

MEGAN BARRY  
MAYOR



## METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
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### STAFF RECOMMENDATION

716 & 720 Russell Street  
July 19, 2017

**Application:** New construction – infill and outbuildings  
**District:** Edgefield Historic Preservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 08216013400, 08216013500  
**Applicant:** Tyler LeMarinel, Allard-Ward Architects  
**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

**Description of Project:** The applicant proposes to construct a new duplex and outbuilding on each of the two lots. The duplex buildings will be two and one-half story tall with a central hipped-roof massing and a pair of partially-recessed porches to the sides. The outbuildings will be one story, accessed from the rear by shared driveway from an existing curb cut.

**Recommendation Summary:** Staff recommends approval of the proposed new construction on two duplexes and outbuildings at 716 and 720 Russell Street with the following conditions:

- Staff shall verify that the floor heights are compatible with nearby historic houses with an inspection after the foundations have been constructed; and
- Brick, window, and door selections, as well as the roof colors and paving materials of the walkways and driveway are approved administratively; and
- The location of HVAC units and any other appurtenances including fences, retaining walls, lighting, and other permanent landscape features are approved administratively.

Meeting those conditions, Staff finds that the proposed new construction meets the design guidelines for infill and outbuildings in the Edgefield Historic Preservation Zoning Overlay.

*The MHZC does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.*

**Attachments**  
**A:** Photographs  
**B:** Site Plan  
**C:** Floor Plans  
**D:** Elevations

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **III.B.2 New Construction**

#### **a. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings reinforce that rhythm.

*The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).*

*Appropriate setback reductions will be determined based on:*

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

*Appropriate height limitations will be based on:*

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

*In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:*

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

#### **b. Height**

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

*For those lots located within the Corner Commercial Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. An additional story may be added to a building provided that, where it is adjacent to a detached house or a residential subdistrict, it is set back a minimum of 25' from the building wall or 50' from the property line. Three story building height shall not exceed 45'. All front and side buildings walls shall be a minimum of 16' in height and at the build-to line. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor.*

#### **c. Building Shape**

The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

#### **d. Roof Shape**

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.*

#### **e. Orientation**

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

##### *Porches*

*New buildings should incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

##### *Parking areas and Driveways*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median.*

*Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

##### *Duplexes*

*Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.*

*In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.*

#### **f. Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.*

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

#### **g. Materials, Texture, Details, and Material Color**

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

#### **h. Outbuildings**

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that have are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

- 1) A new outbuilding building should reflect the character of outbuildings with the associated house. The outbuilding should be compatible, by not contrasting greatly with the surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

*Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings.*

*Outbuildings: Height & Scale*

*· On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*

- On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.
- The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.

*Outbuildings: Character, Materials and Details*

- Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.

DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

*Outbuildings: Roof*

- Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch. The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.

*Outbuildings: Windows and Doors*

- Publicly visible windows should be appropriate to the style of the house.
  - Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.
  - Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
  - Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.
- For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

*Outbuildings: Siding and Trim*

- Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).
  - Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
  - Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
  - Stud wall lumber and embossed wood grain are prohibited.
  - Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

- 2) Outbuildings should be situated on a lot as is historically typical for the neighborhood.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- Where they are a typical feature of the neighborhood; or*
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

*Setbacks & Site Requirements.*

*· To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configuration would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*

*· A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*

*· There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*

*At least one side setback a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

*Driveway Access.*

*· On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*

*· On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

*Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

#### **i. Appurtenances Related to New Construction**

*For information on fences, paving, walls, et cetera, see the Appurtenances section.*

*Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.*

*Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.*

*Generally, utility connections should be placed no closer to the street than the mid point of the structure.*

*Power lines should be placed underground if they are carried from the street and not from the rear or an alley.*

*Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.*

*Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.*

### **IV. APPURTENANCES TO HISTORIC AND NON-HISTORIC BUILDINGS**

#### **1. FENCES**

- a. Wood picket fences are appropriate in front or rear yards. Front yard fences can be up to 4' in height.

b. Privacy fences are appropriate only around rear yards (see illustrations). Privacy fences can be up to 6' in height.

*A rear yard is considered to be behind the mid-point on the side facades of a house. It is most appropriate for privacy fences to stop at the rear corners of a house.*

c. Chain link or woven fences are generally not appropriate for front or visible side yards. They may be appropriate along rear property lines if the fence is camouflaged with plantings, or painted black or dark green.

d. New or reclaimed iron fencing may be appropriate for pre-1900 houses. Iron fencing is generally not appropriate for later houses.

## **2. PERMANENT BUILT LANDSCAPE FEATURES**

a. Walls, curbs, steps, pavement, gravel, driveways, lighting, walkways and other such appurtenances should not contrast greatly with the style of the associated house in terms of design, size, materials, material color and location and should not contrast greatly with comparable original features of surrounding buildings.

b. Historic retaining walls in front and side yards should be retained.

c. Satellite dishes are not appropriate.

d. Permanently installed fixtures such as fountains or waterfalls should be based on documentary, physical, or pictorial evidence.

e. Above-ground swimming pools should not be publicly visible. An in-ground swimming pool should be located in a rear yard in a manner that minimizes its public visibility.

*Mail boxes at the sidewalk or street are not appropriate.*

*Structures such as gazebos and pergolas should be appropriate to the style of the house and located in rear yards, unless documentary, physical, or pictorial historical evidence indicates otherwise.*

## **4. PUBLIC SPACES**

Landscaping, sidewalks, signage, lighting, street furniture, and other work undertaken in public spaces, by any individual, group, or agency, shall be presented to the MHZC for review of compatibility with the character of the district.

