

MEGAN BARRY  
MAYOR



## METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
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### STAFF RECOMMENDATION

1116 Ordway Place

August 16, 2017

**Application:** New construction—outbuilding/detached accessory dwelling unit; Setback determination

**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay

**Council District:** 06

**Map and Parcel Number:** 08309003500

**Applicant:** Bobby Bandy

**Project Lead:** Melissa Sajid, melissa.sajid@nashville.gov

**Description of Project:** Application is to construct a detached accessory dwelling unit and includes a setback determination to reduce the rear setback from twenty feet (20') to five feet (5').

**Recommendation Summary:** Staff recommends approval of the project with the following conditions:

1. The HVAC be located behind the house or on either side, beyond the mid-point of the house; and
2. Staff approve the porch post material and the masonry color, dimensions and texture for the front porch cap and base.

With these conditions, staff finds that the project meets Section II.B. of the design guidelines and the DADU ordinance, Section 17.16.30.G. 7.

**Attachments**

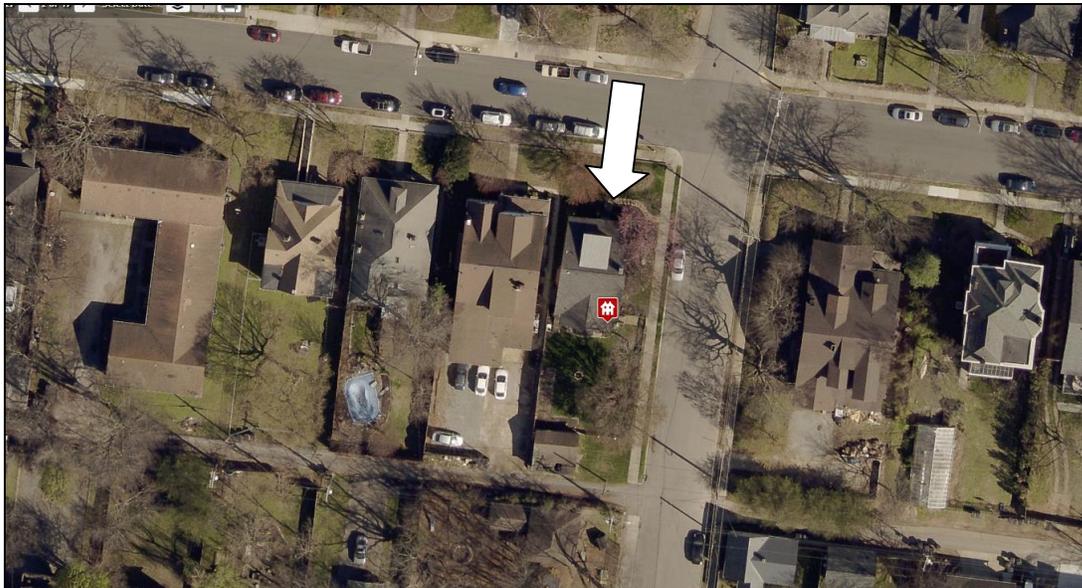
**A:** Site Plan

**B:** Elevations

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### II.B. New Construction

#### 8. Outbuildings

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

- a. Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details.

##### *Outbuildings: Height & Scale*

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

##### *Outbuildings: Character, Materials and Details*

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

##### *Outbuildings: Roof*

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

##### *Outbuildings: Windows and Doors*

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

##### *Outbuildings: Siding and Trim*

- *Brick, weatherboard, and board-and-batten are typical siding materials.*

- Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
  - Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
  - Stud wall lumber and embossed wood grain are prohibited.
  - Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

b. Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

*Setbacks & Site Requirements.*

*· To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*

*· A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*

*· There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*

*· At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

*Driveway Access.*

*· On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*

*· On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

*· Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

***Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.***

*· The lot area on which a DADU is placed shall comply with Table 17.12.020A.*

*· The DADU may not exceed the maximums outlined previously for outbuildings.*

*· No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.*

*Density.*

*· A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.*

*Ownership.*

- *a. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.*
- *The DADU cannot be divided from the property ownership of the principal dwelling.*
- *The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.*
- *Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.*

*Bulk and Massing.*

- *The living space of a DADU shall not exceed seven hundred square feet.*

- c. The location and design of outbuildings should not be visually disruptive to the character of the surrounding buildings.

**9. Appurtenances**

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

***Utilities***

*Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.*

*Generally, utility connections should be placed no closer to the street than the mid point of the structure.*

*Power lines should be placed underground if they are carried from the street and not from the rear or an alley.*

***Public Spaces***

*Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.*

*Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.*

**Background:** The house located at 1116 Ordway Place is a c. 1915 weatherboard bungalow that contributes to the historic character of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay (Figure 1). In August 2017, MHZC issued an administrative permit to demolish an existing garage (Figure 2).



Figure 1. 1116 Ordway Place



Figure 2. Existing garage to be demolished (view from South 12<sup>th</sup> Street)

**Analysis and Findings:** Application is to construct a detached accessory dwelling unit and includes a setback determination to reduce the rear setback from twenty feet (20') to five feet (5'). Staff has received a copy of the recorded restrictive covenant.

