

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

3508 Byron Avenue

July 19, 2017

Application: New construction - addition

District: Elmington Place Neighborhood Conservation Zoning Overlay

Council District: 25

Map and Parcel Number: 10410003000

Applicant: Tyler LeMarinel

Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant proposes to enlarge the house with a one and one-half story rear addition. The addition will include a garage with living space above, connected to the rear of an earlier addition by a narrow, one-story tall hyphen connector.

Recommendation Summary: Staff recommends approval of the proposed addition to 3508 Byron Avenue with the condition that the windows and door selections are approved administratively prior to ordering. With that condition, Staff finds that the proposal would meet the design guidelines for additions in the Elmington Place Neighborhood Conservation Zoning Overlay.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

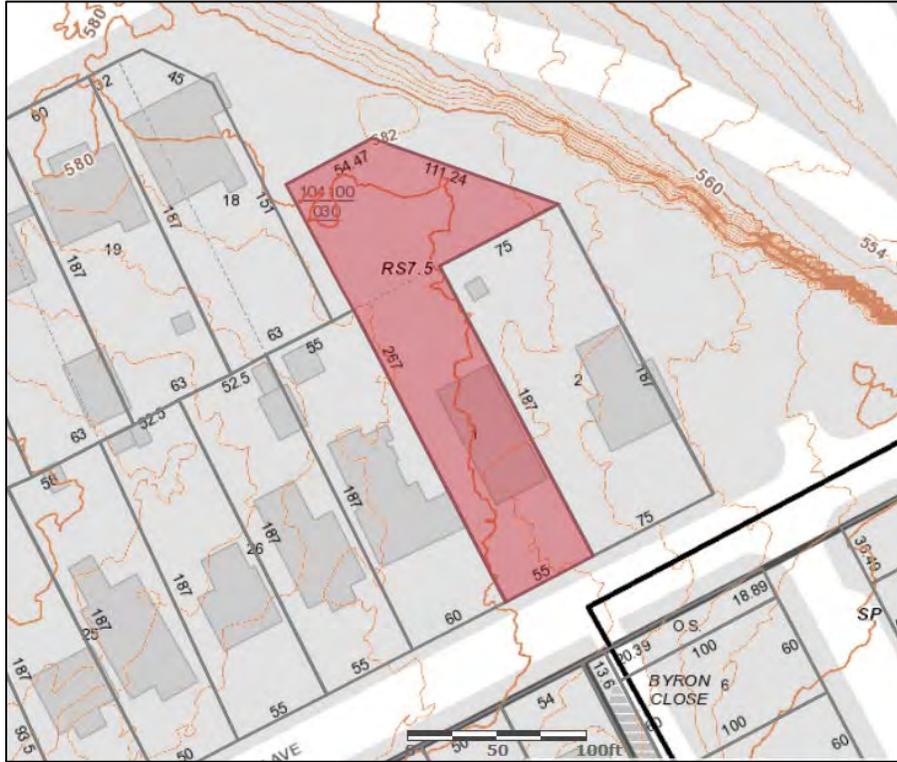
Attachments

A: Photographs

B: Site Plan

C: Floorplans and Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. B. GUIDELINES

2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different exterior cladding. Additions normally not recommended on historic structures may be appropriate for non-historic structures in Hillsboro-West End. Front or side alterations to non-historic buildings that increase habitable space or change exterior height should be compatible, by not contrasting greatly, with the adjacent historic buildings.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

For additions that are tying into the existing roofline, it must be at least 6" below the existing ridge.

In order to assure that an addition has achieved proper scale, the addition should:

- No matter its use, an addition should not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.*
- Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*
- Additions should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*

- An extreme grade change*
- Atypical lot parcel shape or size*

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not be taller and extend wider.

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble

lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

- b. When a lot width exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width, and massing to the historic structure.

Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.

To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form

- c. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that original form and openings on the porch remain visible and undisturbed.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

- d. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

- e. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

- f. Additions should follow the guidelines for new construction.

III.B.1 Demolition is Not Appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

III.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 D of the historic zoning ordinance.

Background: The house at 3508 Byron Avenue is a contributing house, constructed circa 1920. The form of the house resembles a typical side-gabled bungalow, but it has a steeper and taller roof than most houses of that type.