**Background:** The lots at 716 and 720 Russell Street are currently vacant. Historically there was a two and one-half story Victorian house on each lot, but they were demolished during the period of “Urban Renewal” in the 1960s.

**Analysis and Findings:** The applicant proposes to construct a new duplex and outbuilding on each of the two lots. The duplex buildings will be two and one-half story tall.

**Height & Scale:** The eave and roof peak heights of the two duplex buildings will be nineteen feet (19’) and thirty-three feet (33’) above the finished floor level, respectively. These proportions are similar to the eave and roof heights of comparable two-story buildings. The existing historic context of Russell Street includes one, two, and two and one-half story buildings ranging from twenty-four feet (24’) to forty-nine feet (49’) tall. The finished floor levels will be two feet, four inches (2’-4”) above grade with an eight inch (8”) rowlock band and a sixteen inch (16”) tall exposed foundation below the floor level. Staff finds these heights are compatible with the surrounding context, and will verify that the floor height is consistent with nearby historic houses when the foundation has been constructed.



Vacant lots at 716 and 720 Russell Street



Historic house at 714 Russell Street

The buildings will have a forty foot (40’) wide primary mass, and in the rear half of the buildings there will be a two foot (2’) projecting bay on each side bringing the total width to forty four feet (44’). The existing historic context of Russell Street includes widths ranging from thirty-one feet (31’) to forty-six feet (46’) wide on comparable lots.

The buildings will be seventy-three feet deep, with the massing divided into four distinct segments ranging from thirteen feet (13’) to twenty-four feet (24’) of the span of the façade. Historic houses nearby are typically in the range of forty feet (40’) to sixty-five feet (65’) deep, although the adjacent house at 714 is seventy-eight feet (78’) deep.

Staff finds the scale of the proposed new buildings to be compatible with the scale of surrounding historic houses and to meet sections III.B.2.a and III.B.2.b of the design guidelines.

**Setback & Rhythm of Spacing:** The new buildings will have a front setback of twenty-three feet, three inches (23'-3"), which is consistent with the setback of the existing historic house at 714 Russell Street. The side setbacks will be five feet (5') from the shared center property line and ten feet (10') to the outside property lines. Staff finds that these setbacks, considering that that lots are fifty-nine foot (59') and the buildings' primary mass will be forty feet (40') wide, will maintain the established rhythm of spacing established between historic houses on the street. With a condition that the setbacks are verified with a staking inspection prior to construction, Staff finds that the building locations are appropriate and meet section III.B.2.a of the design guidelines.

**Orientation:** The primary facades of the two new houses will face Shelby Avenue directly in the same plane and manner as the surrounding historic buildings. Both units in each of the two buildings will have a front porch addressing the street, with walkways connecting them to the street. Staff finds that the orientation of the project to be appropriate and to meet section III.B.2.e of the design guidelines.

**Materials, Texture, and Details and Material Color:**

	<b>Proposed</b>	<b>Color/Texture/Make/Manufacturer</b>	<b>Approved or Typical of Neighborhood</b>	<b>Requires Additional Review</b>
<b>Foundation</b>	Concrete Block	Parged	Yes	
<b>Cladding</b>	Brick	Needs final approval		X
<b>Secondary Cladding</b>	Cement fiber clapboard	Smooth, 5" reveal	Yes	
<b>Roofing</b>	Architectural Shingles	Color needs to be approved		X
<b>Trim</b>	Paulownia (Wood)	Smooth faced	Yes	
<b>Windows</b>	Divided light casements	Needs final approval		X
<b>Primary Doors</b>	Full-light	Needs final approval		X
<b>Front Porch floor/steps</b>	Concrete Block	Parged	Yes	
<b>Front Porch Posts</b>	Brick	Needs final approval		X
<b>Front Porch Railing</b>	n/a	n/a	Yes	
<b>Front Porch Roof</b>	Flat membrane	Needs final approval	Unknown	X

<b>Rear Porch floor/steps</b>	Not indicated	Needs final approval	Unknown	X
<b>Rear Porch Posts</b>	Wood		Yes	
<b>Rear Porch Railing</b>	Wood		Yes	
<b>Rear Porch Roof</b>	Architectural Shingles	Color needs to be approved		X
<b>Driveway</b>	Not indicated	Needs final approval	Unknown	X
<b>Walkway</b>	Not indicated	Needs final approval	Unknown	X
<b>Fence/wall</b>	Existing metal fence to remain		Yes	

With the condition that the brick, window, and door selections, as well as the roof colors are approved administratively, Staff finds the project meets section III.B.2.g of the design guidelines.

Roof form & Building Shape: The new duplex buildings will both have a hipped primary roof form with cross-gabled projections toward the front and middle of each side of the building. A section of low-sloped roof will sit between the gabled ridges, not visible from the ground. The visible roof pitches will be 12:12, with the exception of the first story projecting side bays which will have a 9:12 pent roof and the front porches which will have flat roofs. These roof forms are common among historic houses in the neighborhood and meet sections III.B.2.c and III.B.2.d of the design guidelines.

Proportion and Rhythm of Openings: The windows on the proposed new buildings are all generally twice as tall as they are wide as is typical of the proportions of openings on historic buildings, and there are no large expanses of wall without any opening. Staff finds the project’s proportion and rhythm of openings to meet Section III.B.2.f.

Appurtenances & Utilities: The locations of the HVAC and other appurtenance including fences, retaining walls, lighting, and other permanent landscape features have not been indicated. These items must be approved in the Edgefield Historic Preservation Zoning Overlay. Additional information is needed for staff to determine if the project meets section III.B.2.i of the design guidelines.

