

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

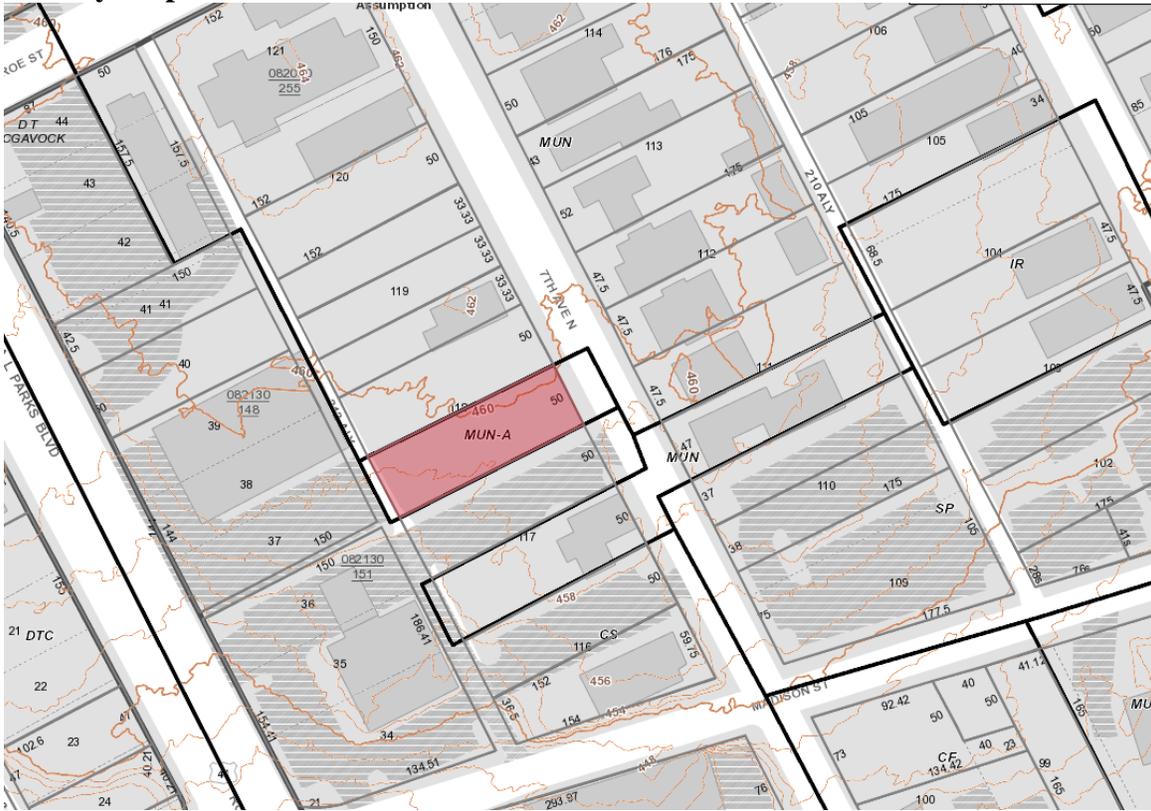
Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 1211 Seventh Avenue North August 16, 2017

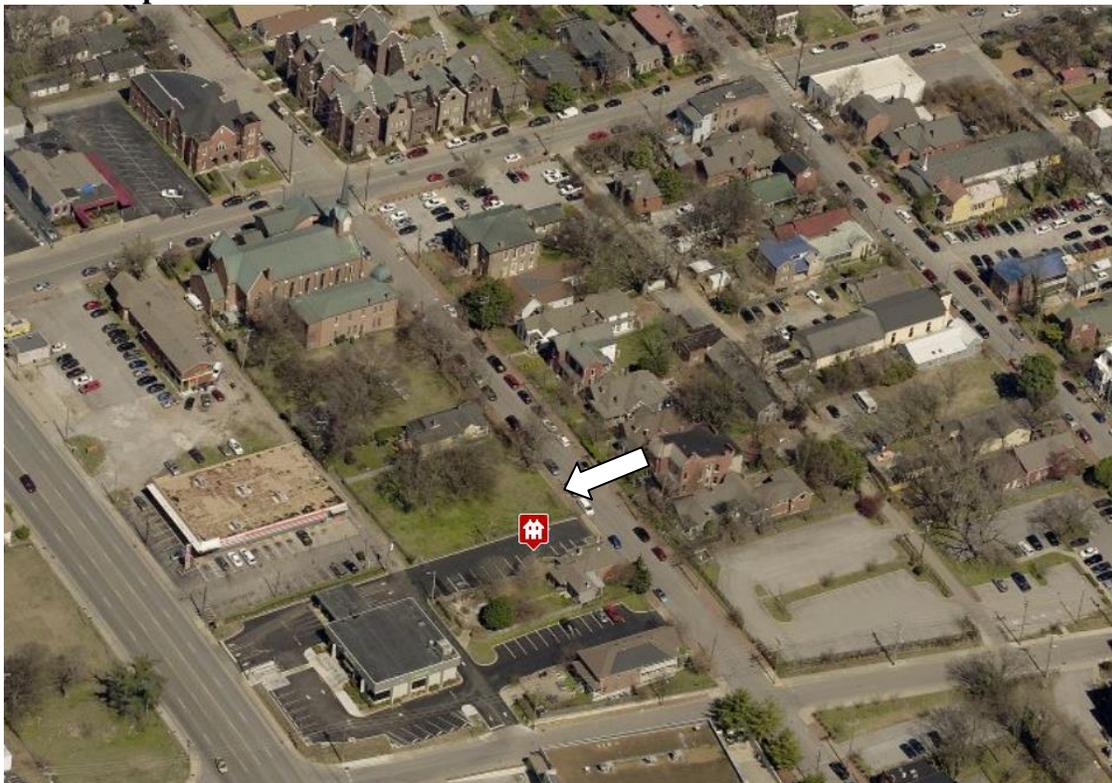
Application: New construction—infill
District: Germantown Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 08213016000
Applicant: Michael Emrick, architect
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

<p>Description of Project: Application is to construct infill on a vacant lot.</p> <p>Recommendation Summary: Staff recommends approval of the project with the following conditions:</p> <ol style="list-style-type: none">1. Staff approve the front setback when it is staked in the field;2. The finished floor height be consistent with the finished floor heights of neighboring historic houses, to be verified by MHZC staff in the field;3. The infill be lowered in height so that it is no taller than thirty-five feet (35') from grade;4. All paired window openings have four to six inch (4"-6") mullions in between them.5. Staff approve all windows and doors prior to purchase and installation;6. Staff approve a brick sample;7. Staff approve roof shingle color and texture;8. Staff approve the material and design of the front porch railing and the Juliet balconies railings on the right façade;9. Staff approve the materials of the front walkway, porch floor, and porch steps;10. The HVAC be located behind the house or on either side, beyond the mid-point of the house; and11. Staff approve the design and materials of all permanent landscape features, including the fences, walls, pavers, walkways, etc. <p>With these conditions, staff finds that the infills meet Sections 2.0 and 5.0 of the <i>Germantown Historic Preservation Overlay: Handbook and Design Guidelines</i>.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