The house has been enlarged previously with a rear addition. The lot itself was also recently enlarged, combined with an irregularly-shaped lot behind it that had been part of the Interstate Highway 440 easement.

Analysis and Findings: The applicant proposes to enlarge the house further with a rear addition.

Demolition: A portion of the rear wall and porch of the existing rear addition will be demolished where the new addition will attach. Because these portions of the house are not original, Staff finds that they do not contribute to the architectural and historical character and significance of the building, and that the partial demolition therefore meets Section III.B.2 for appropriate demolition and does not meet section III.B.1 for inappropriate demolition.

Location & Removability: The addition will be at the rear of the existing building, attaching near the rear-left corner of the existing rear addition. The walls of the new addition will be stepped in three feet (3') and sixteen feet (16') from the existing side walls, and stepped below the existing roof. By attaching in this manner, the addition does not impact the original building and if it were to be removed in the future the original form would be left intact.

Generally, attached garages are inappropriate but staff found this one to be appropriate for several reasons. The addition is differentiated from the existing house with a change in materials, the garage is located in a typical location for historic garages, the roof height and footprint of the connector are minimal, the lot has an unusual shape because it was combined with a flag-lot, the lot backs up to I-440, and the garages doors are stepped back from the side wall of the house by approximately six feet (6').

Staff finds this to be appropriate and to meet sections II.B.2.a and II.B.2.e of the design guidelines.

Design: The design of the addition will complement the historic house, with windows matching the style, rhythm, and proportion of the existing windows and a similar roof form with a matching pitch. The scale of the addition will be subordinate to the existing house and the massing will be distinguished from the original by stepping in from the

side walls. Staff finds that the project is compatible with the existing house and will meet sections II.B.2.d and II.B.2.f of the design guidelines.

Height & Scale: The addition will consist of a twenty-four foot (24') wide by thirty-six foot (36') deep one and one-half story garage with living space above, attached to the house by an eight foot (8') wide by twenty foot (20') deep hyphen. The roof of the hyphen will be seventeen feet (17') tall with a ten foot (10') eave height, and the garage component will have a twenty-five foot (25') tall roof with a matching eave height. The roof of the hyphen will match the pitch of the existing rear gable, stepped in and below so as to be subordinate to the house and have very little impact. The roof of the garage will be eight feet (8') shorter than the gable of the existing rear addition and the roof of the hyphen will be nine feet (9') shorter than the garage.

At the rear of the hyphen component the left side of the garage will step in four feet (4') before continuing to the rear. The right side will step out a total of twenty feet (20') to the right, extending out beyond the side of the existing addition but will still be two feet (2') in from the outside wall of the original building.

Staff finds the height and scale of the proposed addition to be subordinate to the original house and to meet sections section II.B.1.a and II.B.1.b of the design guidelines.

Setback & Rhythm of Spacing: Because the addition is stepped in and clearly differentiated from the original house and located well behind the primary mass, it will not have an impact on the perceived rhythm of spacing between the house and the adjacent houses on either side. The addition will meet the setbacks required by the zoning code for the rear and both sides. Staff finds that the project meets section II.B.1.c of the design guidelines.

Materials:

	Proposed	Color/Texture/Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Concrete Block	Parged	Yes	
Cladding	Cement fiberboard lap siding	Smooth, Match existing reveal	Yes	
Secondary Cladding	Cement-fiber shingle	Match existing	Yes	
Roofing	Architectural Shingles	Match existing	Yes	
Trim	Paulownia (Wood)	Smooth faced	Yes	
Windows	Divided light casements	Needs final approval		X

Doors	Divided light with sidelights	Needs final approval		X
Garage Doors	Panel doors with windows	Needs final approval		X
Driveway	Concrete	Match existing	Yes	

With a condition that the window and door selections are administratively approved, Staff finds that the project will meet section II.B.1.d of the design guidelines.

Roof form: The roofs of the garage and hyphen connector will be gabled with ridges oriented front-to-back. These roofs match the orientation and pitch of the existing rear addition, and are compatible with the original side-gabled roof. On the left side of the garage there will be two shed-roofed wall dormers. Wall dormers are generally not appropriate, but because they are above a wall of the addition that stepped in seven feet (7') from the wall of the original house and set so far to the rear, they will not be visible.

