

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

STAFF RECOMMENDATION
4503 Park Avenue
August 16, 2017

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

Application: Demolition; New construction – addition; Setback determination

District: Park and Elkins Neighborhood Conservation Zoning Overlay

Council District: 24

Map and Parcel Number: 09116004300

Applicant: Gina Emmanuel, Architect

Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant proposes to demolish a non-contributing outbuilding and to enlarge the principal building with a rear addition. Because the existing house sits less than five feet (5') from the right side property line, a determination on the appropriateness of the setback is required.

Recommendation Summary: Staff recommends approval of the application to demolish the outbuilding and construct a rear addition with the proposed setback with the following conditions:

1. The front of the taller gable of the addition shall be clipped to reduce the perceived height; and
2. Staff shall approve the final selections of windows, doors, and roofing prior to purchase and installation.

With these conditions, staff finds that the project meets the design guidelines for additions in the *Park and Elkins Neighborhood Conservation Zoning Overlay*.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different exterior cladding. Additions not normally recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic structures that increase space or change exterior height should be compatible by not contrasting greatly with adjacent historic buildings.

Placement

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Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

In order to assure that an addition has achieved proper scale, the addition should:

- *No matter their use, not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.*
- *Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*

- *When an addition ties into an existing roof it should be a minimum of 6" off the existing ridge.*

- *Generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*

- *An extreme grade change*
- *Atypical lot parcel shape or size*

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.

When an addition needs to be taller:

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.

When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.

In addition, a rear addition that is wider should not wrap the rear corner.

Ridge raises

Ridge raises are most appropriate for one-story, side-gable buildings, (without clipped gables) and that require more finished height in the attic. The purpose of a ridge raise is to allow for conditioned space in the attic and to discourage large rear or side additions. The raised portion must sit in a minimum of 2' from each side wall and can be raised no more than 2' of total vertical height within the same plane as the front roof slope.

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

Dormers

Dormer additions are appropriate for some historic buildings as they are a traditional way of adding ventilation and light to upper stories.

The addition of a dormer that would require the removal of historic features such as an existing dormer, chimneys, cupolas or decorative feature is not appropriate.

Rear dormers should be inset from the side walls of the building by a minimum of two feet. The top of a rear dormer may attach just below the ridge of the main roof or lower.

Front & Side dormers should be compatible with the scale and design of the building. Generally, this can be accomplished with the following:

- *New dormers should be similar in design and scale to an existing dormer on the building.*
- *New dormers should be similar in design and scale to an existing dormer on another historic building that is similar in style and massing.*
- *The number of dormers and their location and size should be appropriate to the style and design of the building. Sometimes dormer locations relate to the openings below. The symmetry or lack of symmetry within a building design should be used as a guide when placing dormers.*
- *Dormers should not be added to secondary roof planes.*
- *Eave depth on a dormer should not exceed the eave depth on the main roof.*
- *The roof form of the dormer should match the roof form of the building or be appropriate for the style.*
- *The roof pitch of the dormer should generally match the roof pitch of the building.*
- *The ridge of a side dormer should be at least 2' below the ridge of the existing building; the cheeks should be inset at least 2' from the wall below or adjacent valley; and the front wall of the gable should setback a minimum of 2' from the wall below. (These minimum insets will likely be greater than 2' when following the guidelines for appropriate scale.)*
- *Dormers should generally be fully glazed and aprons below the window should be minimal.*
- *The exterior material cladding of side dormers should match the primary or secondary material of the main building.*

Side Additions

- b. When a lot width exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.

Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.

To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

c. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that original form and openings on the porch remain visible and undisturbed.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

d. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

e. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

f. Additions should follow the guidelines for new construction.

III.B. DEMOLITION

1. Demolition is not appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

2. Demolition is appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or

Generally, non-historic (non-contributing) structures may be demolished for new construction that will have a more historically appropriate effect on the district.

- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

Background: The house at 4503 Park Avenue is a Craftsman style bungalow constructed circa 1925 that contributes to the historic character of the Park and Elkins Neighborhood Conservation Zoning Overlay. The house has been enlarged with a front dormer addition after 2011 and a rear dormer addition in 2014 but the integrity of the building is otherwise intact.



Figure 1: Front of existing house.

Analysis and Findings: The applicant proposes to construct a rear addition which would require a side setback determination. Base zoning requires a five foot (5') side setback and the applicant is proposing a two foot, six inch (2'-6") setback on the right side. A non-historic detached garage will also be demolished.

Demolition: The project involves demolishing a portion of the existing rear wall of the building. This portion of the principal building cannot be seen from the right-of-way. The application also includes demolition of a non-contributing garage. The exact date of construction is not known, however, the materials, form and style denote a recent date of construction. Staff finds that this partial demolition of the addition and demolition of the garage meets Section III.B.2 for appropriate demolition and does not meet section III.B.1 for inappropriate demolition.



Figure 2: Garage proposed to be demolished.

Height & Scale: The new addition will be stepped from the sides of the house by eight feet (8') on the left side and seven feet, nine inches (7'-9") on the right. After extending back six feet (6') the addition will step back out six feet, six inches (6'6") on the left and on the right to align with the right wall of the house. The primary mass of the addition will extend another thirty-two feet (32') toward the rear, giving the addition a total depth of thirty-eight feet (38'), one foot less than the depth of the original house. The primary mass of the addition will be one and one-half stories with a ridge height at twenty-four feet (24') tall, or two feet (2') taller than the existing ridge but with eaves matching the height of the existing eaves.

Although the addition is taller than the historic house, the additional height is minimal and begins more than forty feet (40') back from the front of the house, well behind the original mass and differentiated from it by a narrow hyphen connection. Additionally, while the depth of the addition matches that of the original house the overall massing is subordinate because the addition is narrower. Staff recommends that, if approved, the front of the taller gable shall be clipped to further reduce the perceived height.

With the condition that the front of the taller gable is clipped, Staff finds that the proposed addition meets Sections II.B.1.a, II.B.1.b, and II.B.2 of the design guidelines.

Location & Removability: The addition will be at the rear of the house, not impacting the front or sides of the historic building. By stepping the addition in from the sides of the house with a narrow hyphen connection, the impact on the form of the original building will be minimized. Were the addition to ever be removed, the integrity of the original building would be left intact. Staff finds that the addition meets Sections II.B.2.a and II.B.2.e of the design guidelines.

Design: Staff finds that the proposed addition is distinguished from the historic house with the insets on the left and right sides. It is also distinguished from the historic house with its use of compatible but contemporary materials, with similar proportions and rhythm of openings. Staff finds that the proposed addition meets Sections II.B.2.a and II.B.2.f of the design guidelines.

Setback & Rhythm of Spacing: The left side of the addition will be stepped in eighteen inches (18”) from the side of the house and the right side of the addition will align with the original right side wall. The addition will not impact the perceived rhythm of spacing between buildings on either side, however the existing house sits only two feet, six inches (2’-6”) from the right side property line. This is only half of the five foot (5’) setback required by the current zoning code. The addition meets the left and rear setback requirements. Because the proposed location of the addition is compatible with the historic character of the building, Staff finds that the proposed addition meets Sections II.B.1.c and II.B.2 of the design guidelines.

Materials:

	Proposed	Color/Texture/Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Concrete Block	Split Face	Yes	
Cladding	5” cement fiberboard lap siding	Smooth	Yes	
Roofing	Architectural Shingles	Match existing	Yes	
Trim	Cement Fiberboard	Smooth faced	Yes	
Side Porch Floor/steps	Wood			
Rear deck & railing	Wood			
Windows	wood	Not indicated	Unknown	X
Rear door	Wood or fiberglass	Not indicated		X
Side/rear doors	Wood or fiberglass			X

Staff recommends administrative approval shall be required for the final window, door, and roofing selections. With the staff's final approval of the roof shingles, windows and doors, staff finds that the known materials meet Sections II.B.1.d and II.B.2 of the design guidelines.