Zoning Requirements for DADU

	YES	NO
<b>Does the lot NOT comply with Table 17.12.020A of the zoning code? (It isn't zoned two-family or doesn't have adequate square footage to be a legally conforming lot.)</b>		No
<b>Are there other accessory buildings on the lot that exceed 200 square feet?</b>		No
<b>Is the property zoned single-family?</b>		No
<b>Are there already two units on the property?</b>		No
<b>Does the property owner NOT live on site or does NOT plan to move to this location once the DADU is complete?</b>		No
<b>Is the planned conditioned living space more than 700 square feet?</b>		No

The MHZC does not review the zoning requirements, but Staff does conduct a cursory review so that applicants do not continue through the permitting process to find that a detached dwelling unit is not possible. Staff finds that the proposed DADU meets Section II.B.8.a of the design guidelines and Sections 17.16.30.G.1,2,3, and 7 of the ordinance.

Site Planning & Setbacks:

Outbuilding description:	50% of first floor area of principle structure	Minimum Rear/Alley Setback	Minimum Side Setback for interior lot lines	Minimum Side Setback, Side Street for corner lots	Distance Between Principal Building and Outbuilding
Footprint more than 700 sq. ft., Garage doors face alley	370	5'	5'	10'	20'
Proposed	727	5'	5'/16'		46'

	<b>MINIMUM</b>	<b>PROPOSED</b>
How is the building accessed?	From the alley or existing curb cut	Walkway from 12 <sup>th</sup> Street-no vehicular access
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	Two-bay	n/a

The proposed DADU meets all base zoning setbacks except for the rear setback. Staff finds that the proposed five feet (5') rear setback is appropriate since outbuildings were historically located closer to the rear property line. In addition, the proposed DADU does not include garage doors, so there is not a concern about maneuvering a vehicle into and from the alley. (The property currently does not include a driveway, and it appears that on-street parking is used.) In addition, the proposed DADU will have the same rear setback as the existing outbuilding that is to be demolished (Figure 2). For these reasons, staff recommends approval of the rear setback determination and finds that the proposed DADU meets section II.B.8.b of the design guidelines and 17.16.30.G. 4 of the ordinance.

Massing Planning:

To determine the maximum height of the outbuilding or DADU, as measured from grade, complete the table below and choose the lesser number.

	Potential maximums (heights to be measured from grade)	Existing conditions (height of historic portion of the home to be measured from finished floor)	Proposed
Ridge Height	25' unless existing building is less	23'-4"	22'-4"
Eave Height	1 story 10' or 2 story 17' unless existing building is less	12'-4"	10'

The proposed is a one-story building on a lot less than 10,000 square feet.

Staff finds that the project meets Section II.B.8.a of the design guidelines and Section 17.16.30.G. 7 of the ordinance.

Design Standards:

The accessory structure has a simple, utilitarian design that is appropriate for outbuildings. Its roof form, detailing, and overall form do not contrast greatly with the primary structure. The DADU will be visible from the street since the lot is a corner lot. However, the DADU does not include any garage doors and will not be taller than the

principle dwelling. Staff finds that the DADU’s design meets Section II.B.8.a of the design guidelines and Section 17.16.030.G.8 of the ordinance.

Roof Shape & Elements:

<b>Proposed Element</b>	<b>Proposed Form</b>	<b>Typical of district?</b>
Primary form	Cross Gable	Yes
Primary roof slope	10/12	Yes
Dormer form	Shed	Yes
Dormer slope	3/12	Yes

Elements

	<b>YES</b>	<b>NO</b>
<b>If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?</b>	X	
<b>If dormers are used, do they sit back from the wall below by at least 2’?</b>	X	
<b>Is the roof pitch at least 4/12?</b>	X	

Staff finds that the DADU meets Section II.B.8.a of the design guidelines and Sections 17.16.30.G.5, 8 and 9 of the ordinance.

Materials:

	<b>Proposed</b>	<b>Color/Texture</b>	<b>Approved Previously or Typical of Neighborhood</b>
<b>Foundation</b>	Concrete	Split face	Yes
<b>Cladding</b>	cement fiberboard siding, 5” reveal	Smooth	Yes
<b>Roofing</b>	Architectural Shingles	Match existing	Yes
<b>Dormer roof</b>	Standing seam metal roofing	Match existing	Yes
<b>Trim</b>	Cement Fiberboard	Smooth faced	Yes
<b>Windows</b>	Aluminum clad	Pella 450 Series	Yes
<b>Sidewalk</b>	Concrete	Typical	Yes
<b>Pedestrian Door</b>	Aluminum clad	Pella Architect Series	Yes
<b>Porch floor</b>	Concrete	Natural	Yes
<b>Porch post</b>	Not indicated	Unknown	Unknown
<b>Porch cap and base</b>	Stone	Not indicated	Yes

With the staff's final approval of the porch post material and the masonry color, dimensions and texture, staff finds that the known materials meet Section II.B.8.a. of the design guidelines.

**Recommendation Summary:** Staff recommends approval of the project with the following conditions:

1. The HVAC be located behind the house or on either side, beyond the mid-point of the house; and
2. Staff approve the porch post material and the masonry color, dimensions and texture for the front porch cap and base.

With these conditions, staff finds that the project meets Section II.B. of the design guidelines and the DADU ordinance, Section 17.16.30.G. 7.

