

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
1322 6th Avenue North
August 16, 2017

Application: New construction – outbuilding; Appurtenances – exterior lighting

District: Germantown Historic Preservation Zoning Overlay

Council District: 19

Map and Parcel Number: 08209005400

Applicant: Patrick Bales, Architect

Project Lead: Sean Alexander, sean.alexander@nashville.gov

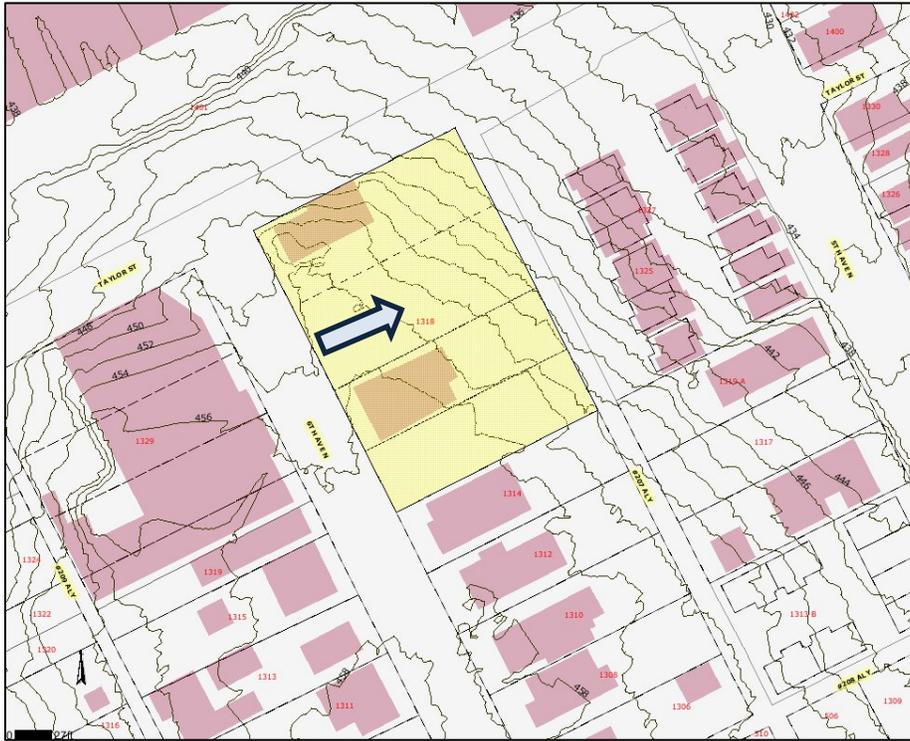
Description of Project: The applicant is proposing to construct a new one-story outbuilding behind a recently constructed commercial building and add a planter box with signage.

Recommendation Summary: Staff recommends approval of the outbuilding, planting box and signage with the condition that bollard lighting or another type of ground lighting be used rather than string lighting, finding the proposal to meet the applicable design guidelines for the Germantown Historic Preservation Zoning Overlay.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

2.0 New Construction within historic context

2.9 Outbuildings / Garages / Carports / Accessory Buildings

- 2.9.1 Historically, outbuildings, garages and carports were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide corner boards and window and door casings (trim).
- 2.9.2 Outbuildings, garages, carports and accessory buildings shall be located to the rear of the property. When a definite rhythm along a street/alley is established by uniform lot and building width, infill construction shall maintain that rhythm.
- 2.9.3 The predominant vehicular access to properties within the District should continue to be through the use of alleys. Garages and carports shall be accessed from the service alley as is typical for historic buildings in the district. For most residential lots new curb cuts on public streets are generally not appropriate. The removal of unnecessary existing curb cuts on primary streets is encouraged. It is acknowledged that in some cases alley access may not be possible or practical. In this case, curb cuts and driveways at the public street should be minimized and the width of parking access should be limited. Curb cuts and driveways shall be located so they are visually less dominant.
- 2.9.4 The design of outbuildings, garages, carports and accessory buildings shall not be visually disruptive to the character of surrounding buildings.
- 2.9.5 The size and mass of outbuildings, garages, carports and accessory buildings in relation to open spaces and its windows and openings shall be visually compatible with the primary building and surrounding buildings.
- 2.9.6 Swimming pools are to be located in the rear yard or appropriately screened from view and set back from the street; fencing around swimming pools required by zoning ordinance must comply with these design guidelines.
- 2.9.8 Portable storage buildings less than 100 square feet are not reviewed by the MHZC.