Roof form: The historic house has a side-gabled roof form with a 7:12 pitch. The rear-oriented gable roof of the addition will have a slightly steeper roof at 8:12 pitch. This is a minimal difference that will not be perceptible from the right-of-way. Each side of the addition will have a shed-roofed dormer with a 3:12 pitch. These roofs are compatible with the roofs of surrounding historic buildings. Staff finds that the proposed roof forms are compatible with the historic house's roof and meet Sections II.B.1.e and II.B.2 of the design guidelines.

Orientation: The proposed addition will not alter the house's orientation towards Park Avenue. Vehicular access to the site will remain via an existing curb cut and driveway on the left side of the building. The driveway which currently extends beyond the back of the house will be retained. Staff finds that the proposed addition meets Sections II.B.1.f and II.B.2 of the design guidelines.

Proportion and Rhythm of Openings: No changes to the window and door opening locations or sizes on the existing house were indicated on the plans. The windows on the proposed addition are generally twice as tall as they are wide, which is consistent with those of the historic house. There are no large expanses of wall space without a window or door opening. Staff finds the addition's proportion and rhythm of openings meet Sections II.B.1.g and II.B.2 of the design guidelines.

Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings. The location of the HVAC and other utilities was also not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house.

Recommendation Summary: Staff recommends approval of the application to demolish the outbuilding and construct a rear addition with the proposed setback with the following conditions:

1. The front of the taller gable of the addition shall be clipped to reduce the perceived height; and
2. Staff shall approve the final selections of windows, doors, and roofing prior to purchase and installation.

With these conditions, staff finds that the project meets the design guidelines for additions in the *Park and Elkins Neighborhood Conservation Zoning Overlay*.

PHOTOGRAPHS



4503 Park Avenue, front-right.



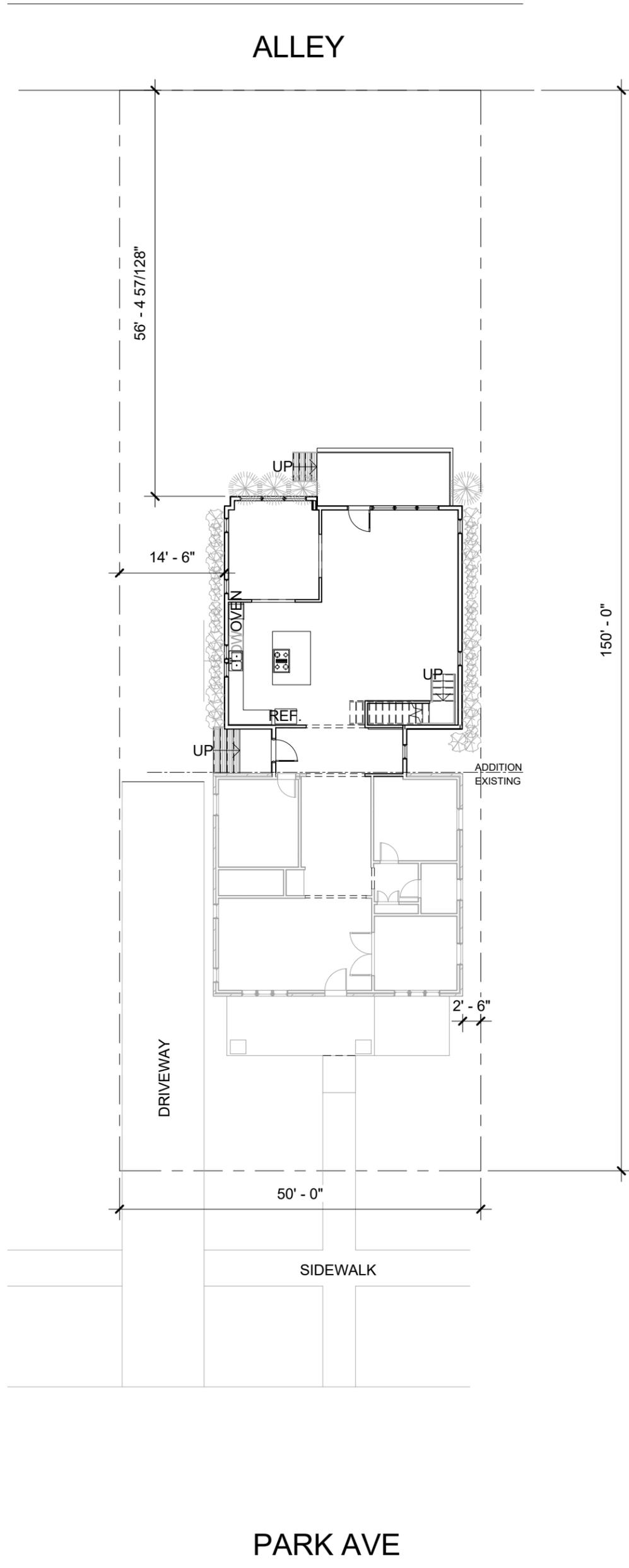
4503 Park Avenue, front-left.