**Outbuildings:**

The project includes a detached outbuilding at the rear of each lot. The proposed outbuildings do not include a residential use.

Site Planning & Setbacks:

	<b>MINIMUM</b>	<b>PROPOSED</b>
<b>Building located towards rear of lot</b>	-	Yes
<b>Space between principal building and Garage</b>	20'	28'
<b>Rear setback</b>	20'	27'
<b>L side setback</b>	716 = 5' 720 = 10'	716 = 5' 720 = 10'
<b>R side setback</b>	716 = 5' 720 = 5'	716 = 3' 720 = 10'
<b>How is the building accessed?</b>	-	Shared driveway at rear, existing curb-cut
<b>Two different doors rather than one large door (if street facing)?</b>	-	N/A

The new outbuildings will be accessed from an existing curb cut and shared driveway from South 8<sup>th</sup> Street. The appropriate location for garage access is typically from the alley when one is present, however that would not be feasible here because there is a sharp drop in grade and a retaining wall at the rear of the lot. These setbacks are typical of the locations of outbuilding historically and meet the design guidelines. Staff finds the proposed location to be appropriate and to meet section III.B.2.h.2 of the design guidelines.

Massing Planning: The following charts refer to the scale of the proposed outbuilding.

Heights for a one-story outbuilding:

	<b>Height of principal building</b>	<b>Potential maximums (heights to be measured from grade)</b>	<b>Proposed (should be the same or less than the lesser number to the left)</b>
<b>Ridge Height</b>	33'	25'	21'-3"
<b>Eave Height</b>	21'	10'	8'

Both lots have 10,030 square feet of area. On a lot greater than 10,000 square feet:

	<b>Lot is greater than 10,000 square feet</b>	<b>50% of first floor area of principle structure</b>	<b>Proposed footprint (maximum cannot exceed lesser number to left)</b>
<b>Maximum Square Footage</b>	1000 sq. ft.	1300	990

Staff finds the scale of the proposed outbuildings to be appropriate and to meet section III.B.2.h.1 of the design guidelines.

Design Standards: The materials, proportions, and overall character of the accessory structures will be similar to the historic houses. Their roof forms and pitch will match that of the houses, and the materials will match as well. Staff finds the design of the proposed outbuilding to meet section III.B.2.h.1 of the design guidelines.

Roof Shape & Elements:

Shape

<b>Proposed Element</b>	<b>Proposed Form</b>	<b>Typical of district?</b>
Primary form	Side-gable	X
Primary roof pitch	12:12	X
Dormer form	N/A	X
Dormer pitch	N/A	X

Elements

	<b>YES</b>	<b>NO</b>
<b>If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?</b>		N/A
<b>If dormers are used, do they sit back from the wall below by at least 2'?</b>		N/A
<b>Is the roof pitch at least 4/12?</b>	Yes	

The roofs of the building meet section III.B.2.h.1 of the design guidelines.

Material:

	<b>Proposed</b>	<b>Color/Texture/Make/Manufacturer</b>	<b>Approved Previously or Typical of Neighborhood</b>	<b>Requires Additional Review</b>
<b>Foundation</b>	Parged CMU		Yes	
<b>Primary Cladding</b>	Cement-fiber clapboard	5" reveal, smooth	Yes	
<b>Roofing</b>	Architectural Shingles	Color not known	Yes	X
<b>Trim</b>	Paulownia (Wood)		Yes	
<b>Windows</b>	Fixed, Casements	Not known	Unknown	X
<b>Principle Doors</b>	Full-light doors	Not known	Yes	X

<b>Vehicle Doors</b>	Panel doors with windows	Needs final approval		X
<b>Driveway</b>	Not indicated	Not known	Unknown	X

With the condition that the roof color, driveway material, and window and door selections are approved by MHZC Staff prior to purchase and installation, Staff finds that the proposed outbuildings will meet section III.B.2.h of the design guidelines.

**Recommendation:** Staff recommends approval of the proposed new construction on two duplexes and outbuildings at 716 and 720 Russell Street with the following conditions:

- Staff shall verify that the floor heights are compatible with nearby historic houses with an inspection after the foundations have been constructed; and
- Brick, window, and door selections, as well as the roof colors and paving materials of the walkways and driveway are approved administratively; and
- The location of HVAC units and any other appurtenances including fences, retaining walls, lighting, and other permanent landscape features are approved administratively.

Meeting those conditions, Staff finds that the proposed new construction meets the design guidelines for infill and outbuildings in the Edgefield Historic Preservation Zoning Overlay.

*The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.*

## PHOTOGRAPHS



Historic house at 714 Russell Street, with a portion of the 716 lot to the left.



Curb cut and driveway into lot from South 8<sup>th</sup> Street.



802 and 804 Russell Street.