Land survey

5" SIDE SETBACK

DEMO EXISTING SHED (390 SF)

EXISTING FENCE TO REMAIN

5" REAR SETBACK

ALLEY

50'-0"

19'-4"

20'-4"

25'-8"

28'-4"

46'-2"

160'-0"

EXISTING PRINCIPLE STRUCTURE

1460 SF. FOOTPRINT

28'-8"

49'-8"

50'-0"

50'-0"

NEW 4' CONCRETE WALK

EXISTING FENCE TO REMAIN

18'-0"

EXISTING SIDEWALK

12TH STREET

1116 ORDWAY PL

DADU - BANDY

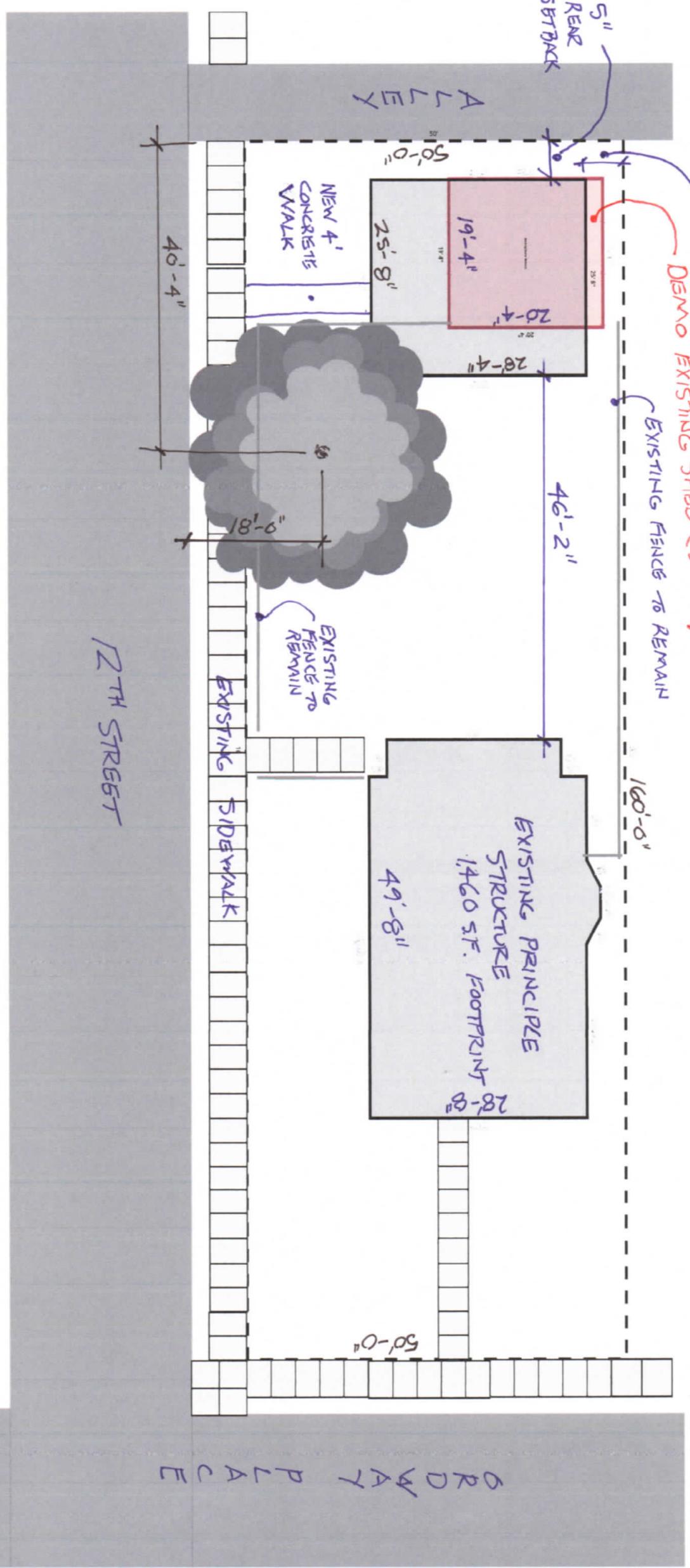
1"

16'-0"