2.0 New Construction within historic context

2.1 General Principles

- 2.1.1 Guidelines apply only to the exteriors of new construction. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets. Non-public facades are those not visible from the public right of way, street or streets. Facades facing the alley are generally not considered public facades.*
- 2.1.2 Construction in Historic Germantown has taken place continuously from the mid-19th through the early 20th centuries and a variety of building styles and types have resulted. New buildings should continue this tradition while remaining compatible with the existing historic context. Because a great variety of historic building forms exist within Germantown, more flexibility in design is possible than might be the case for more architecturally homogenous historic neighborhoods.
- 2.1.3 Because new buildings should relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of the street, a dominance of the pattern and rhythm should be respected and should not be disrupted.
- 2.1.4 New construction should be consistent and compatible with existing buildings along a street in terms of height, scale, setback, relationship of materials, texture and color; roof shape; orientation; and proportion and rhythm of openings.
- 2.1.5 Reconstruction of a historic building which no longer exists may be appropriate if it meets these criteria: it was formerly located on the site on which the reconstruction is proposed; it contributed to the historic and architectural integrity of the area; it was compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the site; and pictorial documentation supports its accuracy.
- 2.1.7 The MHZC does not review paint colors on wood or metal surfaces.
- 2.1.8 Painting of masonry materials is reviewed by the MHZC.

2.2 Site and Building Planning

2.2.1 Setbacks

1. Maintain the prevailing setbacks from the street within a block.
2. When a definite rhythm of spacing along a street is established by existing lot and building width, infill construction shall maintain that rhythm.
3. Wings, porches, and secondary building elements should be at similar setbacks to existing context.
4. Corner Lots: New construction should appropriately address setbacks on both streets.
5. Alley Setback: Setback from any alley (rear or side) shall be a minimum of 5 feet in order to retain the historic urban street character.
6. Corner Commercial: Historic corner commercial buildings within the NR historic district were typically built to the property line/sidewalk. Setbacks for the construction of new corner commercial structures shall be compatible with this historic precedent.

2.2.2 Orientation: The orientation of a structure's primary facade shall be consistent with that of adjacent historic buildings.

2.2.3 Massing and Scale

1. In new construction, the size of a building, its mass in relation to open spaces and its windows, door openings and porches should be visually compatible with the surrounding buildings.
2. The visual mass of the building shall be at or near the same setback as buildings on adjacent sites.
3. When multiple lots or parcels are assembled within the district, buildings shall be designed to be compatible with the adjacent structures. New structures shall employ design techniques that break the facades into multiple vertical elevations.

2.2.4 Height

1. New buildings shall be constructed to a height which is compatible with the height of adjacent buildings. *Characteristics of the following shall be considered in determining compatibility of height; adjacent properties, historical precedent, height of existing historic structures within the District, location within the District, topography and view corridor.*
Generally, historic single-family residential structures are one or two stories in height.

Special features of limited height such as towers or turrets may be acceptable.

Greater height may be appropriate for commercial and multi-family structures, where there is a lack of historic context along a block.

Consideration may be given to the physical characteristics of a property in determining compatible heights (e.g. exceptional topographic condition, lot size and/or lot shape) In such cases, where height may be greater, height is guided by the Germantown Detailed Neighborhood Design Plan, a component of the General Plan of the Government of Nashville and Davidson County, while ensuring an appropriate transition to smaller historically significant buildings that abut or are across the street or alley from a proposed new building.

2.3 Foundations

- 2.3.1 The foundation height shall be visually compatible, by not contrasting greatly, with those of surrounding historic buildings.
- 2.3.2 For new structures, brick, limestone or split-face concrete block may be used for either pier or solid perimeter foundations. Intervening spaces may be filled with an open lattice work.
- 2.3.3 Foundation access doors shall be located on the side or rear of the building. Slab-on-grade foundations may be appropriate for commercial buildings. Slab-on-grade foundations are generally not appropriate for residential infill buildings.

2.4 Walls/Exterior Materials

- 2.4.1 Masonry materials and wood siding were primarily used in the district and should continue to be predominant. Other materials may be used if they possess characteristics similar in scale, design, finish, texture, durability, and detailing to historic materials and meet *The Secretary of the Interior's Standards*.
- 2.4.2 The relationship and use of materials, texture, details and material color of a new building's public facades shall be visually compatible with and similar to or shall not contrast conspicuously with those of adjacent historic buildings.
- 2.4.3 Large expanses of featureless wall surface are not appropriate. It is most appropriate for materials to change between the foundation to the first floor.
- 2.4.4 Exterior Insulation Finish Systems (E.I.F.S) and vinyl siding are not appropriate exterior materials.
- 2.4.5 Traditional brick colors range from dark red-orange to dark red. The use of "antique" reproduction or multi-colored brick is not permitted.
- 2.4.6 Clapboard siding should exhibit an exposure of 3 to 5". Wood or composite siding and trim (ex. Hardi-plank) are appropriate. Composite materials must match the visual and durability characteristics of wood.

2.5 Doors

- 2.5.1 The relationship of width to height of doors and the rhythm of solids (*walls*) to voids should be compatible with surrounding buildings. (*Exterior doors often have transoms, giving them a tall, narrow proportion.*)
- 2.5.2 Primary entrances shall be in locations similar to those used historically for primary entrances.
- 2.5.3 Door openings should be recessed (2" minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
- 2.5.4 Front doors shall be wood and at least half-glass.

2.6 Windows

- 2.6.1 The relationship of width to height of windows and the rhythm of solids (*walls*) to voids should be visually compatible with surrounding buildings. (*Exterior windows are generally tall and narrow in proportion*)
- 2.6.2 Tinted, reflective, or colored glass are generally not appropriate.
- 2.6.3 Window openings should be recessed (2" minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
- 2.6.4 For new commercial structures a significant portion of the street level façade shall be transparent (i.e., doors and windows) to provide visual interest and access for the pedestrian.
- 2.6.5 On corner commercial buildings, glazing shall address both streets.