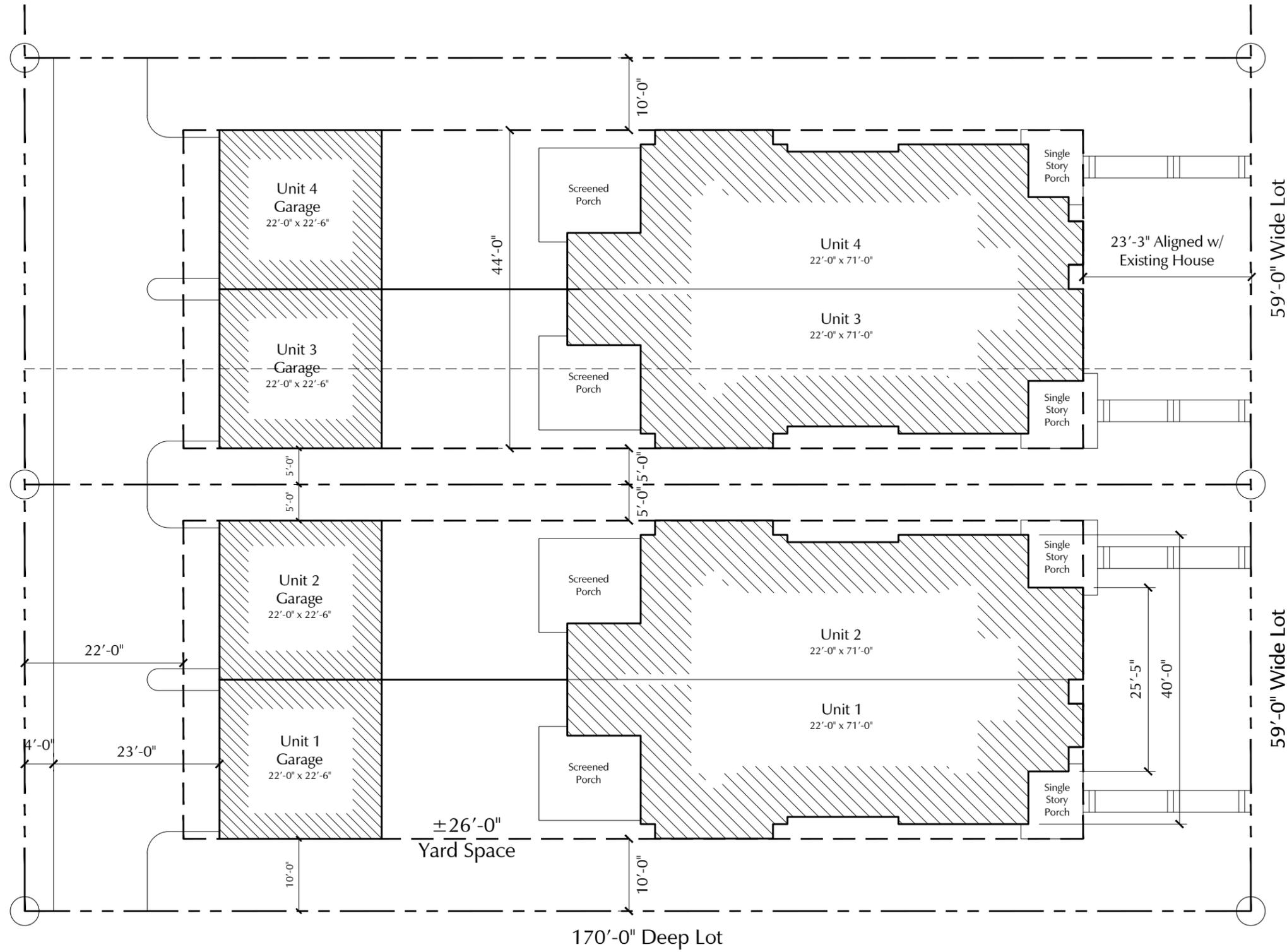
809 Russell Street



813 Russell Street.



814 and 816 Russell Street.



1 Site Plan  
 Scale: 1/16" = 1'-0"



Drawings:  
 Site Plan  
 Date:  
 07.11.17

**A1.0**

A New Development for:  
**The Haverkamp Townhouses**  
 716 Russell Street  
 Nashville, Tennessee 37212

MH2C PRESERVATION PERMIT APPLICATION



1

First Level Plan



Scale: 1/8" = 1'-0"

Drawings:  
First Floor Plan  
Date:  
07.11.17



A New Development for:  
**The Haverkamp Townhouses**  
716 Russell Street  
Nashville, Tennessee 37212

**A1.1**



1

Second Level Plan



Scale: 1/8" = 1'-0"