SITE PLAN

NORTH

ORDWAY PLACE



ALLEY

EAST

FRONT ELEVATION - FACING 12<sup>TH</sup> STREET

DADU BANDY 1116 ORDWAY PL

8" SPLIT-JACK CMU

4" CASING  
4" MULLION

4" CONCRETE FLOOR

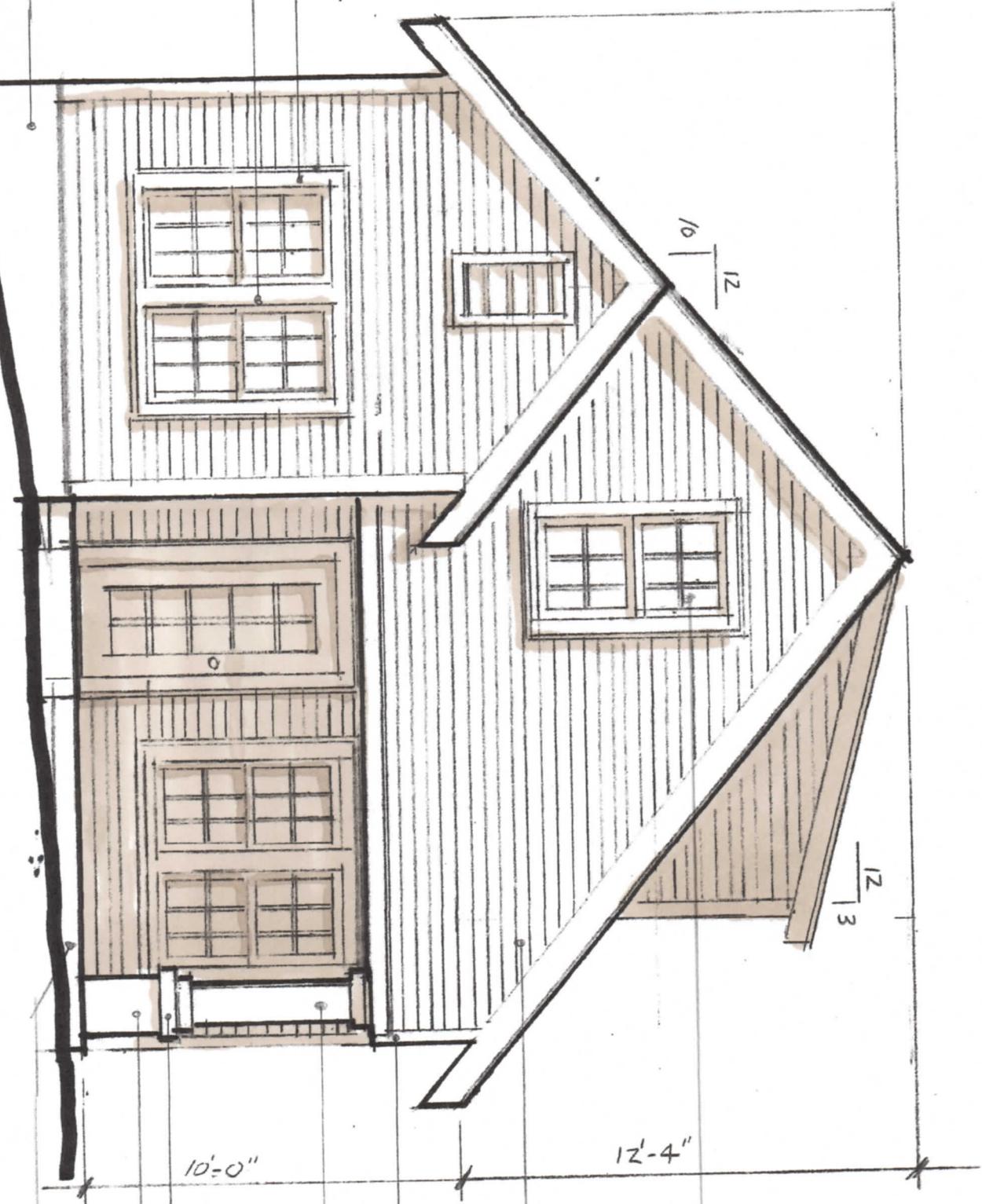
2-4" TBL STONE BASE  
1-4" WIDIS  
4" X 1-8" STONE CAP