2.6 Porches / Entrance/ Recessed Entries

- 2.6.1 Primary building entrances should be oriented towards the street.
- 2.6.2 Within the district front porches and recessed entries are common on residential and commercial buildings. New construction (specifically of single and multi family homes) shall provide an entry that utilizes elements of a porch to create a transition from the outside (*public domain*) to the inside (*private domain*).
- 2.6.3 The height of porch roofs shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- 2.6.4 Entrances to commercial buildings should be recessed.

2.7 Roof

- 2.7.1 The roofs of new buildings should be visually compatible by not contrasting significantly with the roof shape, pitch, and orientation of surrounding buildings. (*Predominant roof shapes are gables and hips with slopes ranging from 35 to 50 degrees, 7/12 to 14/12*).
- 2.7.2 Roof-top equipment, skylights, solar panels, and roof penetrations located on or attached to the roof shall be located so as to minimize their visibility from the street. *Generally, they should be placed rear of the mid-point of the building.*
- 2.7.3 Within the district are surviving examples and/or pictorial evidence of commercial, multi-family, and institutional buildings having a low slope roof behind a parapet wall. Therefore, low slope roofs may be appropriate for buildings of similar use within the district.

2.8 Utilities / Mechanical

- 2.8.1 Utility connections such as gas meters, electric meters, electric service mast and power lines, phone, cable, satellite TV and HVAC condenser units should be located so as to minimize their visibility from the street. Exterior utilities and mechanical equipment shall generally be located in the rear or side yard and/or screened when visible from the street.
- 2.8.2 Appurtenances related to new buildings and additions, should be visually compatible with the environment established by surrounding existing buildings and the site on which they are located.

5.0 Site Improvements/ Appurtenances

Site improvements or appurtenances include fences, walls, sidewalks, paving or driveways, parking areas, exterior lighting, utility connections, and other permanent landscape features.
Historic architecturally-significant site improvements should be maintained, and repaired using historically appropriate materials and methods.

5.1 Fences & Walls

Character-defining features of historic fences and stone retaining walls including gates, decorative pickets, finials, and hardware should be preserved. Repair rather than replace fence and wall materials. For irreparable elements replacement features shall match the original features.

- 5.1.2 Fences or walls may be utilized to demarcate property lines and screen private areas from public view.
- 5.1.3 New fences and walled areas shall be compatible with the building site and streetscape in terms of location, height, opaqueness; design, style, materials composition, scale, proportion, color and texture. *Consideration of the physical characteristics of a property and its use will be given in determining appropriate fence heights and location (e.g. exceptional topographic condition, lot location within the District (street corners etc), adjacent to non compatible use, lot size and/or shape)*
Walls of solid masonry construction within the front setback are permitted up to 24" in height.
Fences shall be constructed of wood, metal or masonry. Vinyl is generally not an appropriate fencing material.
The combination of fences and walls in front setbacks shall not exceed 48". Generally side yard fences from the street to a distance of 10' behind the front (public) façade shall not exceed 48".
Side yard fences shall be located a minimum of 10' behind the front (public) façade and shall not exceed 72" in height. (Exception: Fences may be 96" in ht. when the top 24" is open in nature).
Rear yard / privacy fences shall not exceed 72". (Exception: Fences may be 96" in height when the top 24" is open in nature).
- 5.1.4 Coordination of style and materials with adjacent properties is encouraged where appropriate.

5.1.5 In general chain link fencing is not appropriate. Black or dark green chain link fencing may be used for pet enclosures or at the rear of the lot when it is screened from public view.

Background: 1211 7th Avenue North is a vacant lot (Figure 1). There was previously a two-story house on the lot, but that house was demolished sometime before the 1980s.



Figure 1. The vacant lot at 1211 7th Avenue North

Analysis and Findings: Application is to construct new infill on a vacant lot.

Setbacks. The proposed infill meets all base zoning setbacks. It will be a minimum of five feet (5') from the side property lines, and will be close to seventy-five feet (75') from the rear property line. The infill's projecting two-story bay will sit as close as eleven feet, six inches (11'6") from the property line. The main wall of the front façade will sit approximately fifteen feet, nine inches (15'9") from the front property line. Staff finds the front setback to be appropriate. On either side of the lot are vacant properties. The nearest historic houses are 1207 7th Avenue North and 1215 7th Avenue North; 1207 7th Avenue North sits approximately three to four feet (3'-4') from the front property line and 1215 sits about twelve feet (12') from the front property line. Staff finds that the proposed front setback is appropriate given the context, but recommends that the Commission staff approve the front setback when it is staked in the field to ensure its appropriateness. Staff also recommends that the front setbacks of 1207 and 1215 7th

Avenue North be added to the site plan. With these conditions, staff finds that the proposed setbacks meet Section 2.2.1 of the design guidelines.

Orientation. The proposed infill is oriented towards 7th Avenue North, which is appropriate. A walkway will lead from the sidewalk to the front entry. The primary entrance is behind a partial-width porch that is ten feet (10') deep on the front facade. Any vehicular access to the lot will be via the rear alley. Staff finds that the infill's orientation meets Section 2.2.2. of the design guidelines.

Massing, Scale, and Height. The proposed infill will be two stories. Staff finds a two-story form to be appropriate, as the historic house formerly on the lot was two-stories in height, and there are several two-story houses on this block, including, 1210, 1220, and 1226 7th Avenue North, all across the street.

The proposed infill is a maximum height of thirty-five feet (35') above the foundation line and thirty-seven feet (37') from grade. The design guidelines limit the height of new, single family infill houses to thirty-five feet (35'). The Commission has interpreted this guideline to limit the height to thirty-five feet (35') from grade. Staff therefore recommends that the height of the infill be reduced by two feet (2') so that it is no more than thirty-five feet (35') tall from grade.

The proposed infill will have a width of thirty-seven feet (37'). Staff finds this width to be appropriate, as the other two-story houses on this block range in width from thirty-six feet to forty-six feet (36'-46'). The infill will have a primary depth of fifty-nine feet (59'), not including the four feet (4') deep bay on the front façade. It will have a footprint of approximately two thousand, two hundred and eighty square feet (2,280 sq. ft.).

With the condition that the infill be reduced in height so that it is no more than thirty-five feet (35') from grade, staff finds that the height, massing, and scale of the structure meet Sections 2.2.3. and 2.2.4. of the design guidelines.

Foundation. The lot is relatively flat, and the applicant is proposing a two-foot (2') tall foundation constructed of split face concrete block. For all infill, staff recommends that MHZC staff inspect after the foundation has been constructed and again after the first floor system has been constructed to ensure that the foundation and first floor heights are similar to those of the adjacent historic houses. Staff finds that the proposed foundation meets Section 2.3. of the design guidelines.