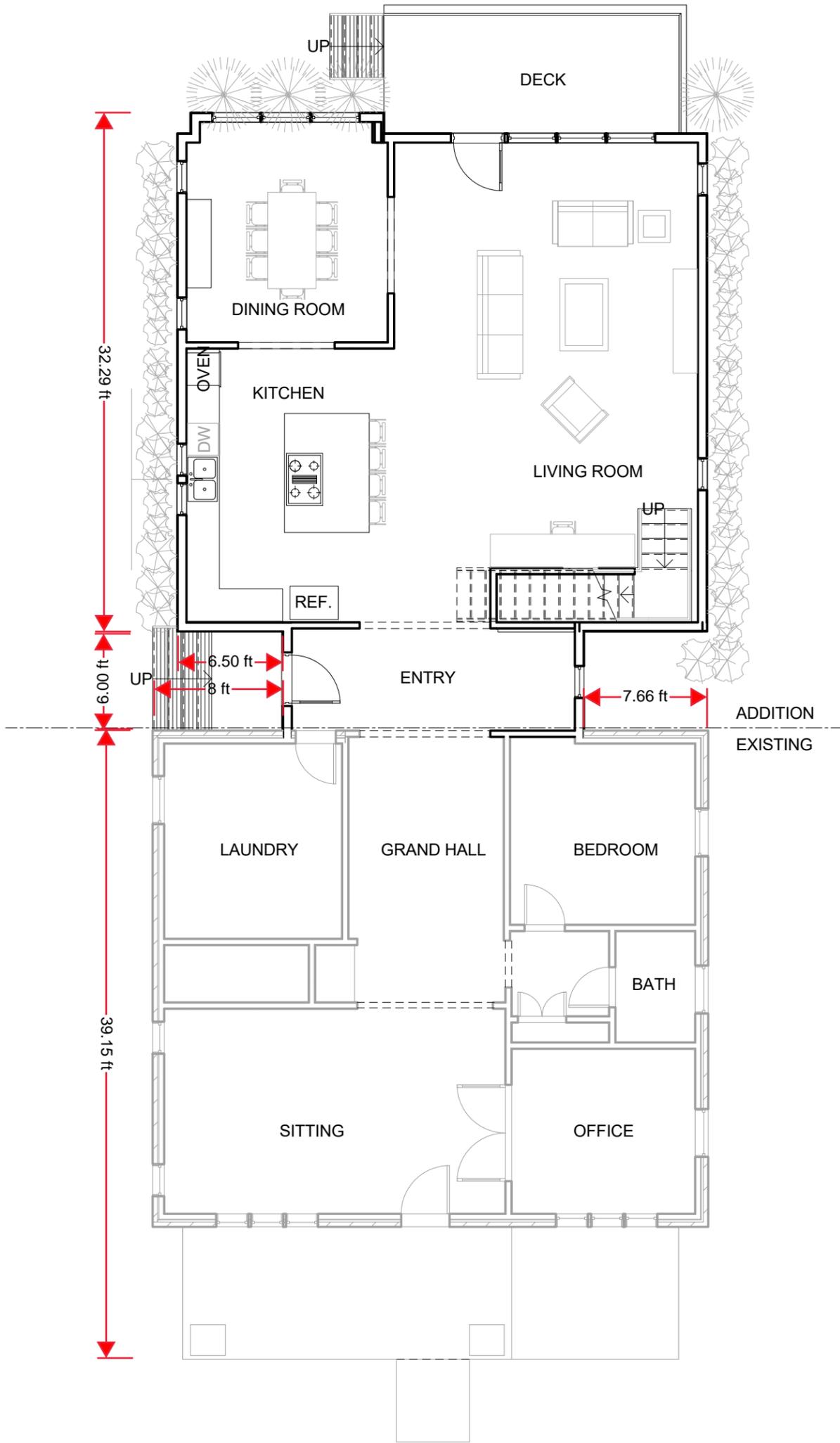
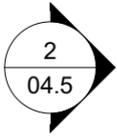
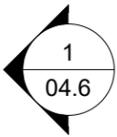
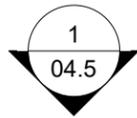