Drawings:  
Second Floor Plan

Date:  
07.11.17

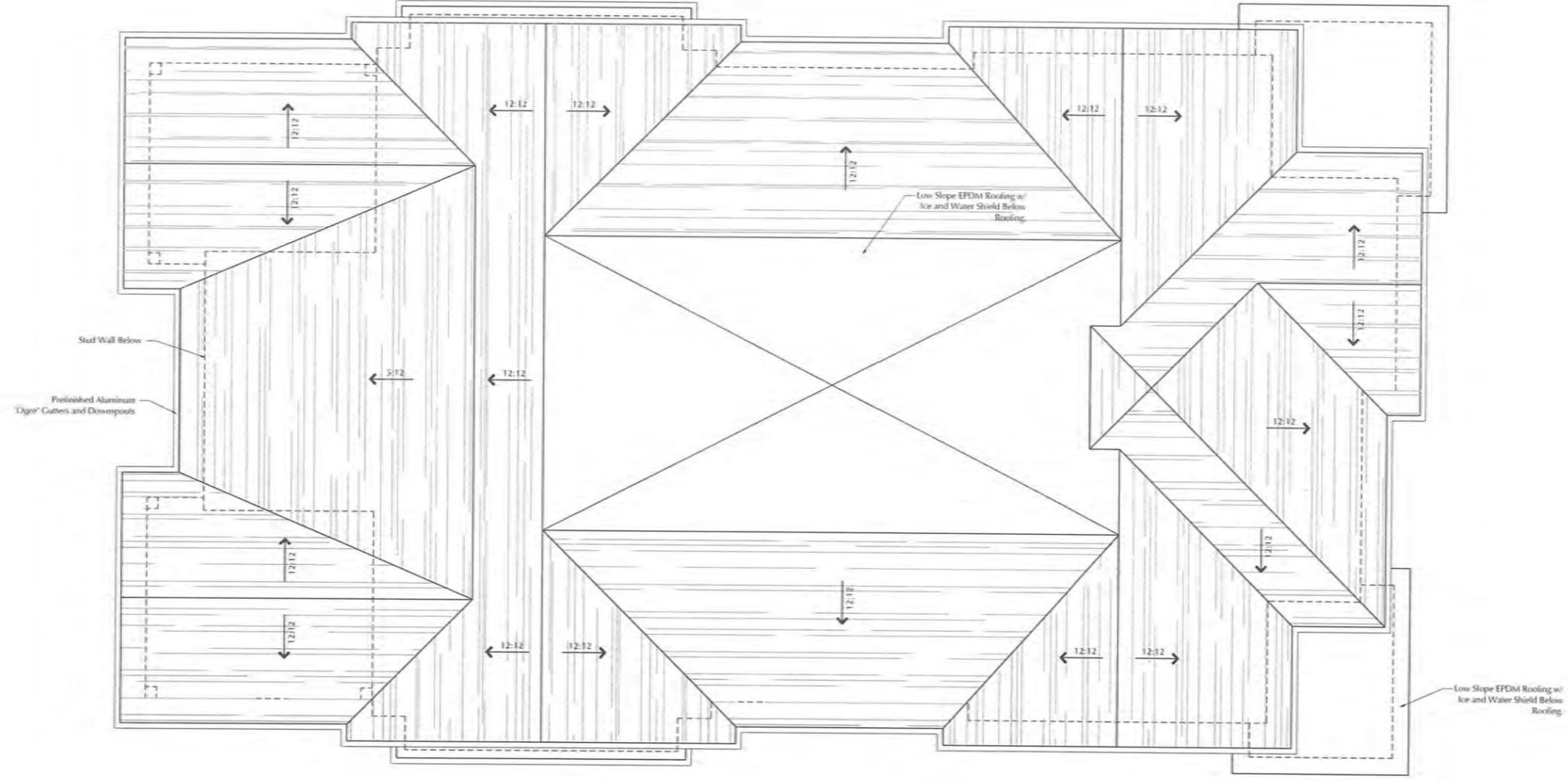


1618 State Street, Suite 300  
Nashville, Tennessee 37212  
Tel: 615.342.1000  
Fax: 615.342.1010

A New Development for:  
**The Haverkamp Townhouses**

716 Russell Street  
Nashville, Tennessee 37212

**A1.2**



1

Roof Plan



Scale: 1/8" = 1'-0"

Drawings:  
Roof Plan  
Date:  
07.11.17

**AM**  
ALABAMA ARCHITECTS  
1018 Sixteenth Avenue, Suite 200  
Nashville, Tennessee 37212  
Tel: 615.345.1010  
alabarchitects.com  
Fax: 615.345.1011

**A1.3**

A New Development for:  
**The Haverkamp Townhouses**

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Nashville, Tennessee 37212

A New Development for:  
**The Haverkamp Townhouses**  
 716 Russell Street  
 Nashville, Tennessee 37212



Drawings:  
 North and South Elevations  
 Date:  
 07.11.17

**A2.1**



① North Elevation  
 Scale: 1/8"=1'-0"



② South Elevation  
 Scale: 1/8"=1'-0"



1 West Elevation  
 Scale: 1/8" = 1'-0"



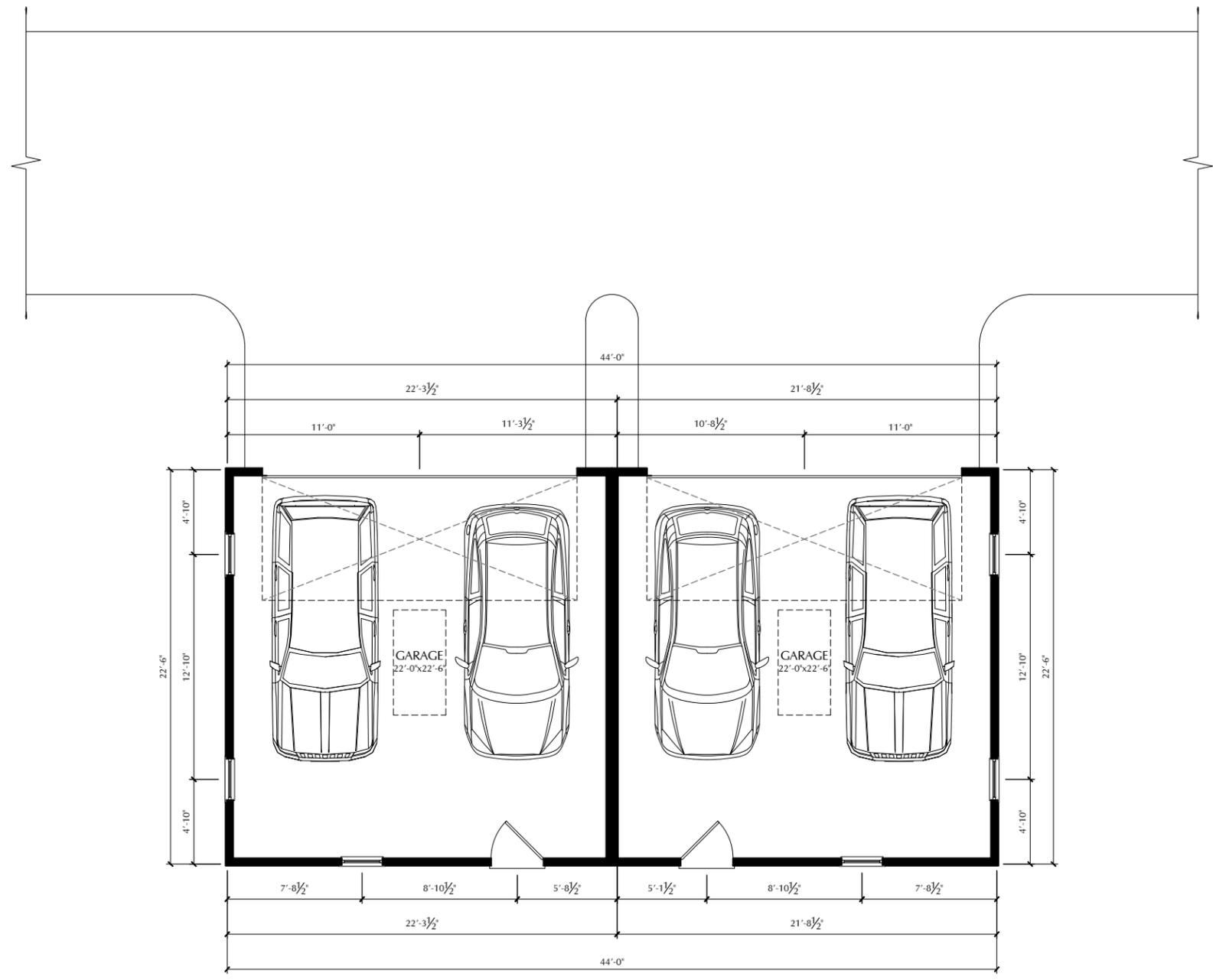
2 East Elevation  
 Scale: 1/8" = 1'-0"