Materials.

	Proposed	Color/ Texture	Approved Previously or Typical of Neighborhood	Requires Final Review
Foundation	Concrete Block	Split Face	Yes	No
Primary Cladding	Brick Veneer	Unknown	Yes	Yes
Secondary Cladding	Hardie Plank, 5" reveal	Smooth	Yes	No
Primary Roofing	Fiberglass shingles	Unknown	Yes	Yes
Trim	Wood or cement fiberboard	Smooth	Yes	No
Windows	Aluminum Clad	Unknown	Unknown	Yes
Front Doors	Wood, four panel front door salvaged from house previously on lot	Wood	Yes	No
Front Porch Balcony	Wood	Typical	Yes	Yes
Front Porch Floor/ Stairs	Not indicated	Unknown	Unknown	Yes
Front Porch Columns	Wood	Typical	Yes	No
Second story doors above porch	Not indicated	Unknown	Unknown	Yes
Right Façade Juliet Balconies	Not indicated	Unknown	Unknown	Yes
Walkway	Not indicated	Unknown	Unknown	Yes

Staff recommends approval of a brick sample, all windows and doors, the roof shingle color, the material and design of the front porch railing, the front walkway material, and the front porch steps and floor material prior to purchase and installation. With staff's

final approval of all material choices, staff finds that the known materials meet Section 2.4 of the design guidelines.

Windows and Doors. The window and door openings are all appropriately recessed for a brick structure. The applicant intends to install wood front doors that were salvaged from the house previously on the site.

The proposed infill's windows are general twice as tall as they are wide, thereby meeting the historic proportion of window openings. There are no large expanses of walls without a window or door opening. The double window openings are not drawn with four to six inch (4"-6") mullions in between them. Staff recommends that all paired window openings have a four to six inch (4"-6") mullion in between them. The right-side elevation includes French doors with exterior railings. This is typically not appropriate because it creates a version of a Juliet balcony that appears to be flat to the wall rather than projecting; however, the minimally visible location makes this proposal appropriate. With the mullion condition, staff finds that the proposed windows and doors meet Sections 2.5. and 2.6. of the design guidelines.

Porches and Entrances. The primary entrance will be behind a front porch that is ten feet (10') deep. The main porch roof is flat, and the roof of the porch can be accessed via a second story double door. Since the second balcony at the roof is uncovered, staff finds it to be appropriate and to meet the design guidelines. Staff finds that the proposed porch and front entrance meet Section 2.6 of the design guidelines.

Roof. The primary roof form will be a hipped roof with an 8/12 pitch. The front projecting bay will be a gable with an 8/12 pitch. The two side dormers will also be gabled with an 8/12 pitch. These dormers are inset two feet (2') from the wall below and are set three feet, six inches (3'6") off of the roof ridge, keeping the scale of the dormers appropriate. The dormer on the left façade will contain an open balcony rather than windows and walls. The Commission has found dormer balconies to be appropriate in the past when the dormers have been appropriately scaled. In addition, this dormer is located on the side elevation where it will not be highly visible. Staff finds that the proposed roof forms meet Section 2.7 of the design guidelines.

Utilities/Mechanical. No location for the mechanicals and utilities were indicated on the site plan, and staff recommends that they be placed at the rear, or on a side façade behind the midpoint of the house.

Fences, walls, and other appurtenances. No fencing, walls, or other appurtenances were indicated on the site plan. Staff recommends review and approval of all fences, walls, and other appurtenances to ensure that they comply with Section 5.0 of the design guidelines.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

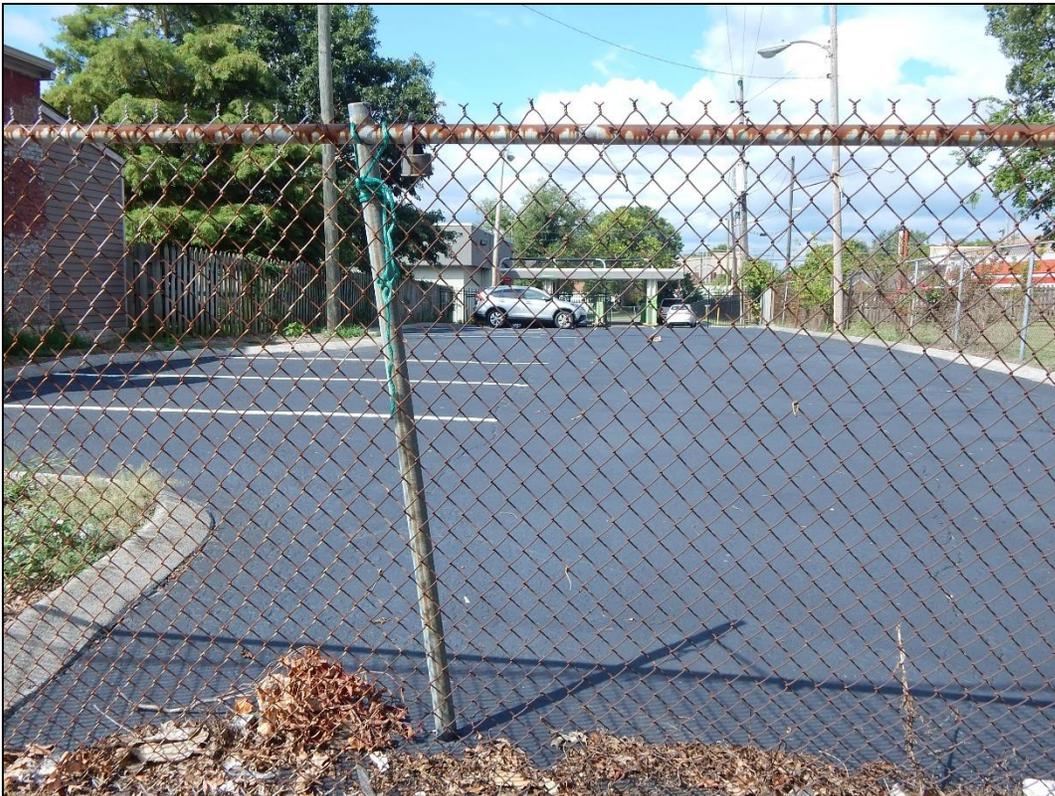
1. Staff approve the front setback when it is staked in the field;
2. The finished floor height be consistent with the finished floor heights of neighboring historic houses, to be verified by MHZC staff in the field;
3. The infill be lowered in height so that it is no taller than thirty-five feet (35') from grade;
4. All paired window openings have four to six inch (4"-6") mullions in between them.
5. Staff approve all windows and doors prior to purchase and installation;
6. Staff approve a brick sample;
7. Staff approve roof shingle color and texture;
8. Staff approve the material and design of the front porch railing and the Juliet balconies railings on the right façade;
9. Staff approve the materials of the front walkway, porch floor, and porch steps;
10. The HVAC be located behind the house or on either side, beyond the mid-point of the house; and
11. Staff approve the design and materials of all permanent landscape features, including the fences, walls, pavers, walkways, etc.