5.0 Site Improvements/ Appurtenances

Site improvements or appurtenances include fences, walls, sidewalks, paving or driveways, parking areas, exterior lighting, utility connections, and other permanent landscape features.

Historic architecturally-significant site improvements should be maintained, and repaired using historically appropriate materials and methods.

5.4 Exterior Lighting/ Miscellaneous

- 5.4.1 Dumpsters and other trash containers shall be located with techniques that minimize interruption to the sidewalk network and the pedestrian environment. The most appropriate location for dumpster and trash containers is in the rear yard or alley and screened from public view.
- 5.4.2 Exterior lighting fixtures shall be compatible in style, size, scale and material with the character of the structure and neighborhood.
- 5.4.3 Avoid spilling light onto adjacent structures, signs, or properties.
- 5.4.4 Ground mounted light fixtures/spotlights shall be screened from public view.

8.0 Signage

Review is required only for permanent signs that are mounted on the exterior of buildings or anchored freestanding on the property. Signage behind display windows, transoms, and upper story windows, as well as temporary signs, such as sandwich boards and banners, are not reviewed.

Recognizing the importance of signage and building graphics to the business needs of merchants and property owners, the MHZC supports interpretation of the signage guidelines to further the dynamic, creative, entertaining, and often eclectic identity requirements of the Germantown district.

8.1 Design Standards

- 8.1.1 Signage should be placed in locations historically used for signage and should not obscure transoms, columns, cornices, decorative elements, or key architectural features.
- 8.1.2 Signs shall be of quality design and craftsmanship. Wood or painted metal are preferable materials. Low-grade plastics and synthetic materials are discouraged.
- 8.1.3 Awning signage is appropriate for non-residential structures. However, the size of the letters/graphics should not dominate the awning.
- 8.1.4 Signs shall be limited to on-premises signs related to the use or business conducted on the same site.
- 8.1.5 Well-designed hand-painted signs are permitted.
- 8.1.6 Well-designed permanent widow painted signs are permitted.
- 8.1.7 Abandoned, deteriorated, or damaged signs and sign posts shall be removed.
- 8.1.8 The number of signs permitted on a parcel shall be limited to the number of primary building entrances on the parcel plus one for each public street on which the parcel has frontage.
- 8.1.9 Signs for multiple tenant occupancies/multiple businesses shall be of similar material and design.

8.2 Signage not Permitted

- 8.2.1 No billboards or general advertising signs shall be permitted.
- 8.2.2 Marquee type signs for announcements of activities taking place at the location are prohibited (exceptions: churches, schools, and institutional use).
- 8.2.3 Rooftop signs are not permitted.
- 8.2.4 Off-site signs are not permitted.
- 8.2.5 Pole-mounted signs are not permitted.

8.3 Projecting, Blade & Wall Mounted Signs

Projecting signs shall be limited to one per property for each street frontage.

- 8.3.1 Projecting signs should be limited to an area of 16 square feet and should not project more than six feet from the building face. Maximum thickness should be limited to one foot. Their projection should be proportional to the design of the sign and appropriately scaled to the building.
- 8.3.2 Blade signs should not project more than three feet from the building and be no more than one story in height. They should be vertical in their design with a total maximum width of one foot.
- 8.3.3 One wall mounted sign per façade shall be allowed per business occupant. Wall mounted signs should be located between the first and second stories and have a maximum thickness of three inches.
- 8.3.4 Banners and flags that use placement, mounts, and materials compatible to the building may be used. Plastic is not an appropriate material.