A New Development for:  
**The Haverkamp Townhouses**  
 716 Russell Street  
 Nashville, Tennessee 37212



Drawings:  
 East and West Elevations  
 Date:  
 07.11.17

**A2.2**



1

First Floor Plan



Scale: 1/8" = 1'-0"

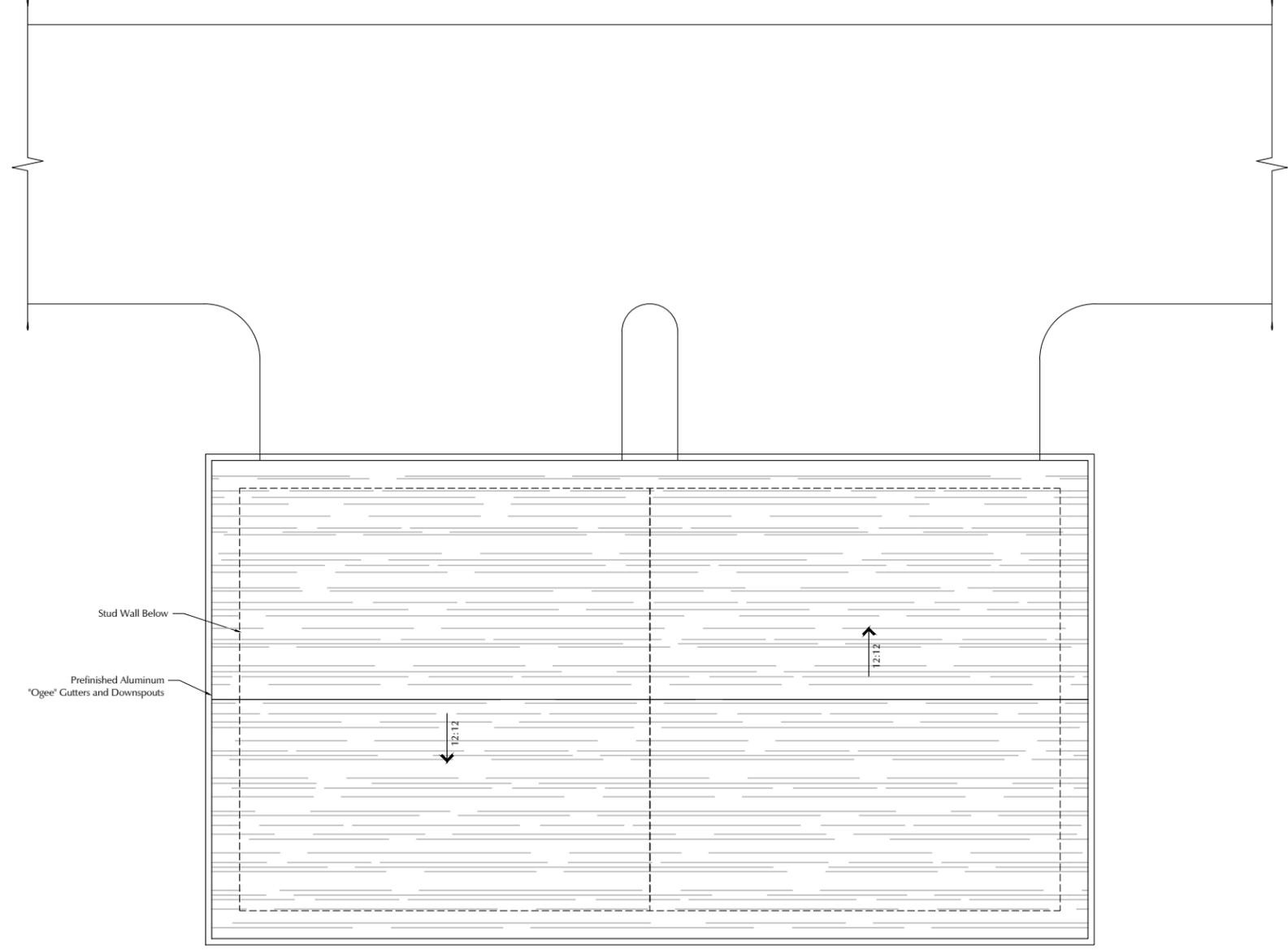
# A1.1

Drawings:  
First Floor Plan  
Date:  
07.11.17

**ALLARD WARD ARCHITECTS**  
1618 Sixteenth Avenue South  
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A New Development for:  
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Nashville, Tennessee 37212