With these conditions, staff finds that the infills meet Sections 2.0 and 5.0 of the *Germantown Historic Preservation Overlay: Handbook and Design Guidelines*.

Context Photos:



1207 Seventh Ave. North c 1855)



1209 Seventh Ave. North



1211 Seventh Ave. North (building site)



1213 Seventh Ave. North



1215 Seventh Ave. North (c1880)



1210 Seventh Ave. North (c1885)



1220 Seventh Ave. North (c18750)



1226 Seventh Ave. North (c1845)



1227 Seventh Ave. North (c1880)

DEPRIEST RESIDENCE

New Residence

1211 Seventh Avenue North, Nashville, TN 37208

1. Drawings Submitted

A-1.1: Site Plan

A-1.2: Foundation Plan

First Floor Plan

A-1.3: Second Floor Plan

Third Floor Plan

A-1.4: Front (East) Elevation

Side (North) Elevation

A-1.5: Rear (West) Elevation

Side (South) Elevation

Section A-A

2. Demolition

No demolition of existing structures necessary as the site is a vacant lot.

3. New Construction / Exterior Materials

.1 Foundation: Split face CMU (above grade)

Walls: Brick veneer

Roof Dormers: Hardi-plank clapboard siding.

.2 Roofing: Fiberglass shingles (not yet selected)

.3 Windows: Double-hung; clad finish, manufacturer and models not yet selected.

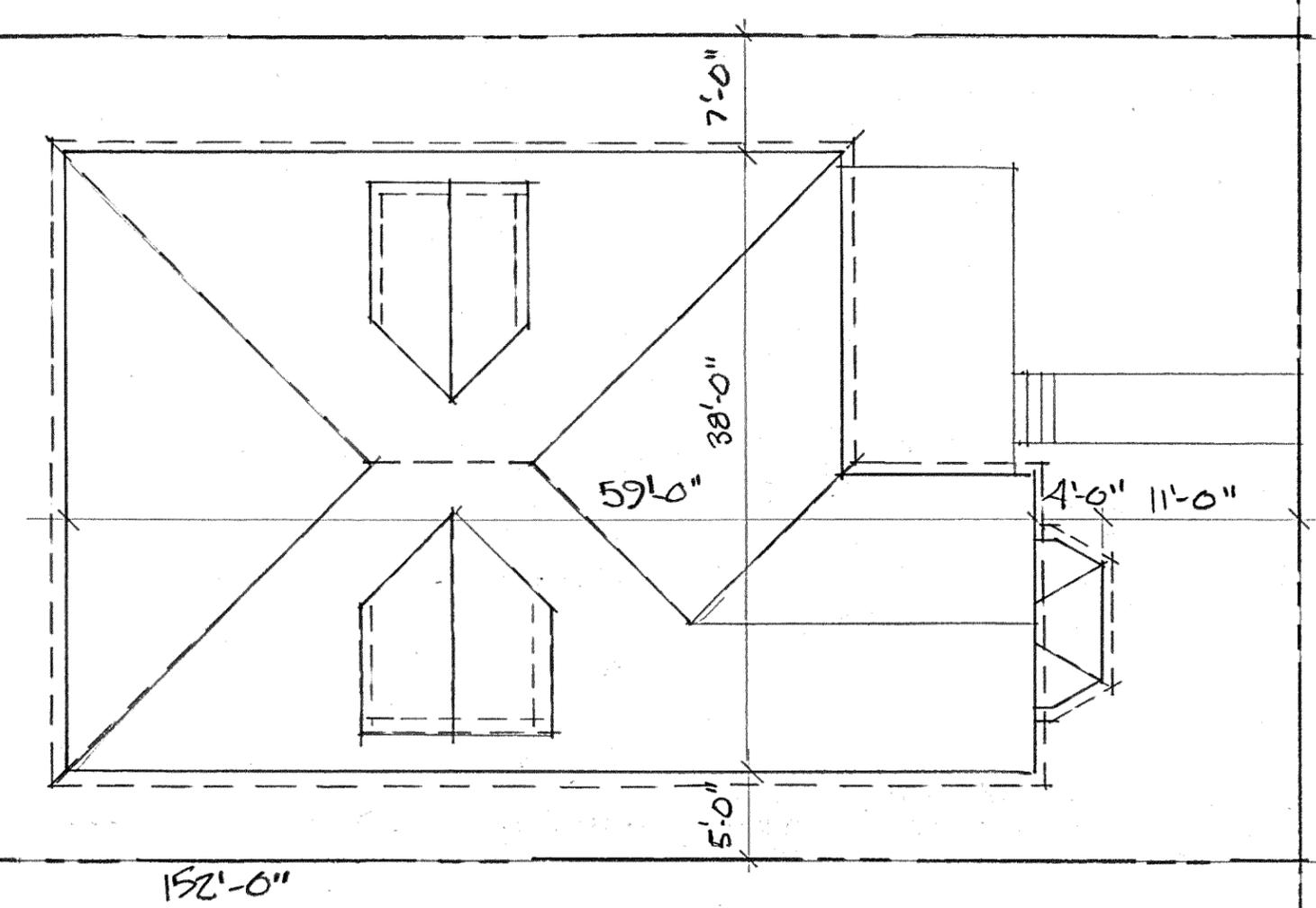
.4 Front Door: possible re-use of the wood 4-panel front door from the house that formerly stood on this site.