12" POST W/ CAP AND BASE

4" C.I.F.S. CORNER BOARD

SMOOTH CEMENT FIBERBOARD SIDING W/ 5" REVEAL

WOOD DOUBLE-HUNG WINDOWS & OVERS & LIGHTS FULLY SIMULATED MUNTINS

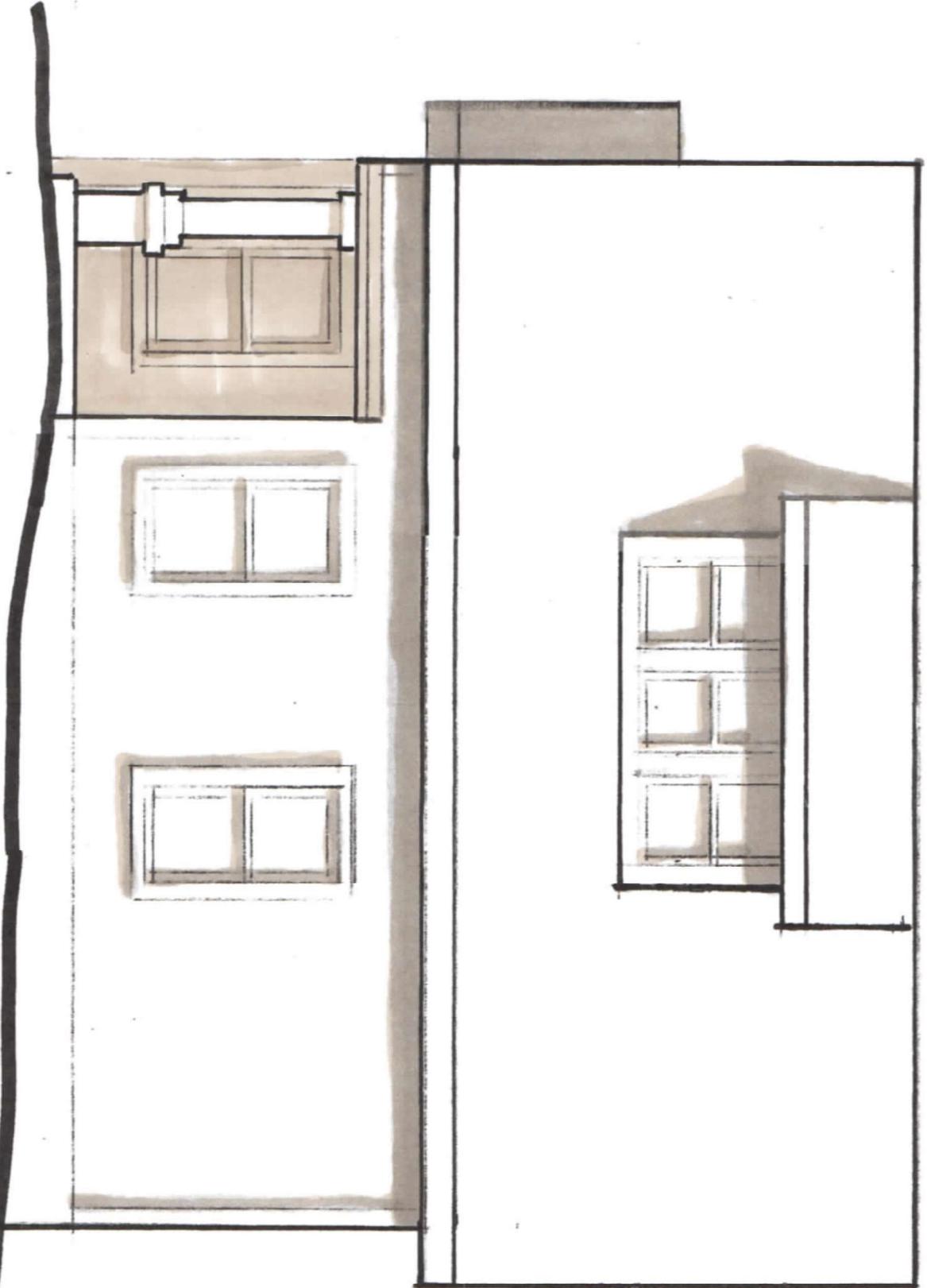


16  
12

12  
3

12'-4"

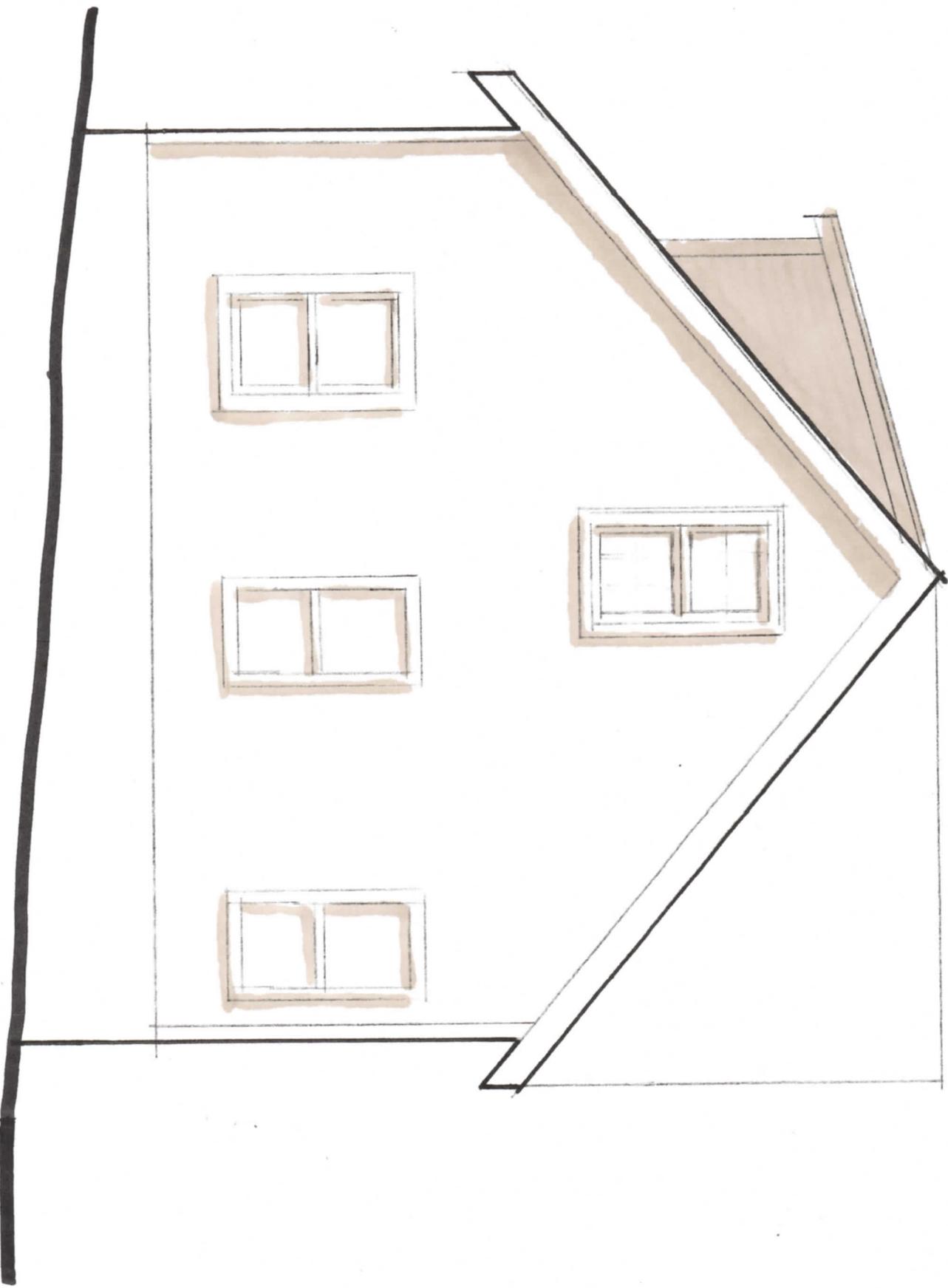
10'-0"



NORTH SIDE ELEVATION - PACING PRIMARY STRUCTURE

1/4" = 1'-0"