8.4 Monument and Freestanding Signs

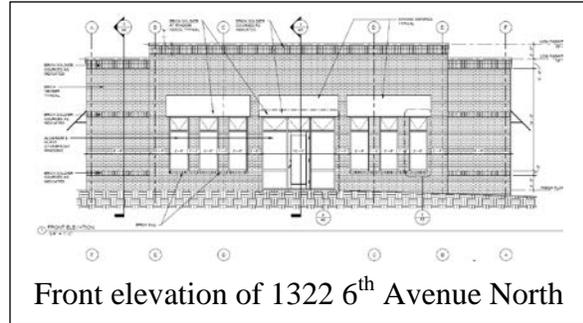
Monument and freestanding signs shall be permitted only when a building sits more than 20 feet from a public street.

- 8.4.1 Business signs shall be limited to one (1) sign for each street frontage per premises. Monument signs shall be limited to a height of 6', a thickness of 12", and a total area of 16'.

8.5 Sign Illumination

- 8.5.1 No sign that flashes, blinks, revolves, races, or is put in motion by the atmosphere shall be permitted. No visible bulbs, luminous paints, or plastics will be permitted as part of any New signs shall be either spotlighted, externally lit or backlit with a diffused light source.
- 8.5.3 Spotlighting should completely shield all light sources. Lights should be contained primarily within the sign frame.
- 8.5.4 Back-lighting should illuminate only letters, characters or graphics on the sign, not the sign background.
- 8.5.5 Neon is permitted only as lighting for channel letters on projecting and blade signs.
- 8.5.6 Buildings and signs may be illuminated by remote light sources, provided that these light sources are shielded to protect adjacent properties.

Background: The principal building at 1322 6th Avenue North is a one-story commercial building approved by the MHZC in 2016. Construction on the building is nearing completion. The rear yard of the property contains a courtyard behind the building and a parking lot at the rear of the property, divided by a wooden fence parallel to the street.



Analysis and Findings: The applicant proposes to construct an outbuilding in the rear yard of the property. The building will be attached to a fence serving as the rear wall, and will have side walls and a roof but will be open on the front.

Building location:

The outbuilding will be located at the rear of the courtyard with eighteen feet (18') of separation between it and the principal building. Staff finds the location to be appropriate and to meet section 2.9.2 of the design guidelines.

Mass and Scale, Height:

The new building will be one story, matching the width of the principal building at fifty-seven feet (57') with a depth of ten feet (10'). Staff finds the area of the five hundred, seventy square foot (570 sq. ft.) outbuilding to be appropriate. The maximum height of the building will be nine feet, two inches (9'-2") which is also appropriate. Staff finds the scale of the proposed outbuilding to meet section 2.9.5 of the design guidelines for outbuildings.

Walls/Exterior Materials:

The building will resemble a pole shed with wooden posts, wood flush-plank side walls, attaching to the existing wooden fence so that it serves as the rear wall. There is no front wall. The shed roof of the building will be canvas. Canvas is not a typical roofing material for outbuildings, however the roof will be a shed sloping to the rear therefore it will not be visible from the public right-of-way. Staff finds the materials of the proposed outbuilding to be appropriate and to meet section 2.9.1 of the design guidelines.

Roof:

The roof of the outbuilding will be a shed sloping down to the rear, with a height of nine feet (9'-2") at the front and seven feet (7') at the rear. Staff finds this to be appropriate for outbuildings and to meet section 2.9.1 of the design guidelines.

Site Improvements /Appurtenances:

The proposal includes a permanent planter with attached bench seating located between the proposed outbuilding and the existing building. The planter will be four feet (4') deep and fifteen feet (15') wide, and four feet (4') tall, with a sign-above it. The planter and sign will be wood, and will be located in the center of the courtyard and will not be

visible from the right-of-way. This is a permanent landscape feature, but wood is common for landscape furniture and the location is obscured by the principal building so it will be compatible with the historic context. The project meets section 5.0 for site improvements.