4. Site Information and Photographs

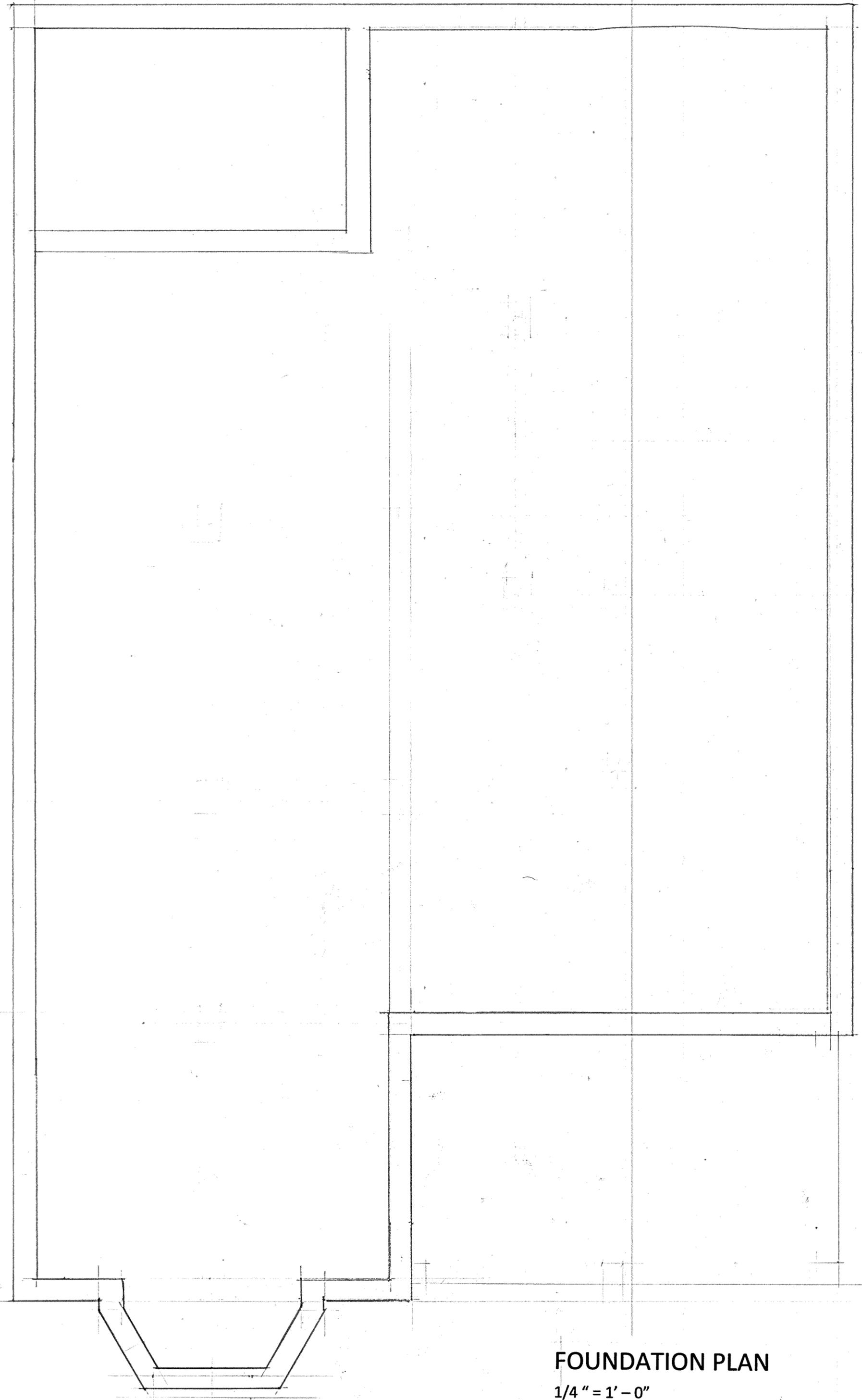
The 1211 building site is currently a vacant lot zoned MUN. To the south is an asphalt paved parking lot used by the Regions Bank on Rosa Parks Blvd. To the north is another vacant lot. The 1908 Sanborn map shows the location of the site (1211 – Site) and the addresses of properties in the following photos.

ALLEY

7TH AVE NORTH

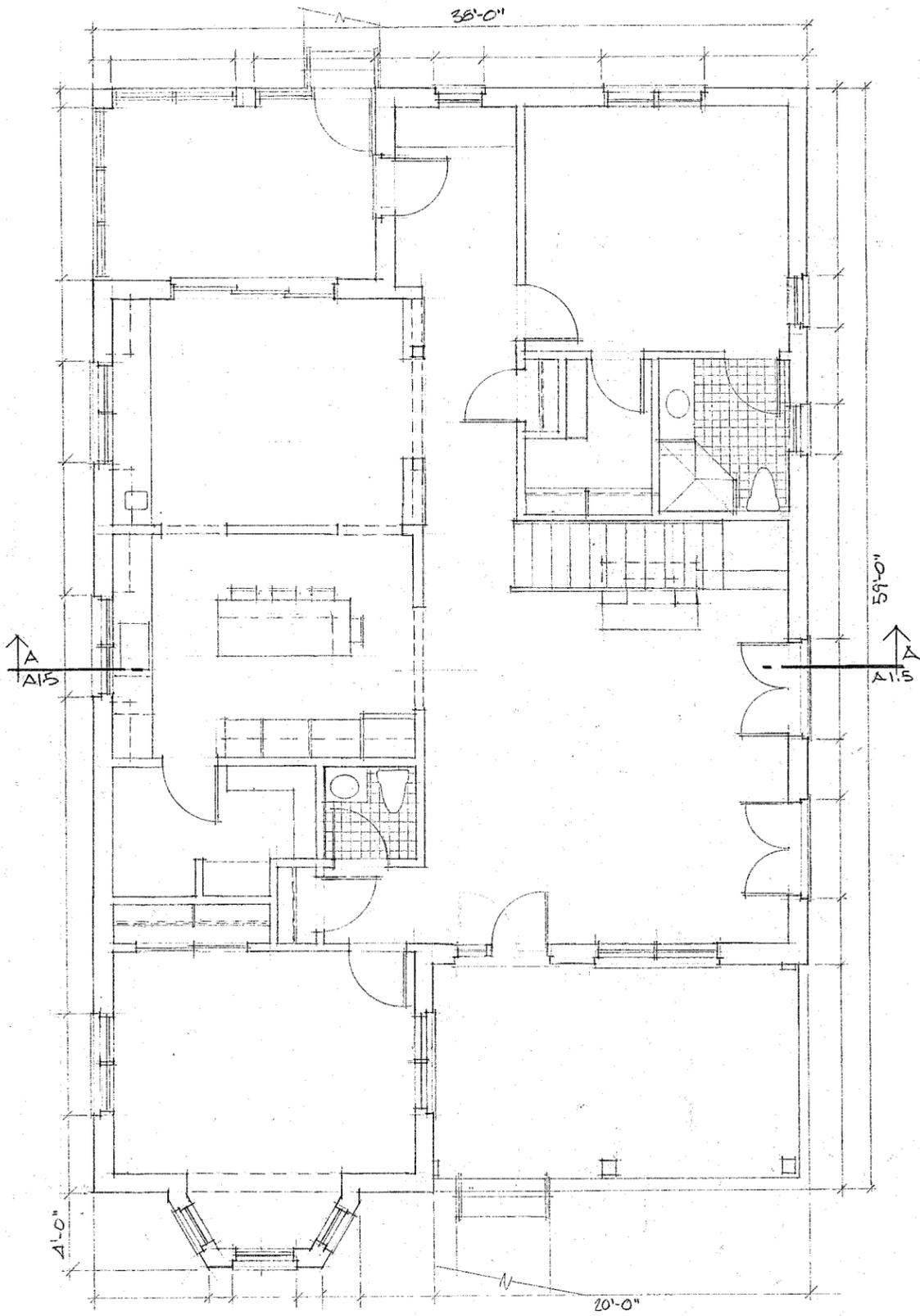


SITE PLAN
1" = 10' - 0"