Staff finds the roofs of the proposed addition to be compatible with the existing building and to meet section II.B.1.e of the design guidelines.

Proportion and Rhythm of Openings: With the exception of a door on the rear wall of the existing addition, no changes to the window and door openings on the existing house were indicated on the plans. The windows on the proposed addition are all generally twice as tall as they are wide as is typical of the proportions of openings on historic buildings, and there are no large expanses of wall without any opening. The addition includes two garage doors on the left side; one will be a single-bay door and the other a double-bay door. Staff finds the project's proportion and rhythm of openings to meet Section II.B.1.g of the design guidelines.

Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings. The location of HVAC and other utilities was also not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house to meet section II.B.1.i of the design guidelines.

Recommendation: Staff recommends approval of the proposed addition to 3508 Byron Avenue with the condition that the windows and door selections are approved administratively prior to ordering. With that condition, Staff finds that the proposal would meet the design guidelines for additions in the Elmington Place Neighborhood Conservation Zoning Overlay.

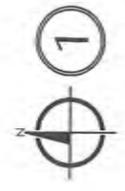
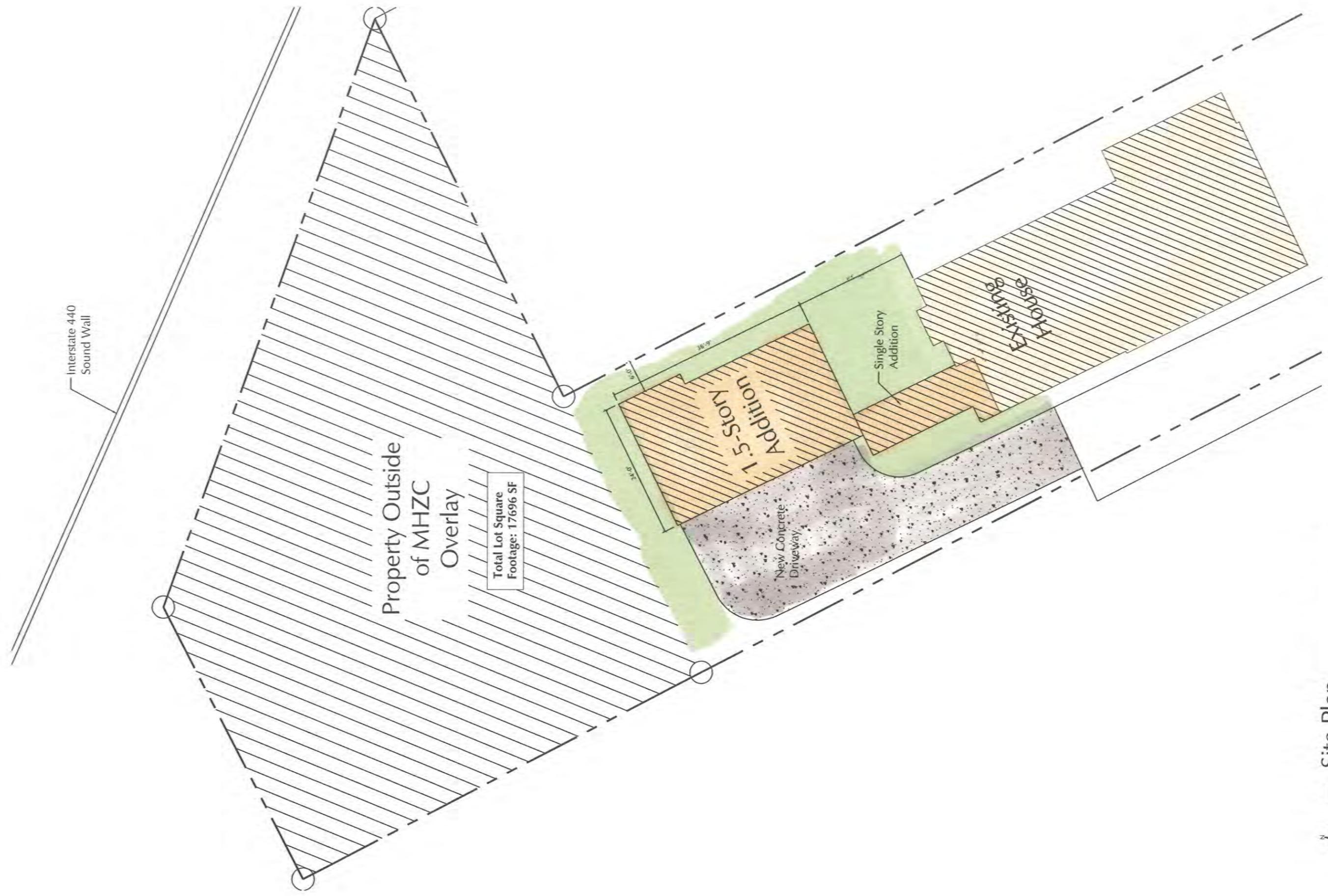
The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.



