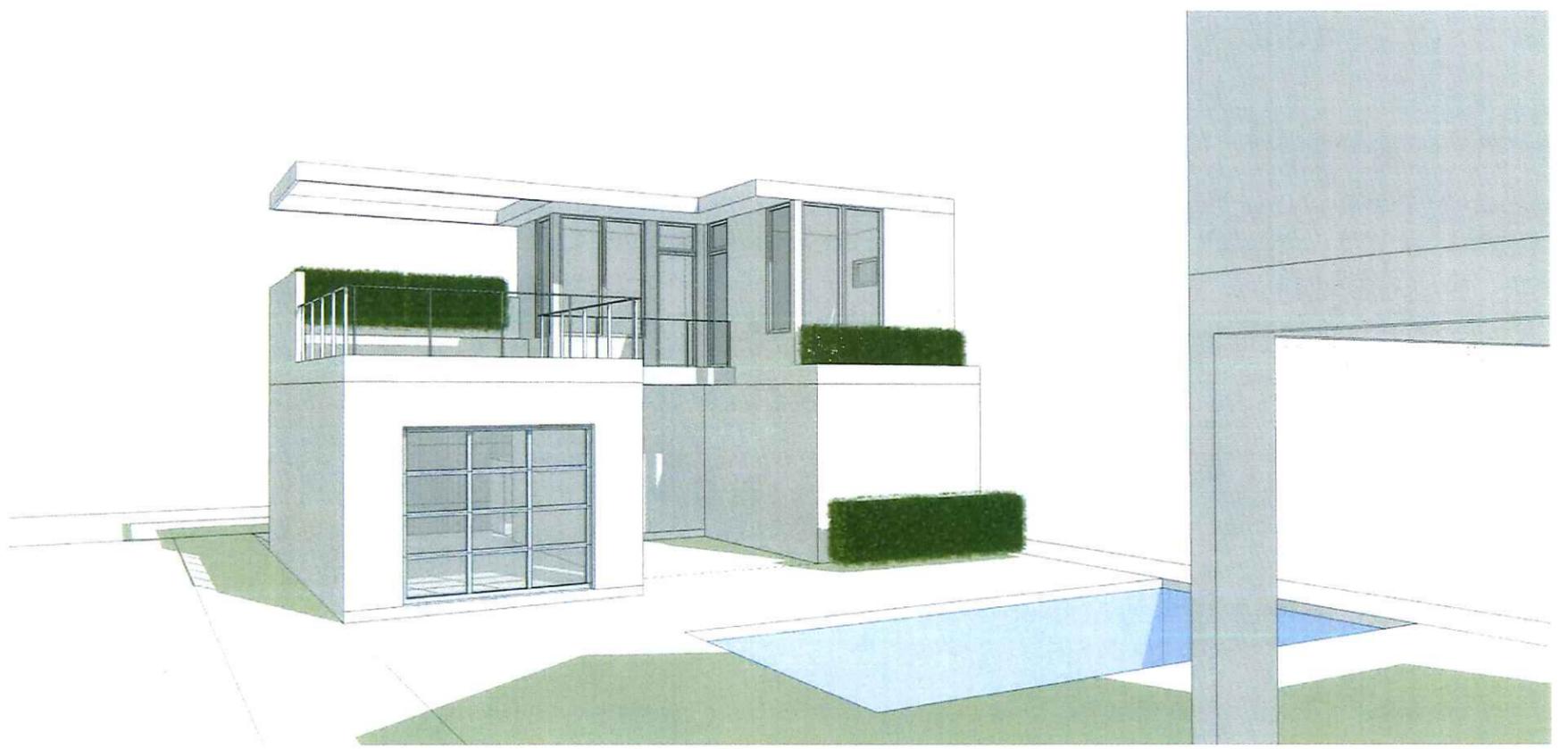
2 West Elevation  
1/4" = 1'- 0"

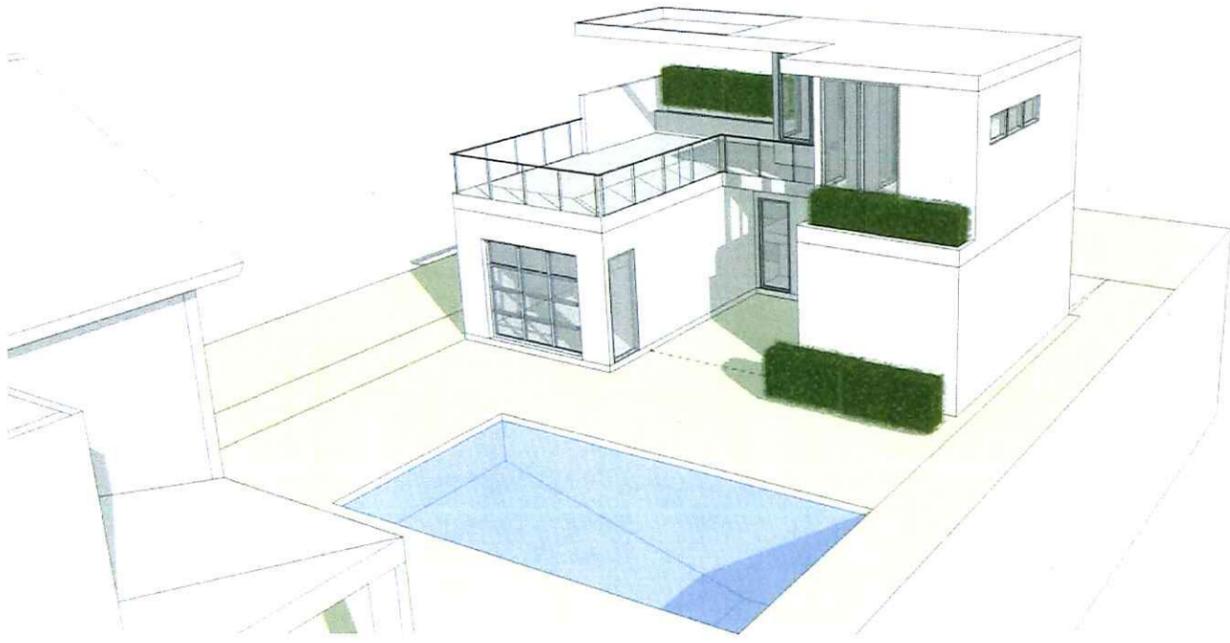


4 South Elevation  
1/4" = 1'- 0"



Rain Screen Example





\* Exterior Finish

- Ship Lap Wood - Stain
- Board & Batten

\* Windows

Aluminum Clad Custom made

\* 12' Garage door - Wood Stain

\* Railings - Aluminum - Glass