Signage:

The sign will be located in the planter box, described previously, and so is also not visible from the public right-of-way. The sign will not have internal or directed illumination, but will be lit indirectly by lighting described below. Staff considered the signage “directional signage” since it does not display the name of the business and is not located towards either street frontages and so did not review it in terms of appropriate number of signs or sign location. It does not meet the requirements for “signage not permitted” and is appropriate in terms of lighting and materials. Staff finds the feature and signage to meet sections. 8.2

Illumination:

String lighting will be hung across the courtyard from the planter sign to the principal building and the new outbuilding. Staff is concerned that this type of lighting does not meet section 5.4.2 which calls for lighting to be compatible in style, size, scale and material with the character of the structure and neighborhood. (In addition, the lighting may not meet code section 17.28.100 which does not allow for “excessive rope lighting,” which includes “strand lighting, lite ropes, flexible impact lighting, tubular lighting, string lighting, or other similar forms of illumination.”) Staff recommends bollard type lighting for the rear patio which will meet section 5.4.2, section 5.4.3 because it does not spill into adjacent properties and section 5.4.4 because it is ground mounted and screened from public view.

Recommendation Summary: Staff recommends approval of the outbuilding, planting box and signage with the condition that bollard lighting or another type of ground lighting be used rather than string lighting, finding the proposal to meet the applicable design guidelines for the Germantown Historic Preservation Zoning Overlay.

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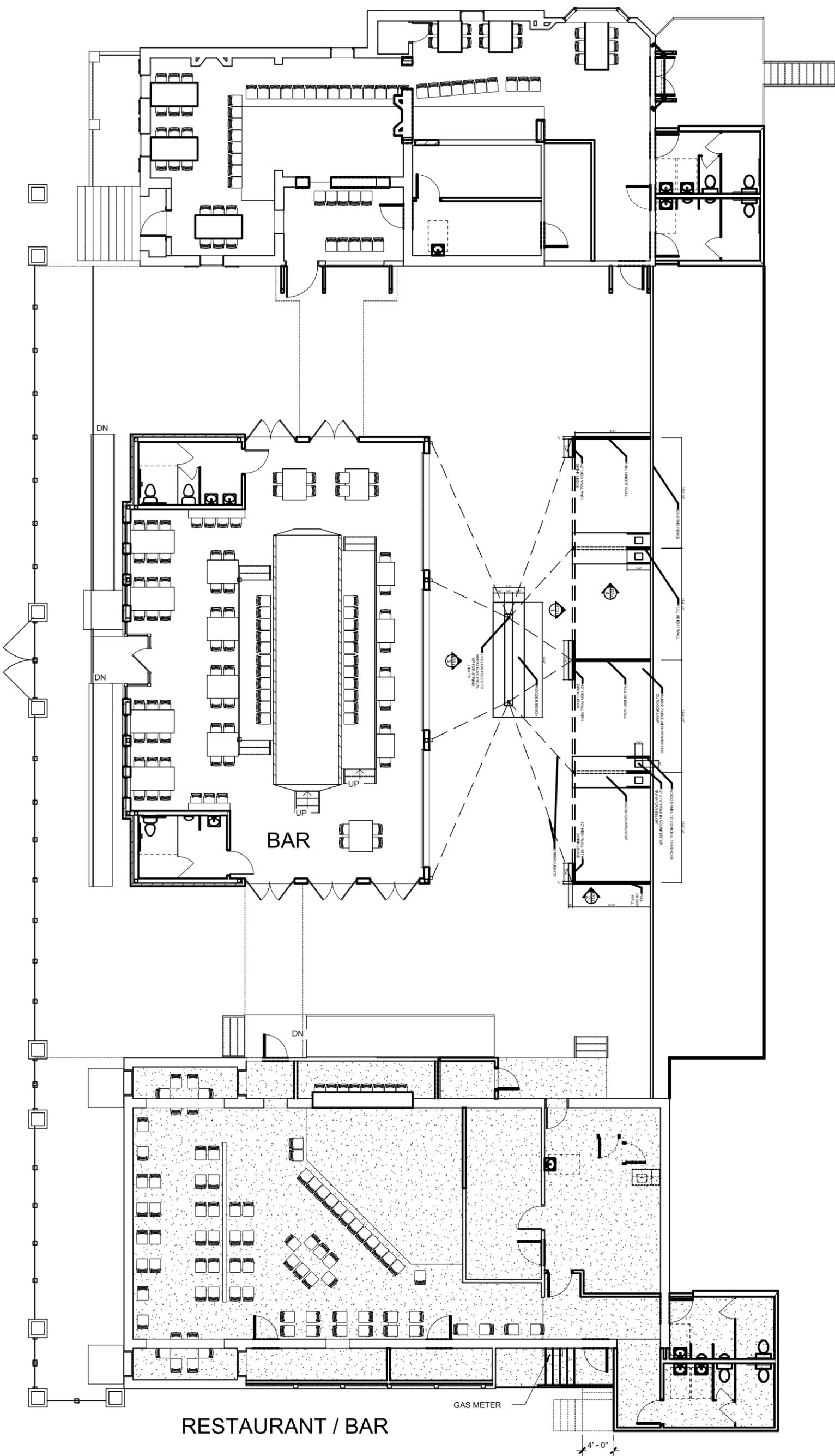


