

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

**0 Peabody Street
September 20, 2017**

Application: New construction

Map and Parcel Numbers: 09311010500

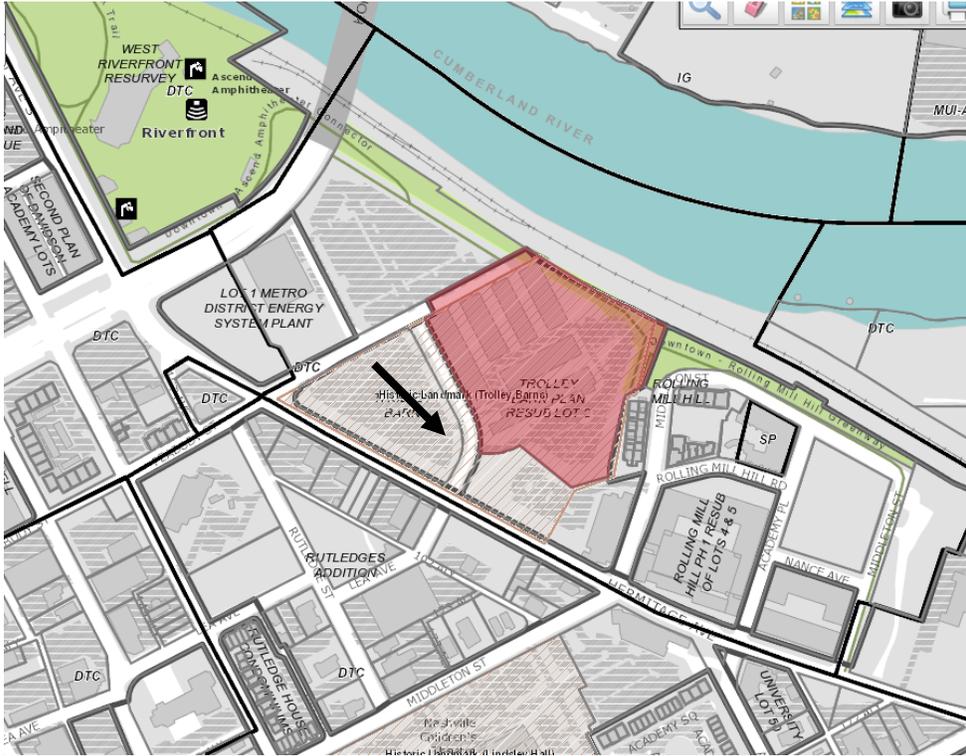
Council Districts: 19

Applicant: Hastings Architecture Associates, LLC

Project Lead: Robin Zeigler, robin.zeigler@nashville.gov, 615-862-7970

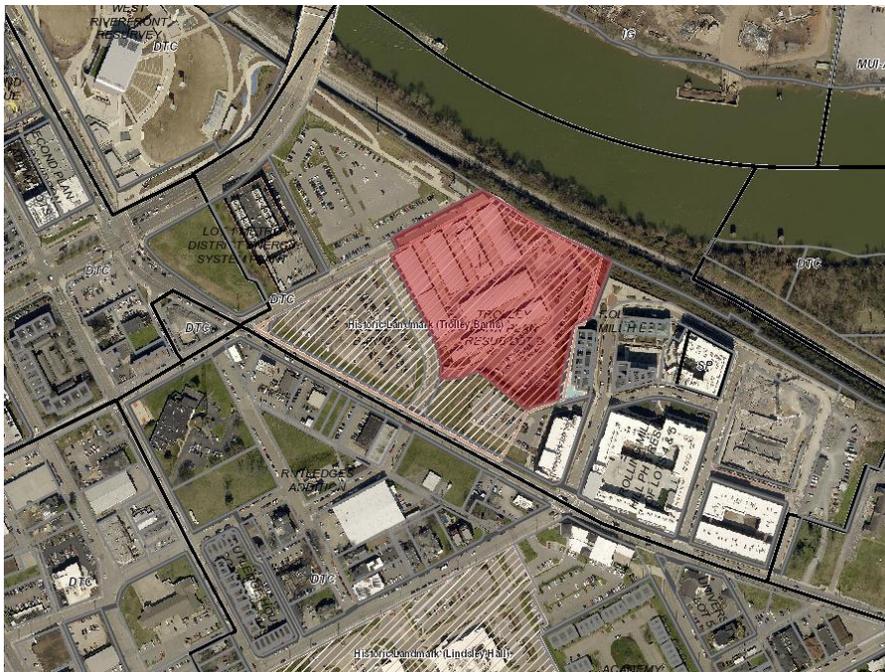
<p>Description of Project: The proposed new construction is planned for the WPA Municipal Garage at Rolling Mill Hill Historic Landmark site. The site is owned by MDHA.</p>	<p>Attachments A: Plans</p>
<p>Recommendation: Staff recommends approval with the conditions that the design incorporates red brick, at least on the ground floor, and the applicant return to the Commission with any requests for signage, lighting and landscape features. Staff finds the project to meet the design guidelines for new construction on a Landmark Site and the Secretary of Interior's Standards for Rehabilitation.</p>	

Vicinity Maps



Pink solid and hatched section is the location of the historic bus barns. The hatched section represents the overlay boundaries.