1

### Roof Plan



Scale: 1/8" = 1'-0"

Drawings:  
Roof Plan  
Date:  
07.11.17

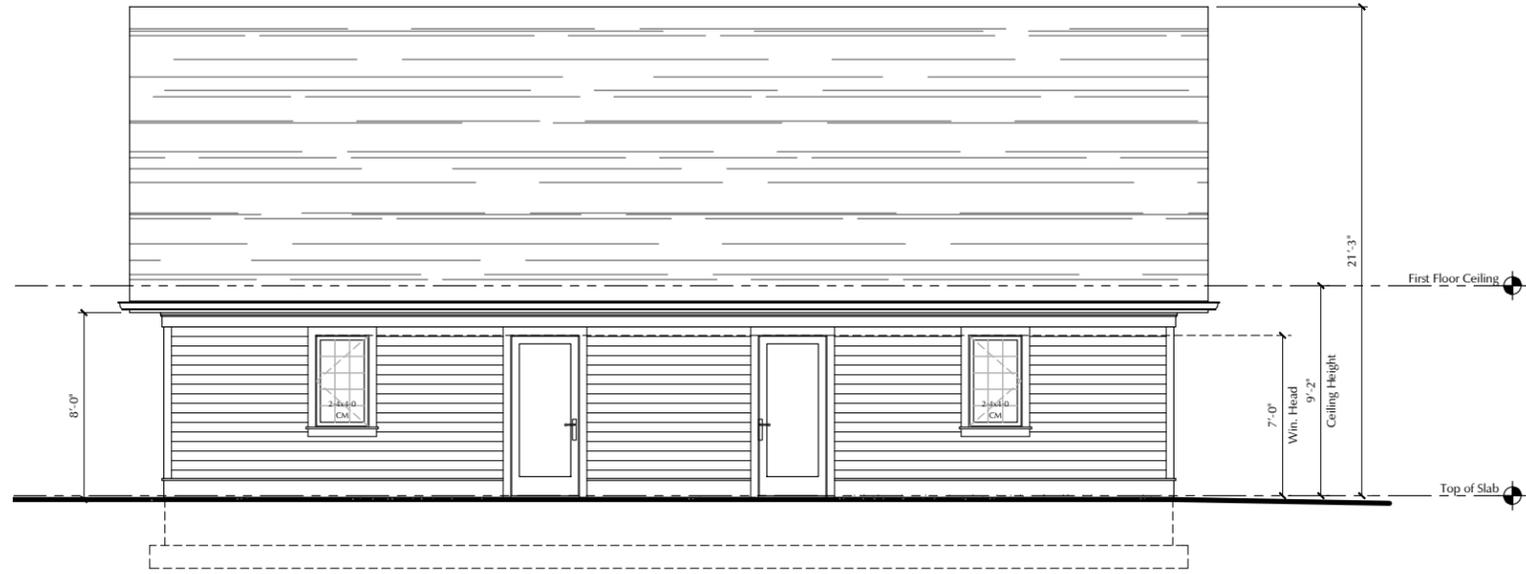
**ALLARD WARD ARCHITECTS**  
1618 Sixteenth Avenue South  
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allardward.com  
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Fax: 615.345.1011