Right-front view of the recently completed infill at 1322 6th Avenue North. The proposed outbuilding or “cabana” is to be located front of the wooden fence behind the building.



View of courtyard from the left-front of the building.

RESTAURANT / BAR



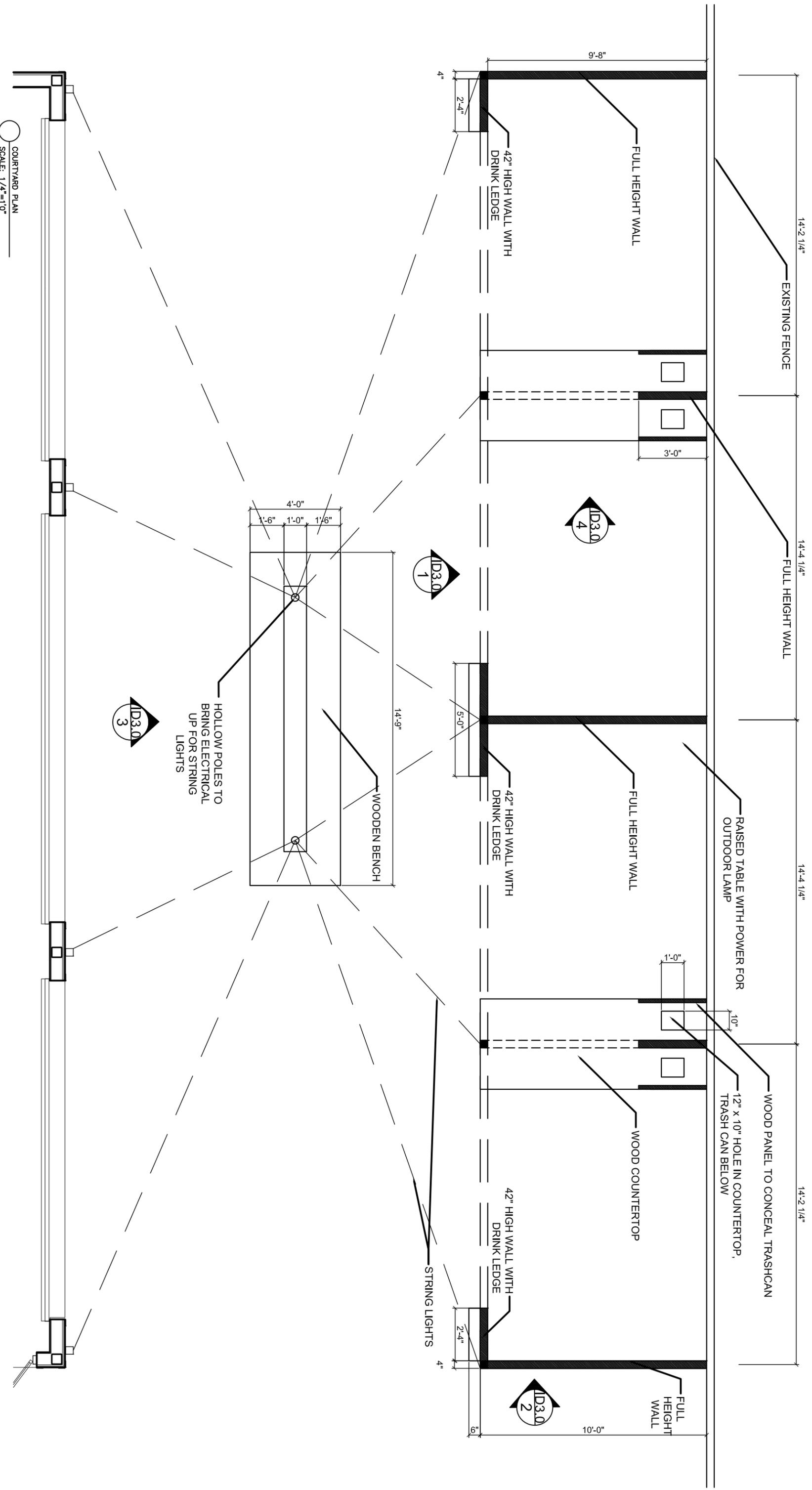
RESTAURANT / BAR

4'-0"



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GERMANTOWN BAR
 COURTYARD LAYOUT
 NOT TO SCALE | 07/10/2017
 REVISION 1 | 08/03/2017

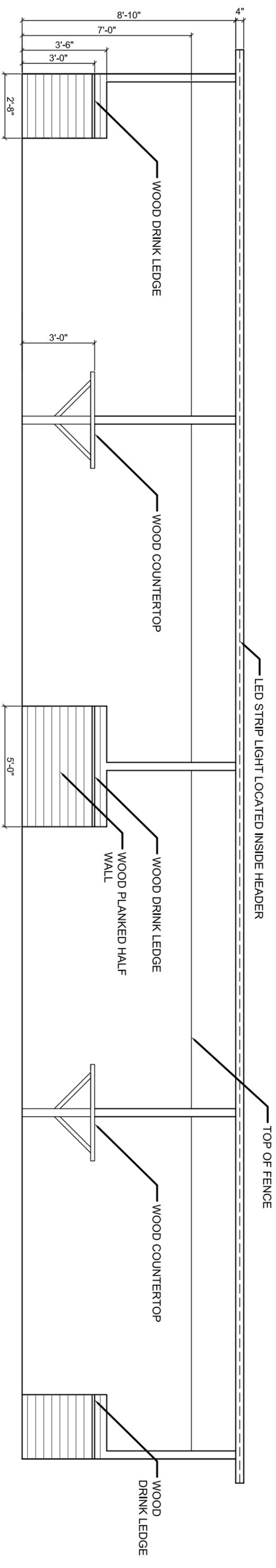


COURTYARD PLAN
SCALE: 1/4"=1'-0"