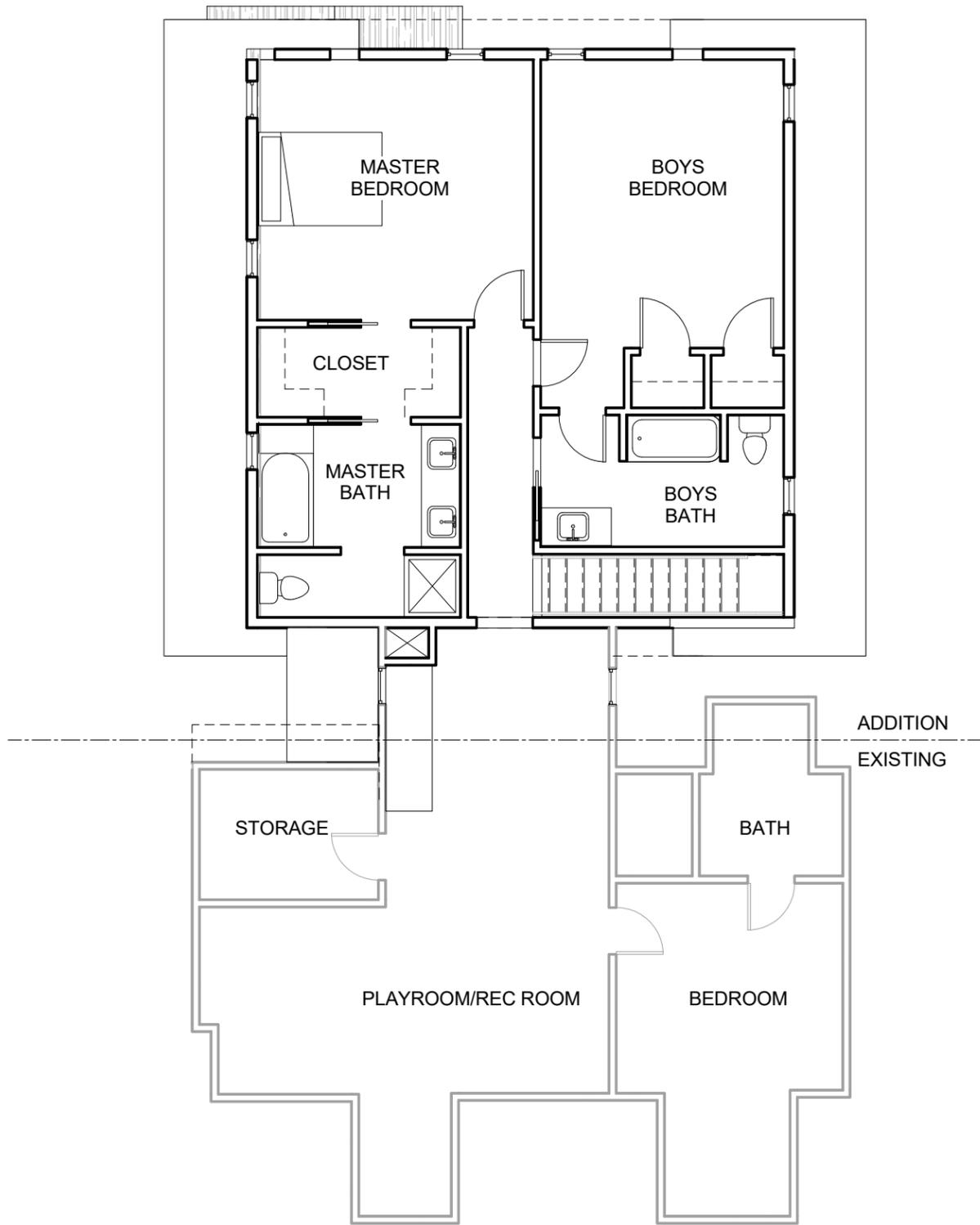
4503 Park Avenue, rear.