Left side of house viewed from sidewalk.



Back wall the existing house. Photo taken from approximate location of the rear wall of the proposed addition.



Site Plan



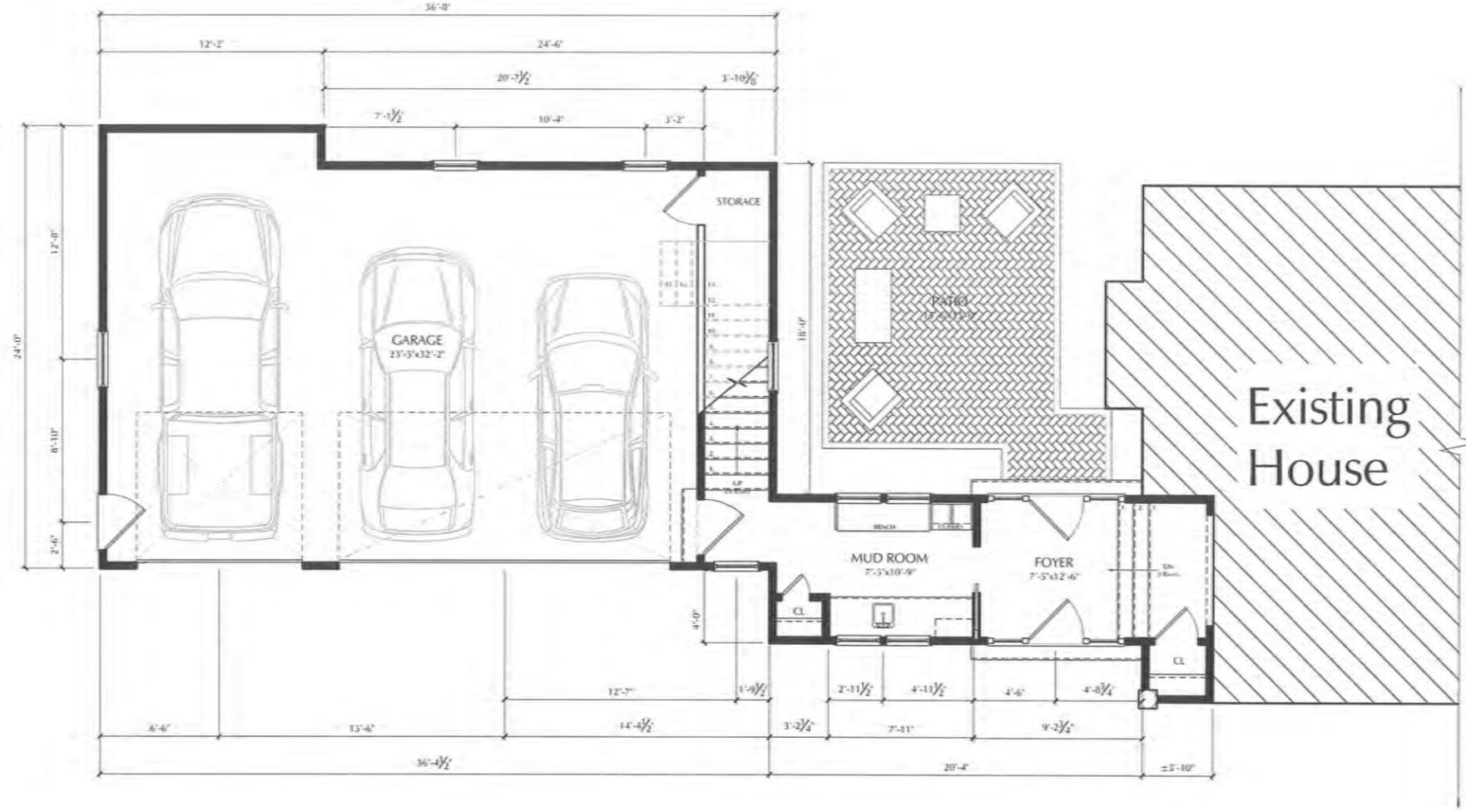
A1.0

Drawings:
Site Plan
Date: 07.11.17

ALLARD WARD ARCHITECTS