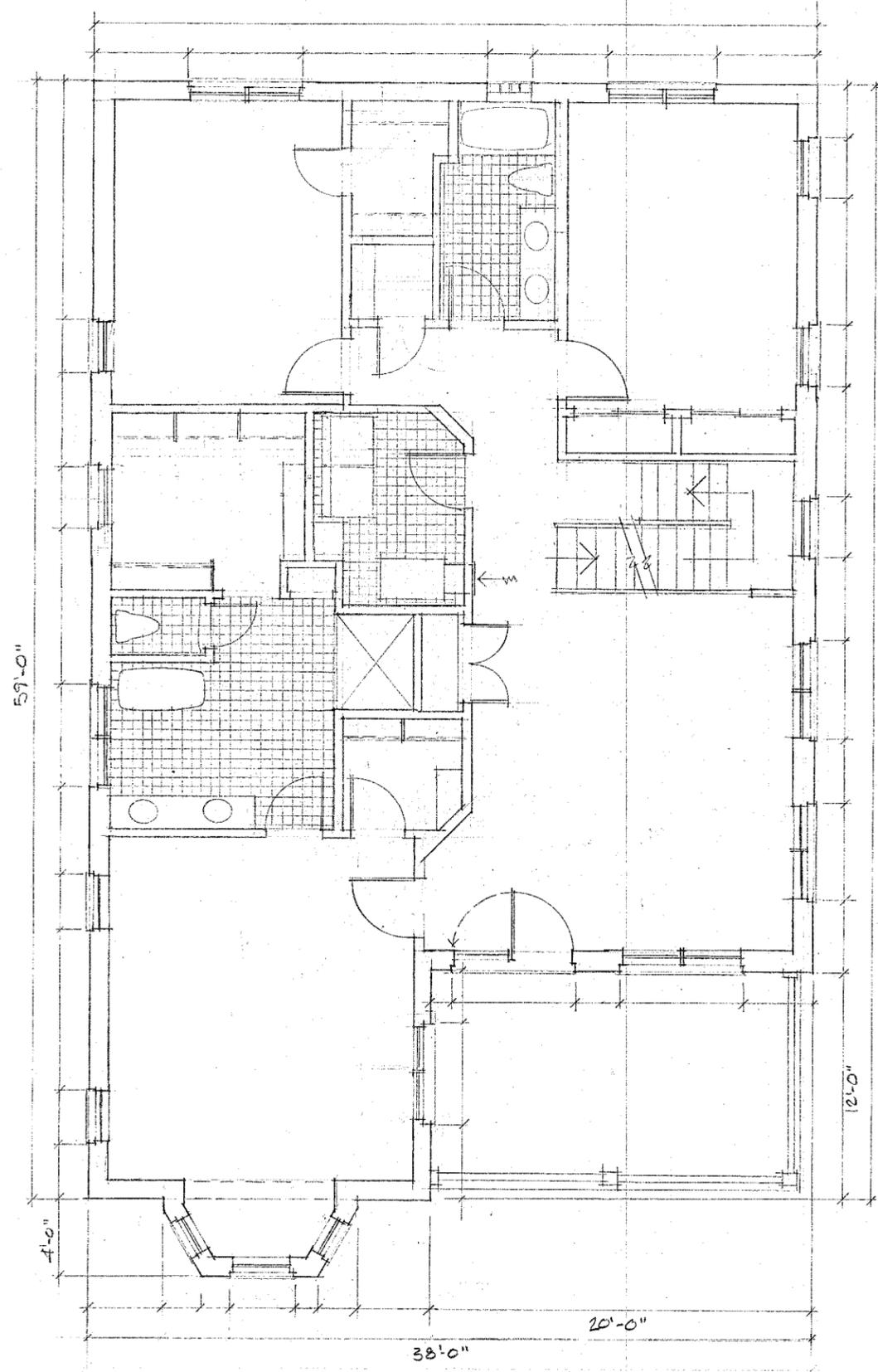
FOUNDATION PLAN

1/4" = 1' - 0"