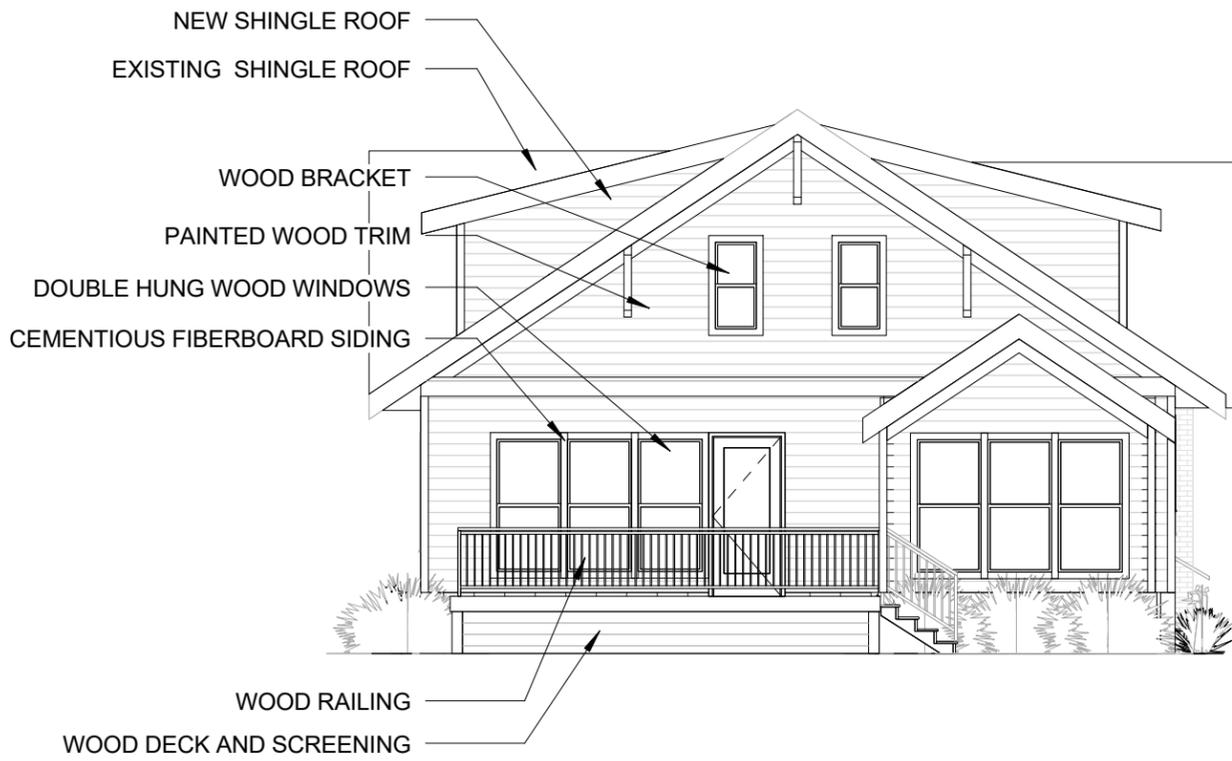


4503 Park Avenue, 1968 photo.