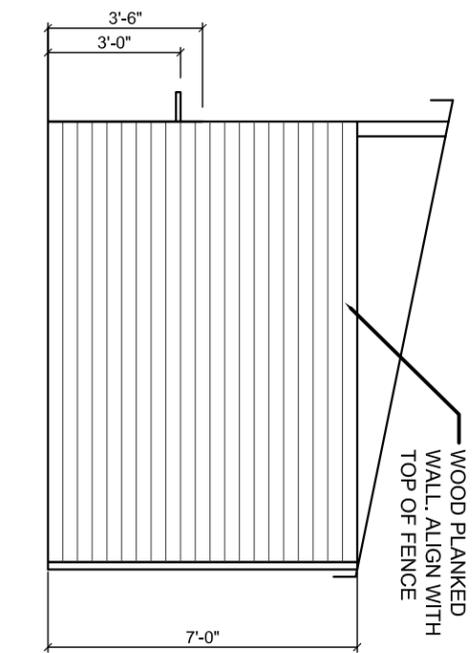


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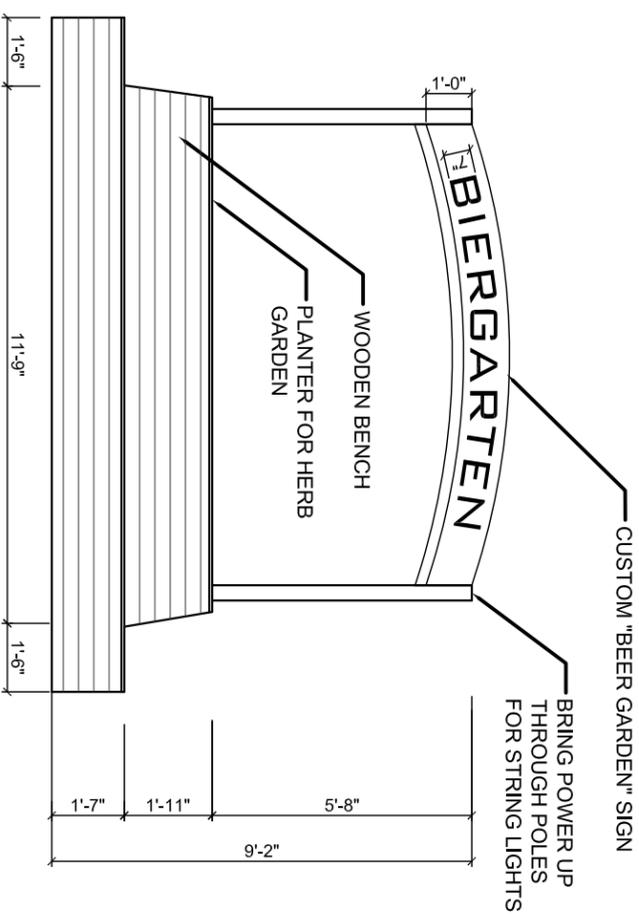
GERMANTOWN BAR
COURTYARD LAYOUT - ENLARGED PLAN
SCALE: 1/4" = 1'-0" | 07/10/2017
REVISION 1 | 08/03/2017



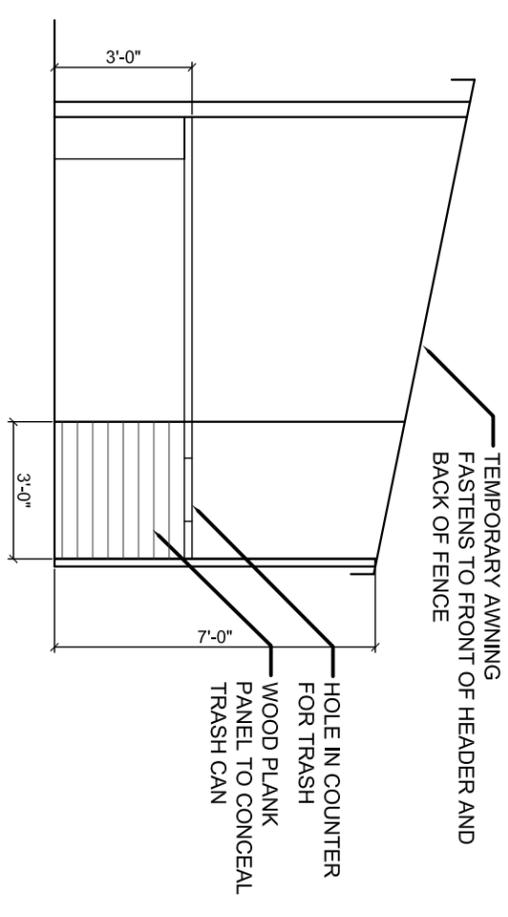
1 ELEVATION - CABANA FRONT VIEW
SCALE: 1/4"=1'0"



2 ELEVATION - CABANA SIDE WALL
SCALE: 1/4"=1'0"



3 ELEVATION - OUTDOOR BENCH
SCALE: 1/4"=1'0"



4 ELEVATION - CABANA INTERIOR WALL
SCALE: 1/4"=1'0"



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GERMANTOWN BAR
COURTYARD LAYOUT - ELEVATIONS
SCALE: 1/4" = 1'-0" | 07/10/2017
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