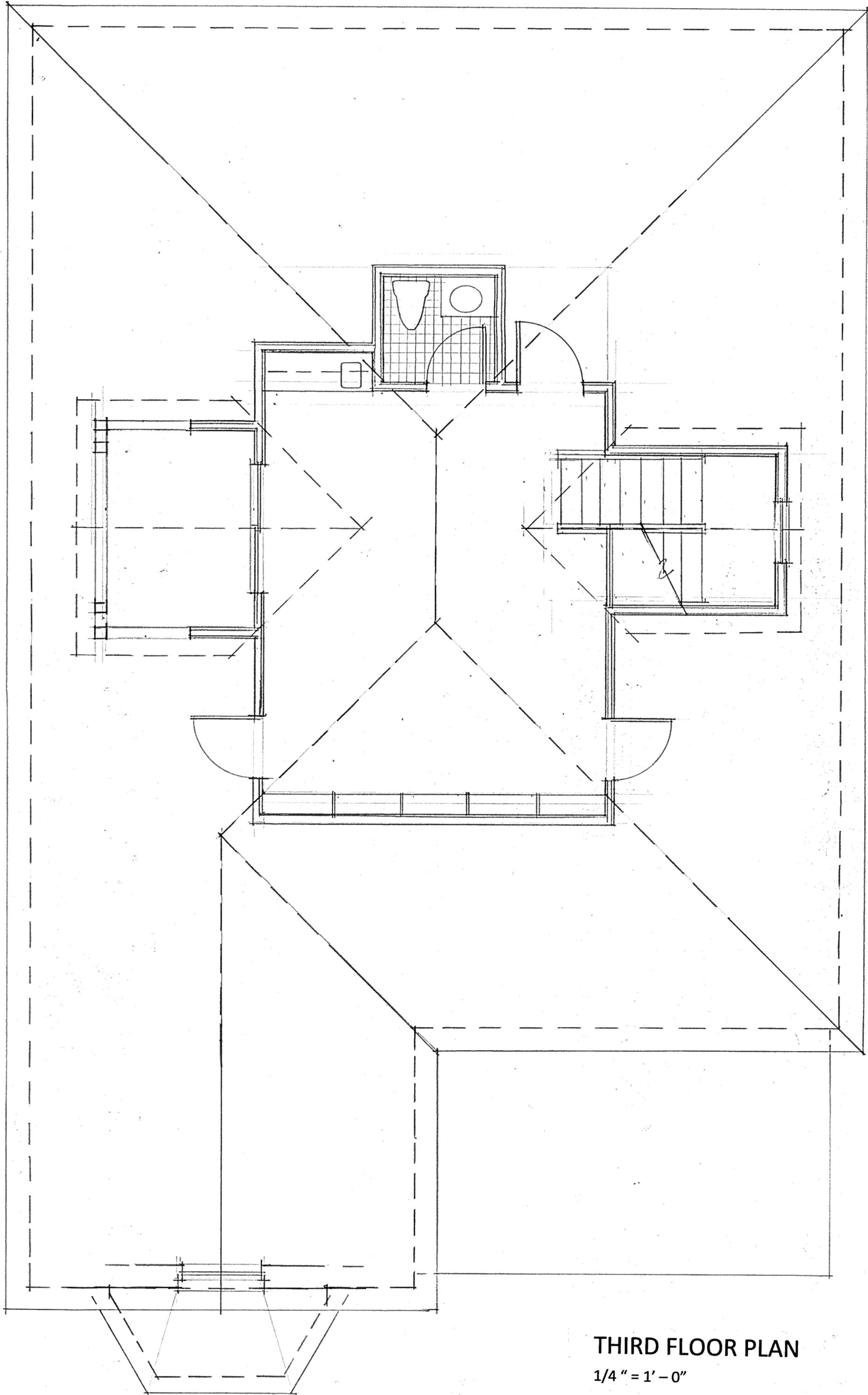
FIRST FLOOR PLAN
1/4" = 1'-0"

Scale 1/8" = 1'0"



SECOND FLOOR PLAN
1/4" = 1'-0"

Scale 1/8" = 1'0"



THIRD FLOOR PLAN

1/4" = 1'-0"



12
8

EAST ELEVATION

1/4 " = 1' - 0"

EAST ELEVATION

1/4 " = 1' - 0"



NORTH ELEVATION

1/4" = 1' - 0"



SOUTH ELEVATION

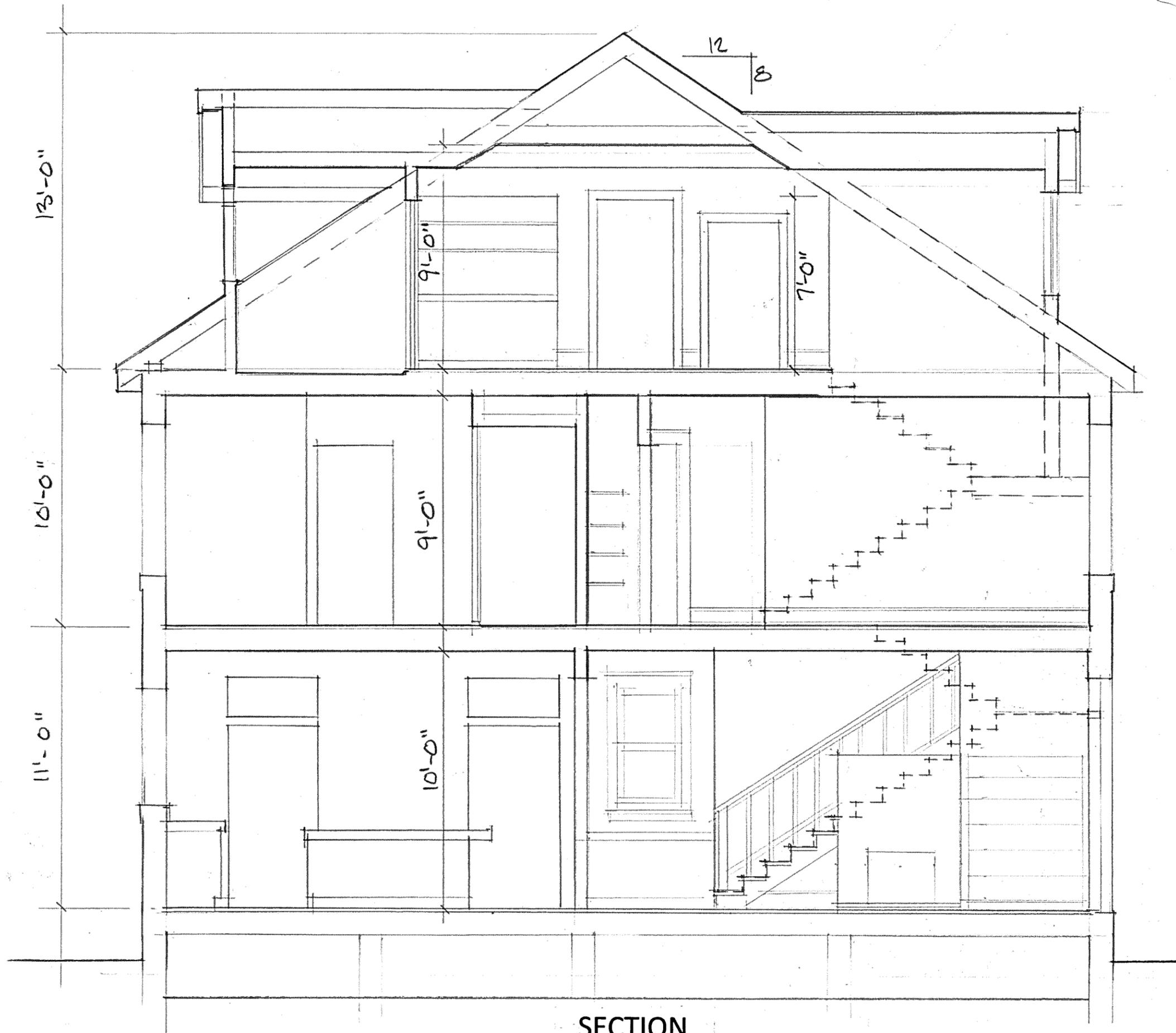
1/4" = 1' - 0"

SOUTH ELEVATION



WEST ELEVATION

1/4 " = 1' - 0"



SECTION

1/4" = 1' - 0"

SECTION