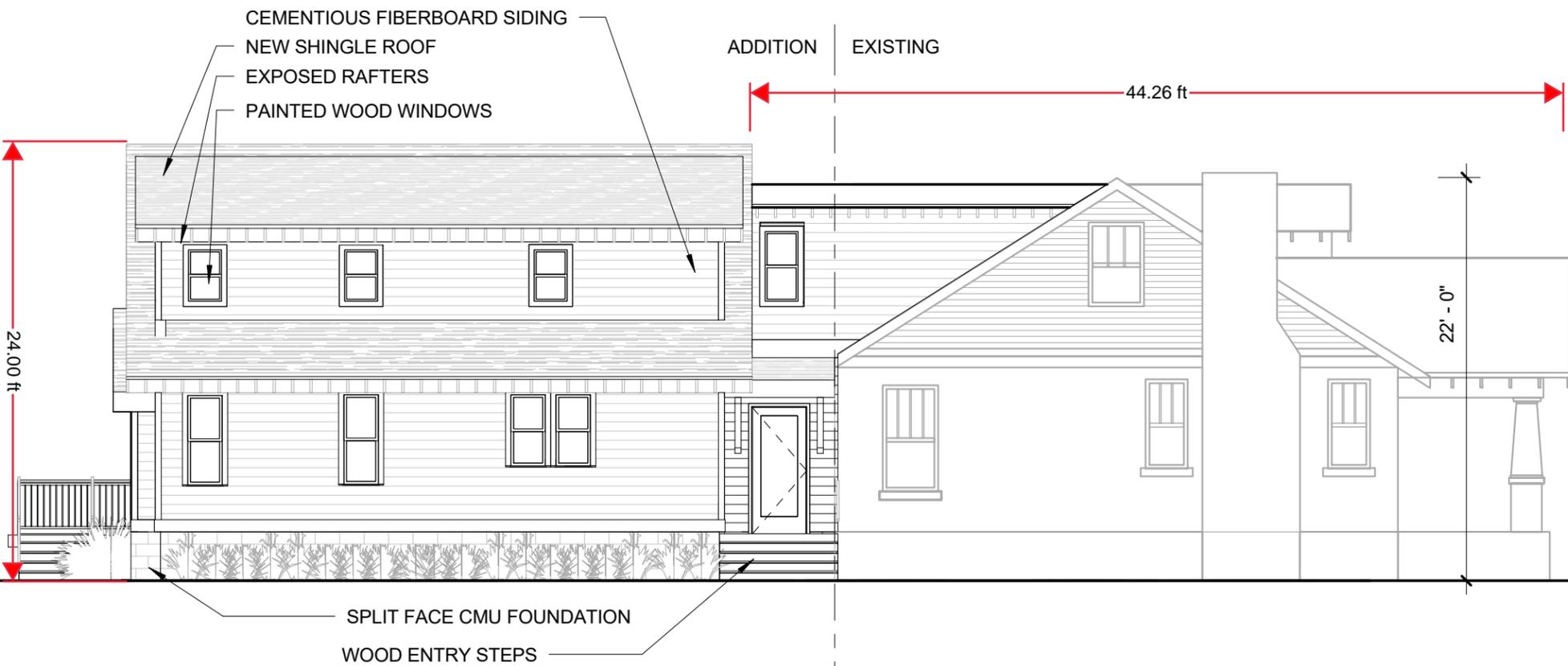






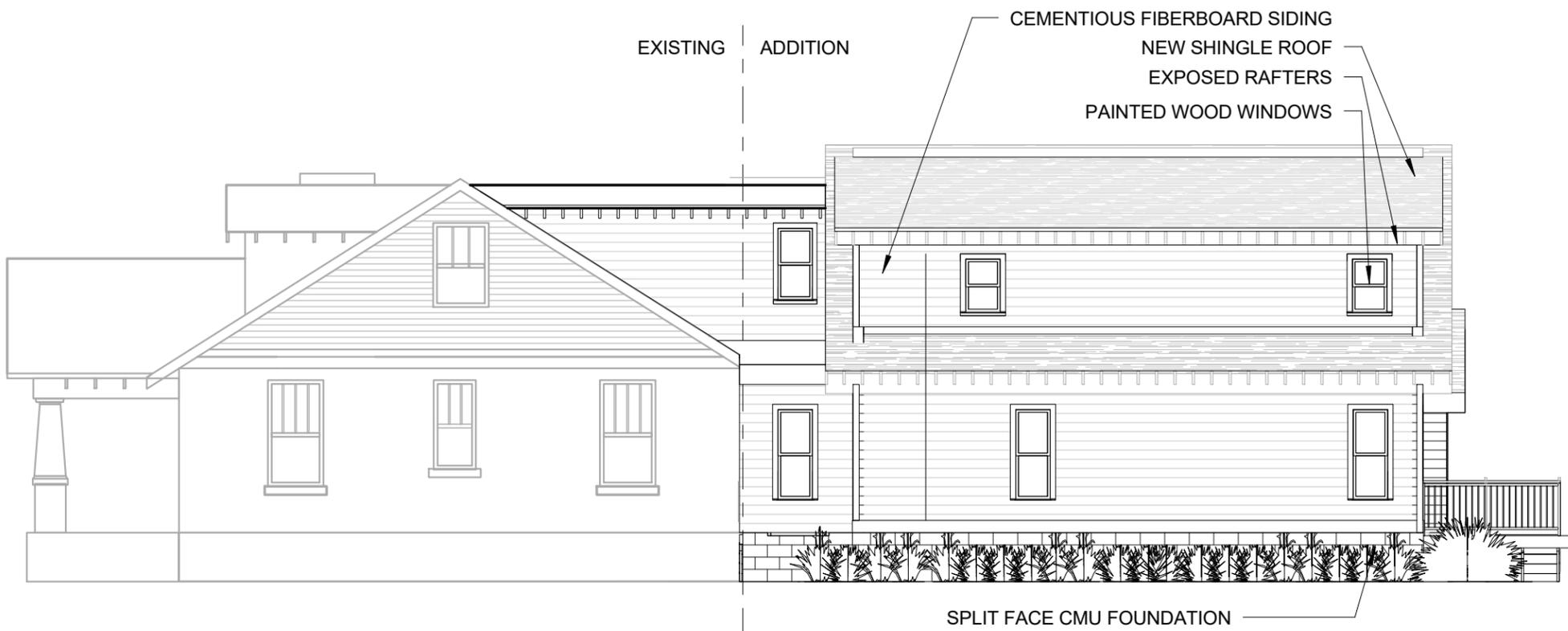


Rear Elevation



Side - East Elevation





Side - West Elevation