DADU  
BANDY  
1116 ORDWAY PL



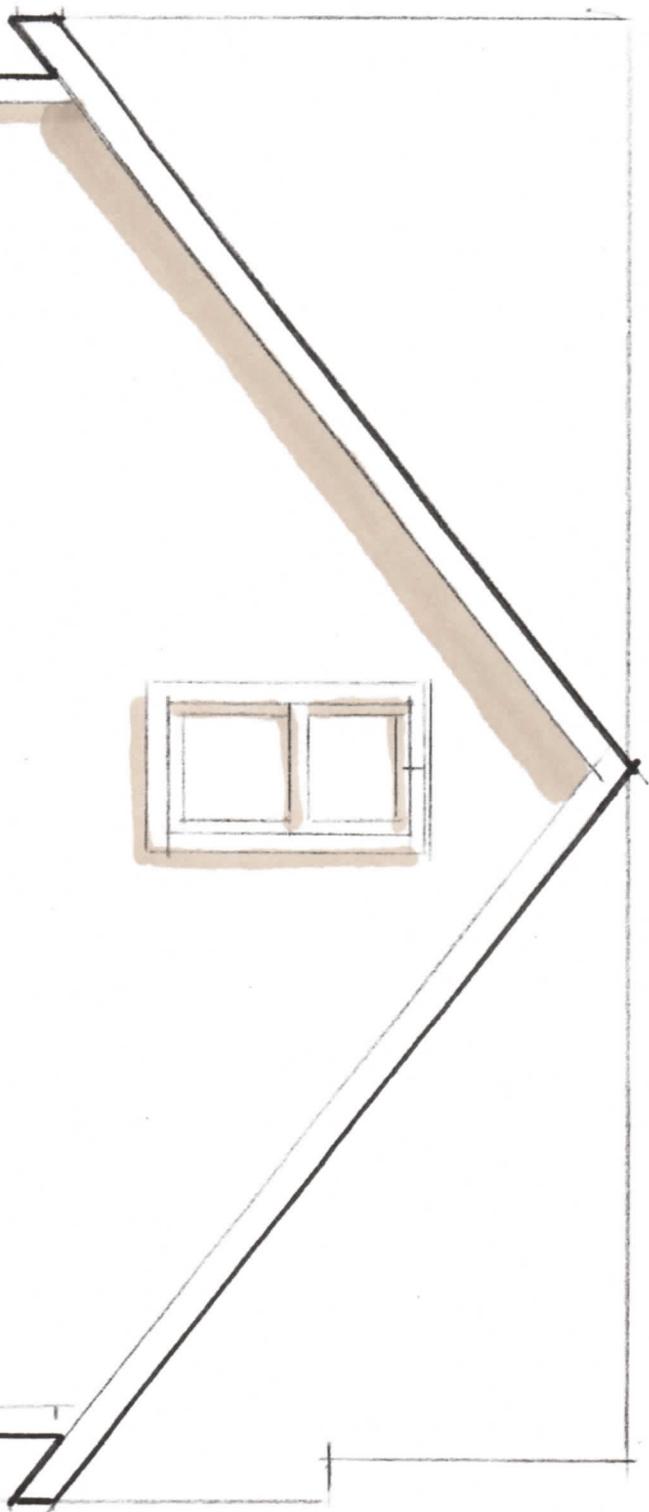
WEST

REAR ELEVATION - FACING NEIGHBOR

1/4" = 1'-0"