1018 Sixteenth Avenue South
Nashville, Tennessee 37212
Tel: 615.345.1010
Fax: 615.345.1011

A New Garage for:
The West Residence
3508 Byron Avenue
Nashville, Tennessee 37212

MHZC PRESERVATION PERMIT APPLICATION



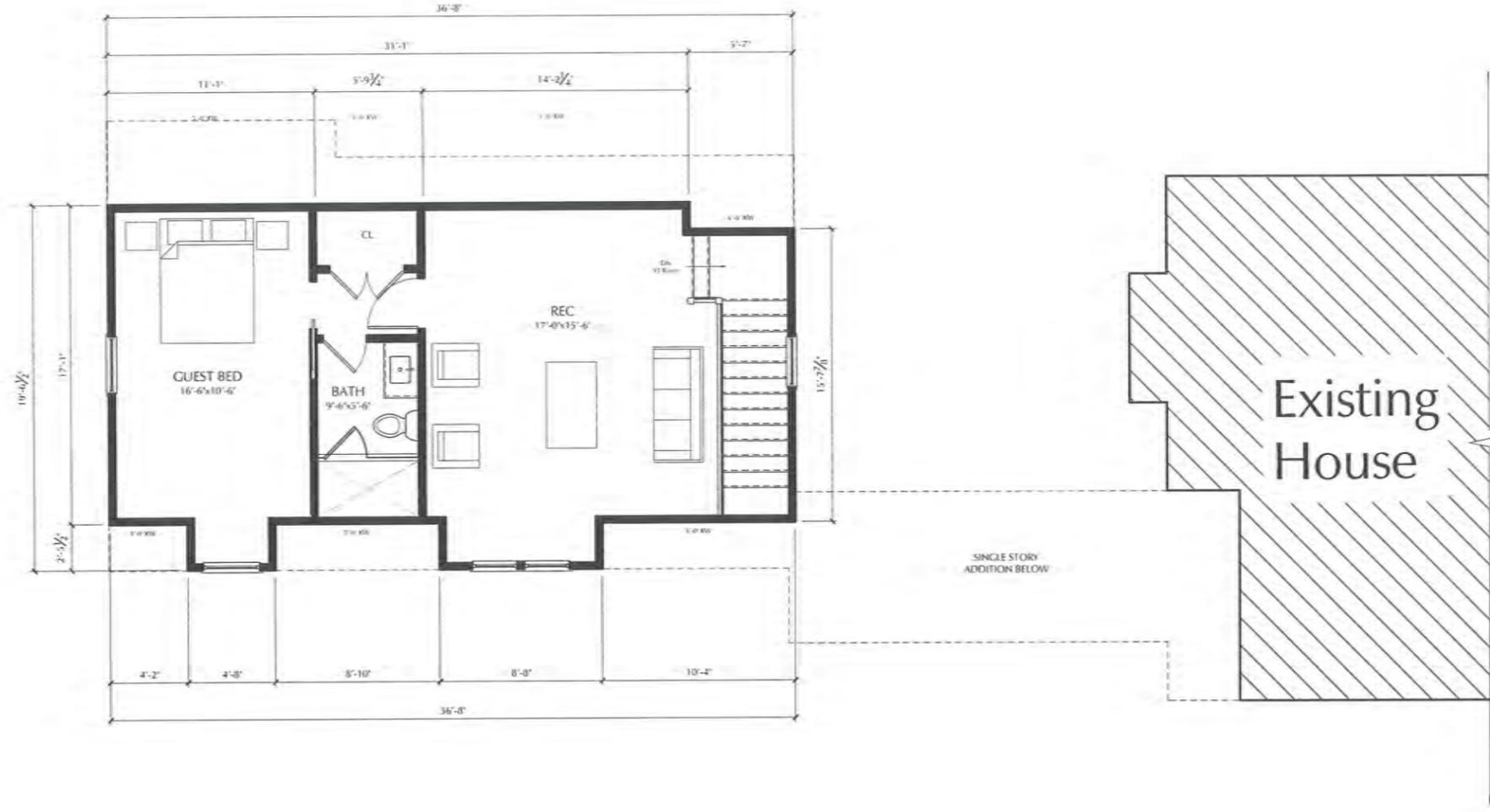
① First Level Plan
 Scale: 1/8"=1'-0"