# A1.2

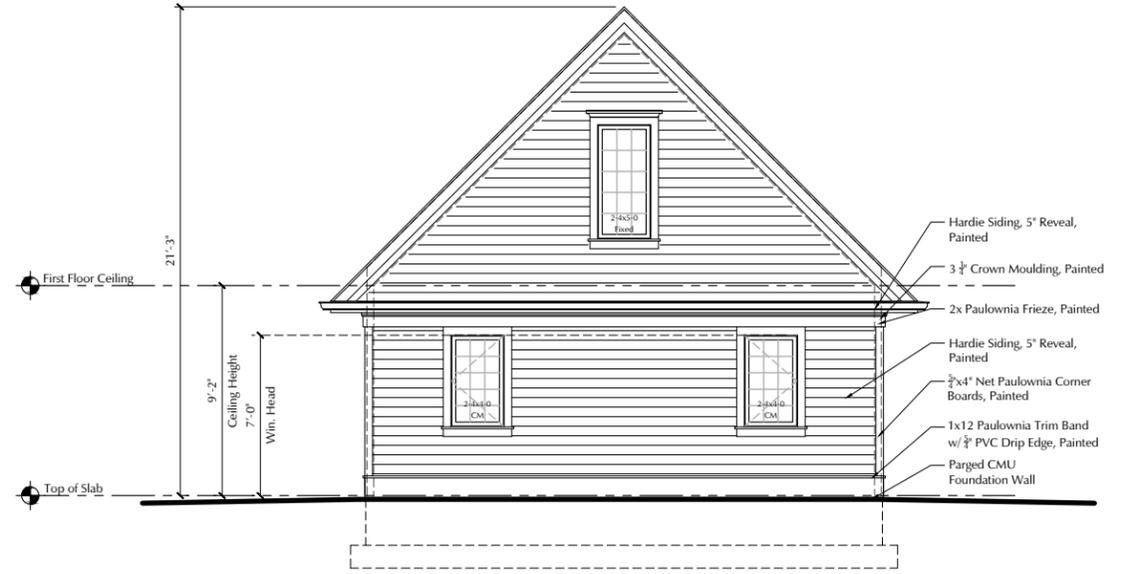
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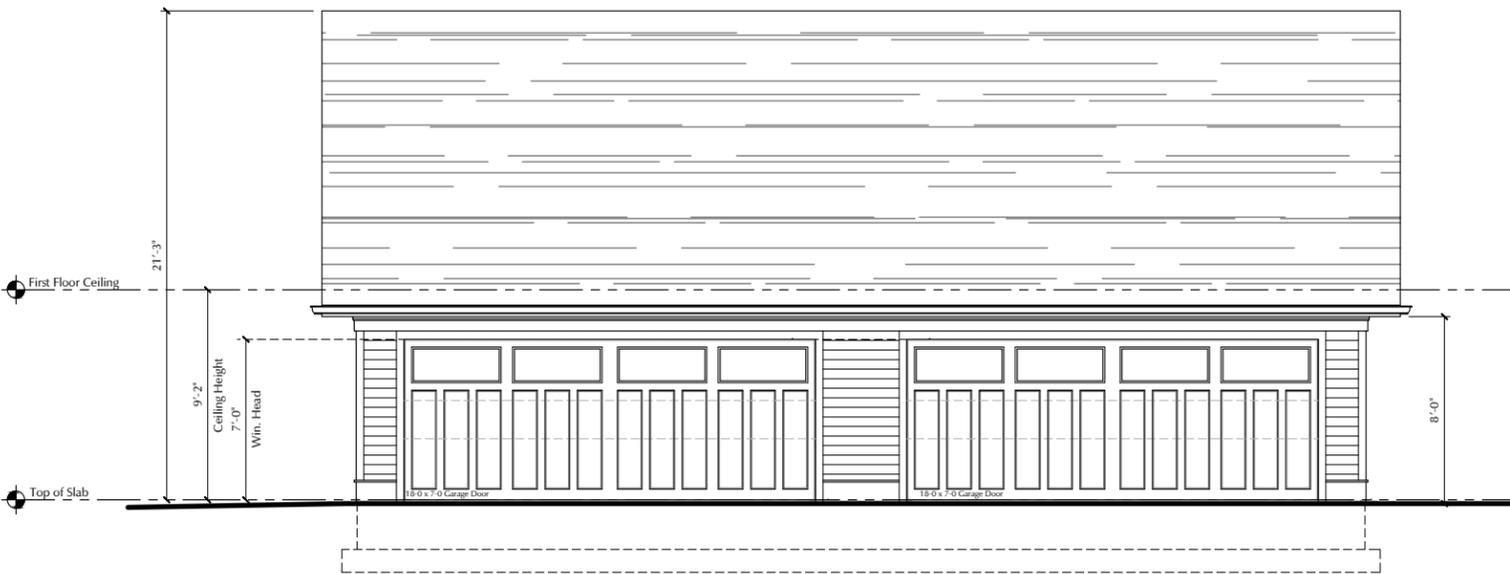
MHZC PRESERVATION PERMIT APPLICATION



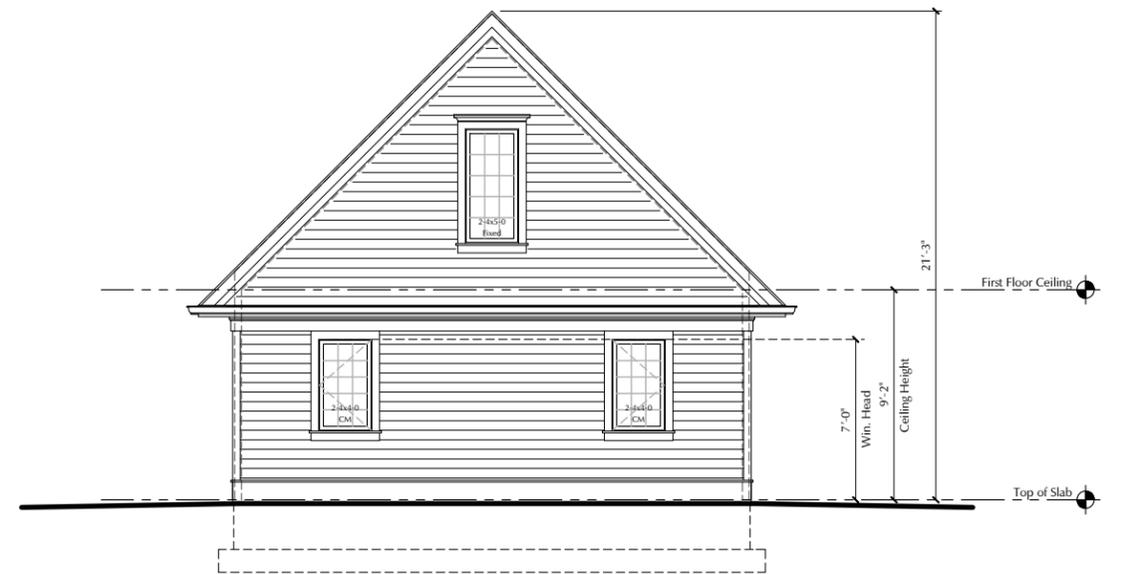
3 North Elevation  
 Scale: 1/8"=1'-0"



2 East Elevation  
 Scale: 1/8"=1'-0"



4 South Elevation  
 Scale: 1/8"=1'-0"



2 West Elevation  
 Scale: 1/8"=1'-0"