ALLEY

DADDY  
BANDY  
1116 ORDWAY PL

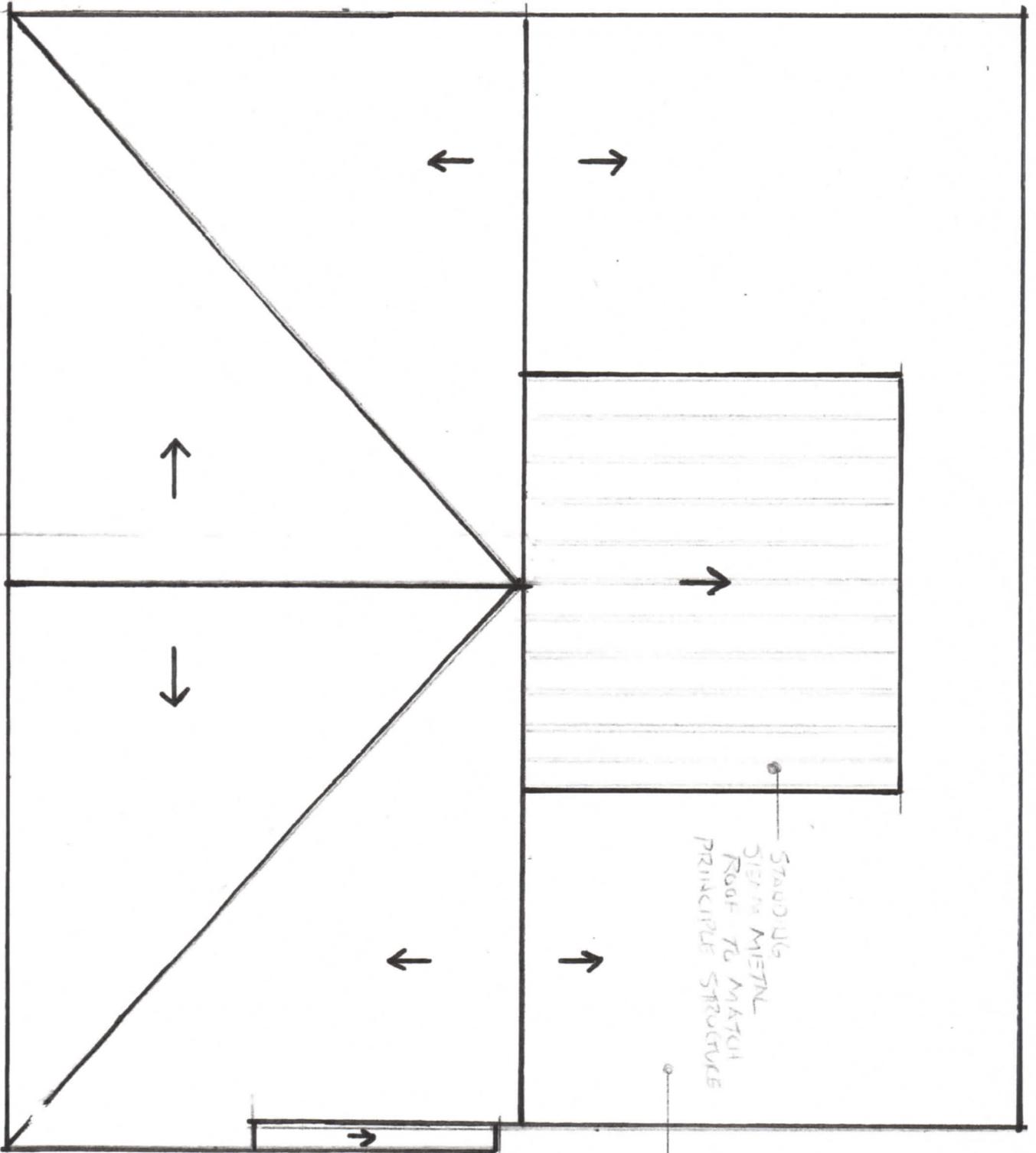


SOUTH SIDE ELEVATION - FACING ALLEY

1/4" = 1'-0"

DADDY  
BANDY  
1116 ORDWAY PL

STREET



ALLEY

ROOF PLAN

1/2" = 1'-0"

1/8" = 1'-0"