A New Garage for:
The West Residence
 3508 Byron Avenue
 Nashville, Tennessee 37212

ALARD WARD ARCHITECTS
 1618 Sixteenth Avenue South
 Nashville, Tennessee 37212
 Tel: 615.345.1010
 Fax: 615.345.1011

Drawings:
 First Floor Plan
 Date:
 07.03.17

A1.1



1

Second Level Plan



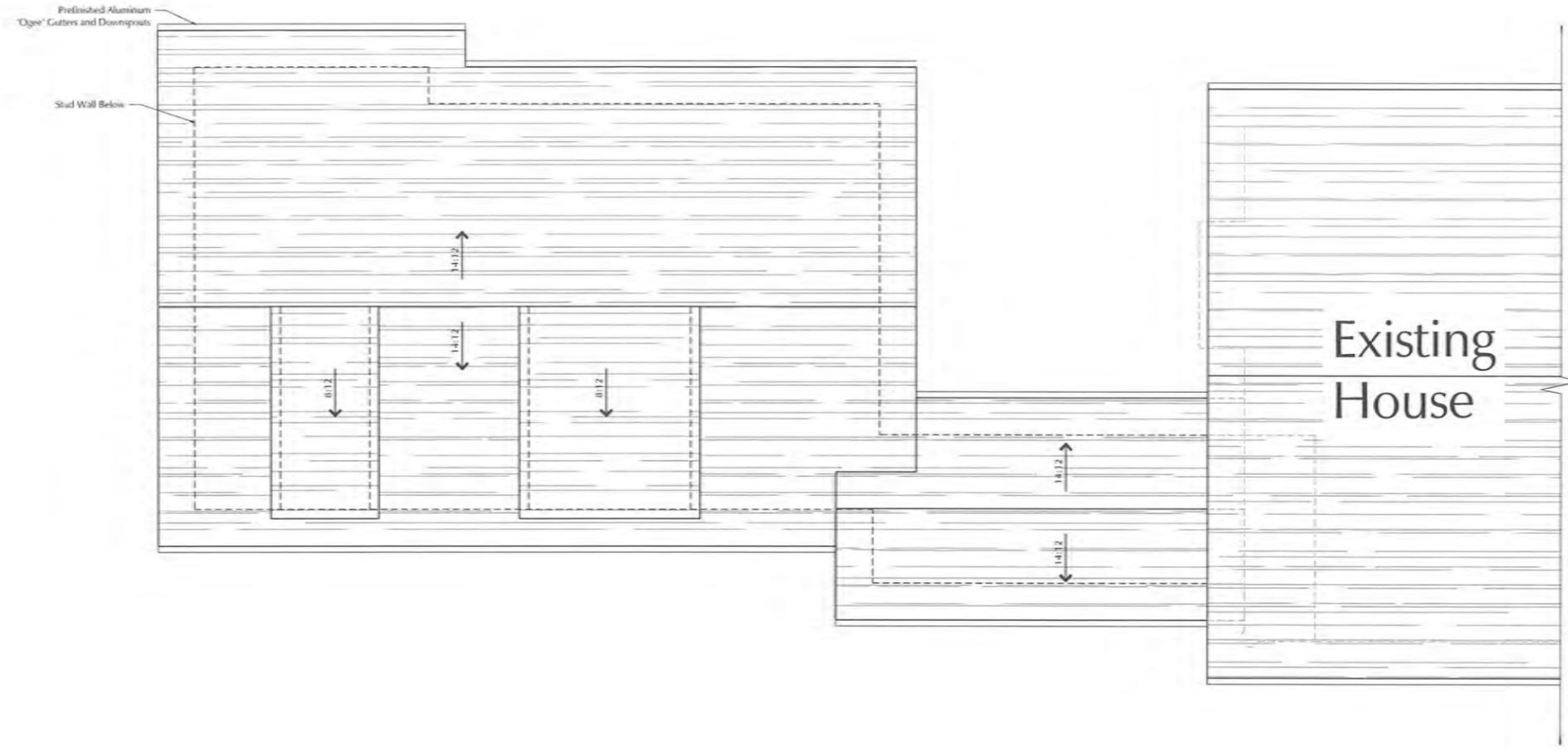
Scale: 1/8" = 1'-0"

A1.2

Drawings:
Second Floor Plan
Date:
07.03.17

AMM
ARCHITECTS
1618 Shawnee Avenue South
Nashville, Tennessee 37212
Tel: 615.343.1010
Fax: 615.343.1011

A New Garage for:
The West Residence
3508 Byron Avenue
Nashville, Tennessee 37212




1
Roof Plan

 Scale: 1/8"=1'-0"

A1.3

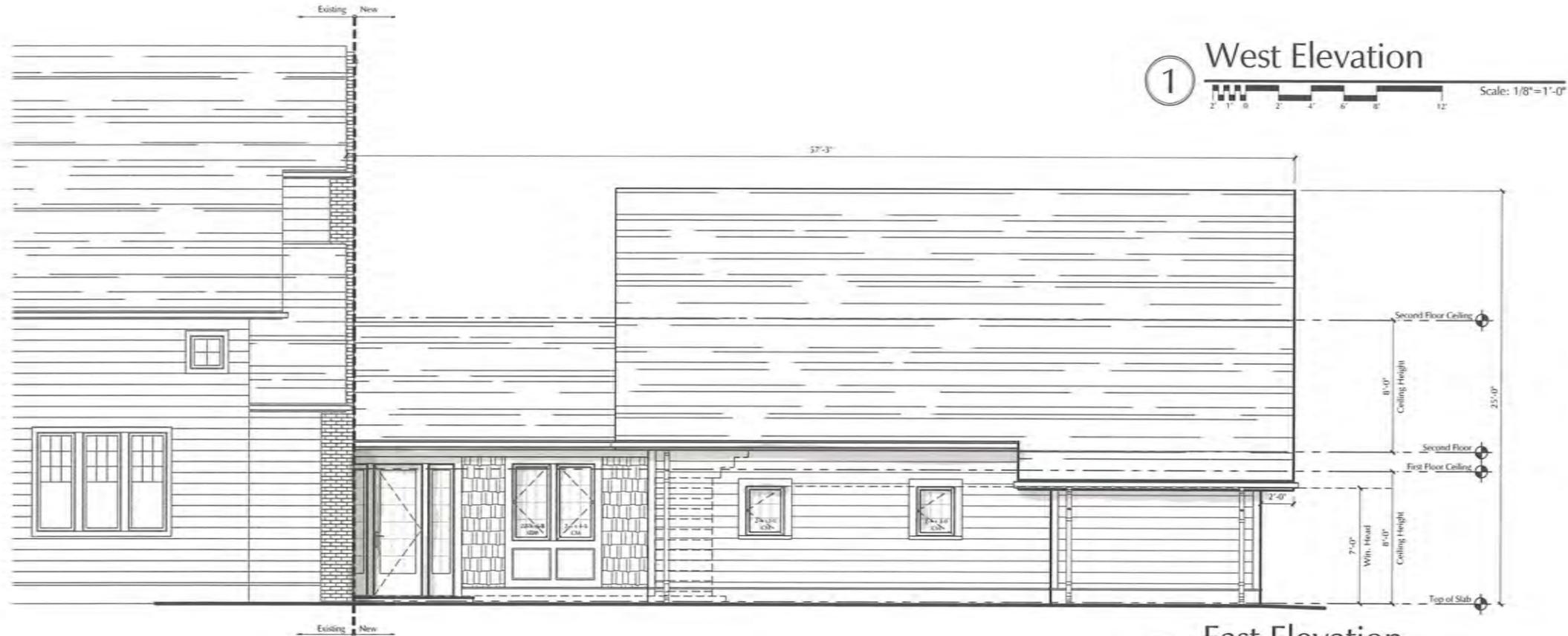
Drawings:
 Roof Plan
 Date:
 07.03.17


ALARD WARD ARCHITECTS
 1610 Sixteenth Avenue South
 Nashville, Tennessee 37212
 Tel: 615.345.1010
 Fax: 615.345.1011

A New Garage for:
The West Residence
 3508 Byron Avenue
 Nashville, Tennessee 37212



1 West Elevation