DADU  
BANDY  
1116 ORDWAY PL

2nd Floor

$\frac{1}{4}'' = 1'-0''$

DADU - BANDY  
1116 ORDINARY PL

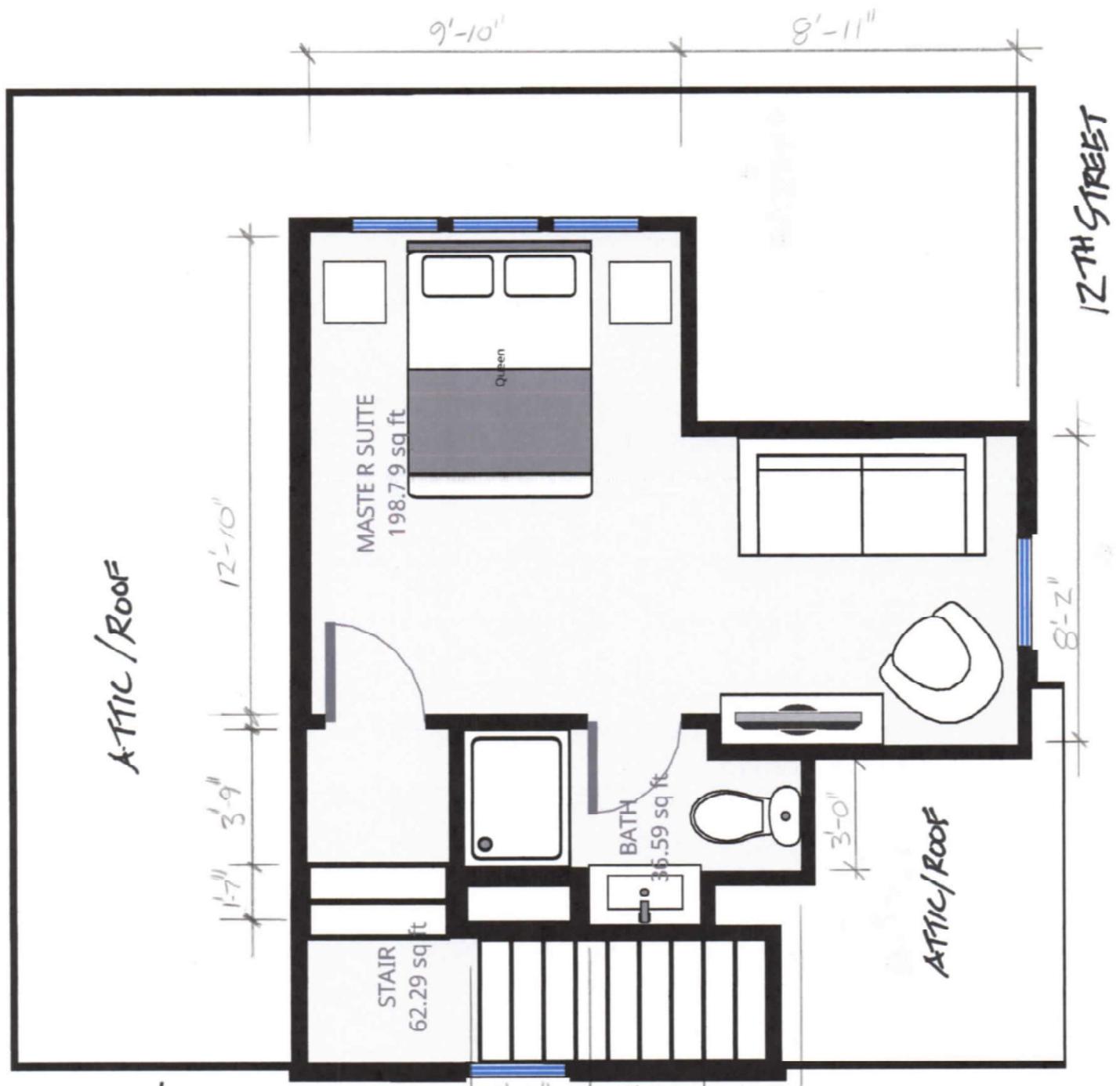
LIVING SPACE

199 MASTER

37 BATH

236 TOTAL

692 TOTAL L.S.



DADU - BANDY  
1116 ORDWAY PL

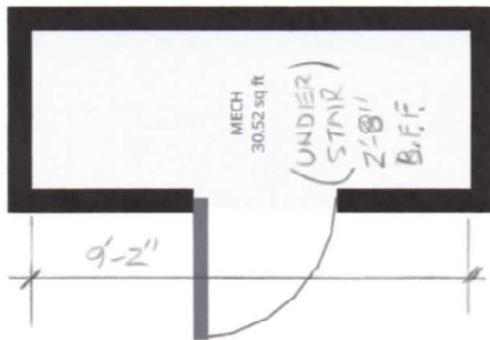
1st Floor

1/4" = 1' = 0"

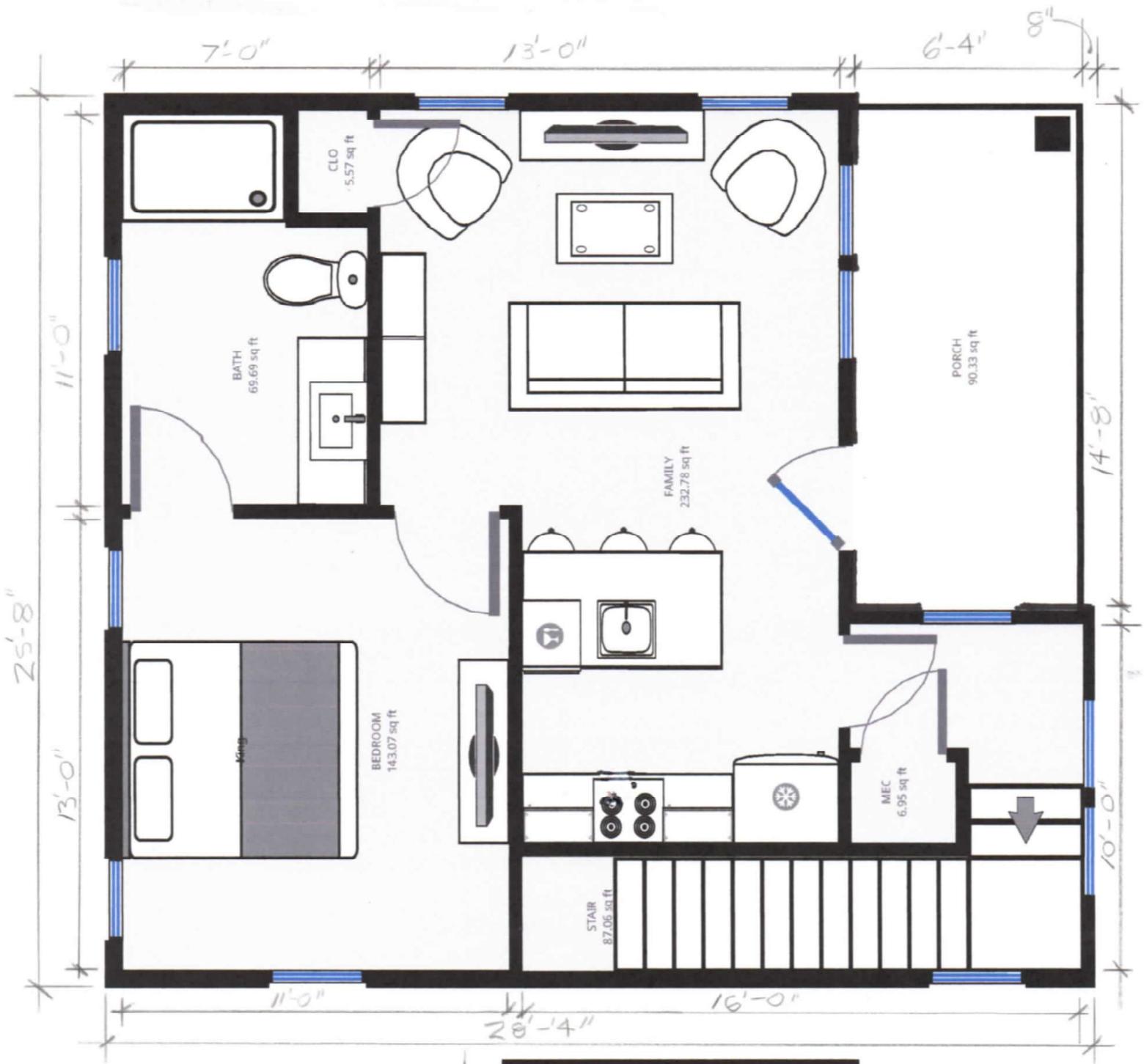
**LIVING SPACE**

143	BEDROOM
70	BATH
6	CLOSET
233	FAMILY
456	TOTAL
717	FOOTPRINT

3'-4"



ALLEY WAY



12TH STREET