 Scale: 1/8" = 1'-0"



2 East Elevation
 Scale: 1/8" = 1'-0"

A New Garage for:
The West Residence
 3508 Byron Avenue
 Nashville, Tennessee 37212

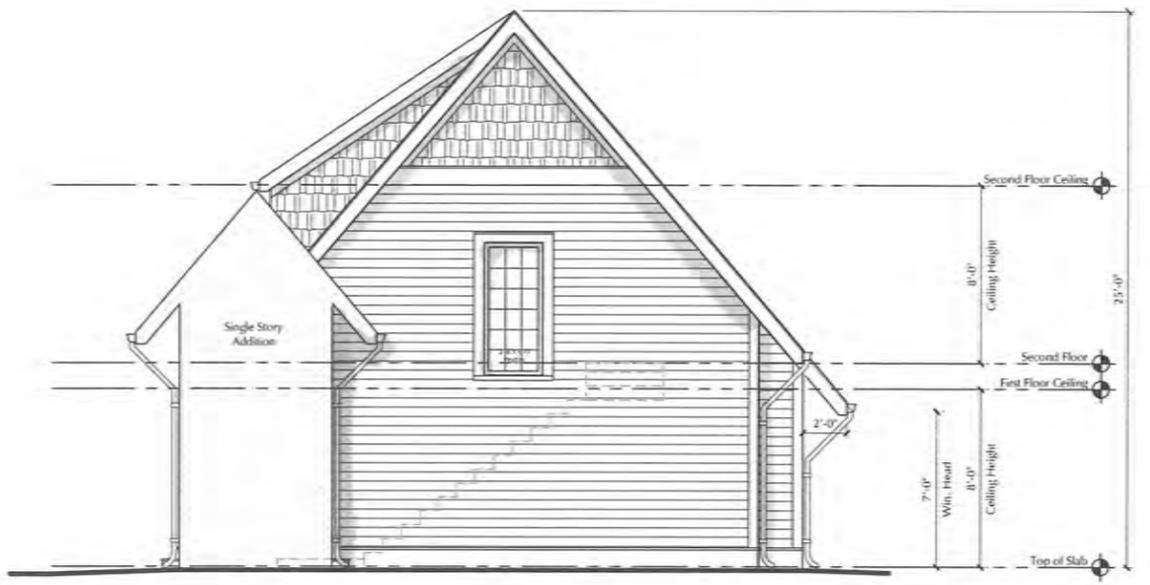
AA
ALLARD WARD
ARCHITECTS
 1618 Sycamore Avenue South
 Nashville, Tennessee 37212
 Tel: 615.345.1010
 Fax: 615.345.1011

Drawings:
 East and West Elevation
 Date:
 07.11.17

A2.1



1 North Elevation
 Scale: 1/8" = 1'-0"



2 South Elevation
 Scale: 1/8" = 1'-0"

A New Garage for:
The West Residence
 3508 Byron Avenue
 Nashville, Tennessee 37212



Drawings:
 North and South Elevations
 Date:
 07.11.17

A2.2