Aerials



Applicable Design Guidelines:

II.B Secretary of Interior's Standards for Rehabilitation

By state law, all design guidelines for neighborhood conservation zoning overlays must comply with the Secretary of the Interior's Standards for Treatment of Historic Properties. The Standards shall be followed for alterations of all Historic Landmarks:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal changes to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historical significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means necessary.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

III. Building Site

Italicized sections of the guidelines contain interpretive information that is meant to make the guidelines easier to understand; they are not part of the guidelines themselves. Illustrations and photographs are intended only to provide example buildings and circumstances. It is important to remember that every building is different and what may be appropriate for one building or site may not be appropriate for another.

Some Historic Landmark Districts consist only of the historic building and the land immediately underneath it. Other landmark districts consist of a building *and* the landscape surrounding the landmark.

Often this landscape or *site* is an integral part of the landmark's importance and construction on or alteration of the site may have an impact on the landmark building itself. The following guidelines are intended for use when construction is proposed on a landmark site:

1. Features of the site that are important in defining the overall character of the landmark should be identified, retained, and preserved. Removal or radical change of site features which are important in defining the overall historic character of the landmark should be avoided.
2. Removal or relocation of buildings or landscape features which are historically related to the landmark shall be avoided.
3. Repair of deteriorated landscape or site features rather than replacement is encouraged where possible. Addition of conjectural landscape features which would create a false sense of historic development should not occur.
4. Construction of new buildings adjacent to the landmark building shall not detract from or diminish the value of the landmark itself. Standards 9 & 10 from the above guidelines address new construction and shall be applied when new buildings are proposed in a landmark district.
5. New or added exterior site features shall be placed so as not to detract from or diminish the value of the landmark itself.
6. Site work including construction of parking and utility work shall be undertaken carefully so as not to disturb architectural or archaeological features of the landmark site.

New parking should be placed to the rear of the landmark building to minimize adverse visual impact. Parking surface should be selected to minimize harm to the landscape surrounding the landmark. Excavation work should be carefully undertaken and care shall be used to properly record any archaeological materials encountered.

Background:

The WPA Municipal Garage at Rolling Mill Hill Historic Landmark was subdivided after establishment of the Landmark and now includes three lots. The historic buildings are located at 33 Peabody Street. The other two lots are O Peabody Street and 100 Middleton Street, both of which are currently surface parking lots. All three lots are owned by MDHA. The MDHA Design Review committee conceptually approved the project on September 15, 2017.



Figure 1: View of 0 Peabody, the proposed project location, as seen from Hermitage with the WPA Municipal Garages seen in the background.

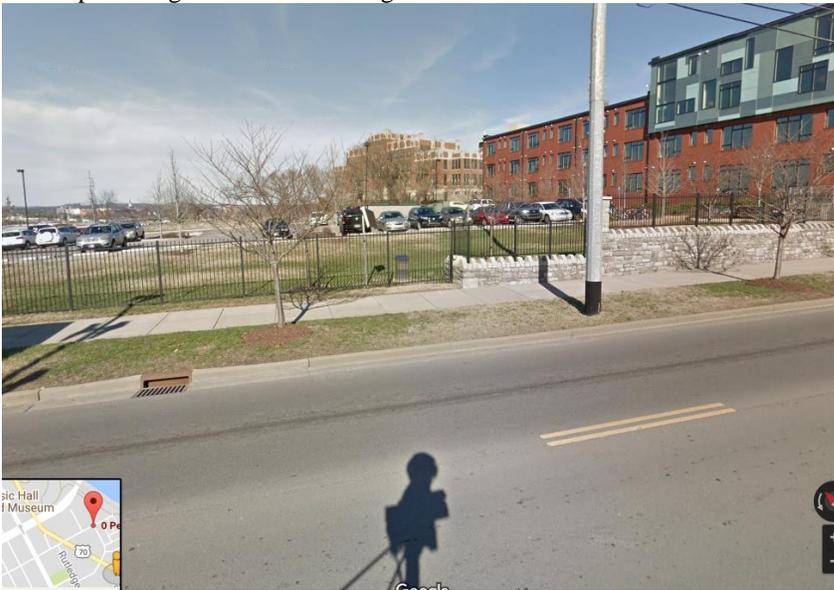


Figure 2: 100 Middleton Street. The WPA Municipal Garages are out of view to the left with recent construction on the right.

Analysis and Findings:

Alterations to Historic Buildings & Removability: There are no alterations planned for the historic bus barns or the immediately surrounding property. The proposed project could be removed in the future without affecting the historic buildings, thereby restoring current conditions. The project meets section II.B and II.1.

Location: The bulk of the new construction is along Hermitage Avenue with a large park and 1-story component, as well as Lea Avenue, serving as a buffer between the old and new. There is no known archaeology on this site. The project meets II.B.8

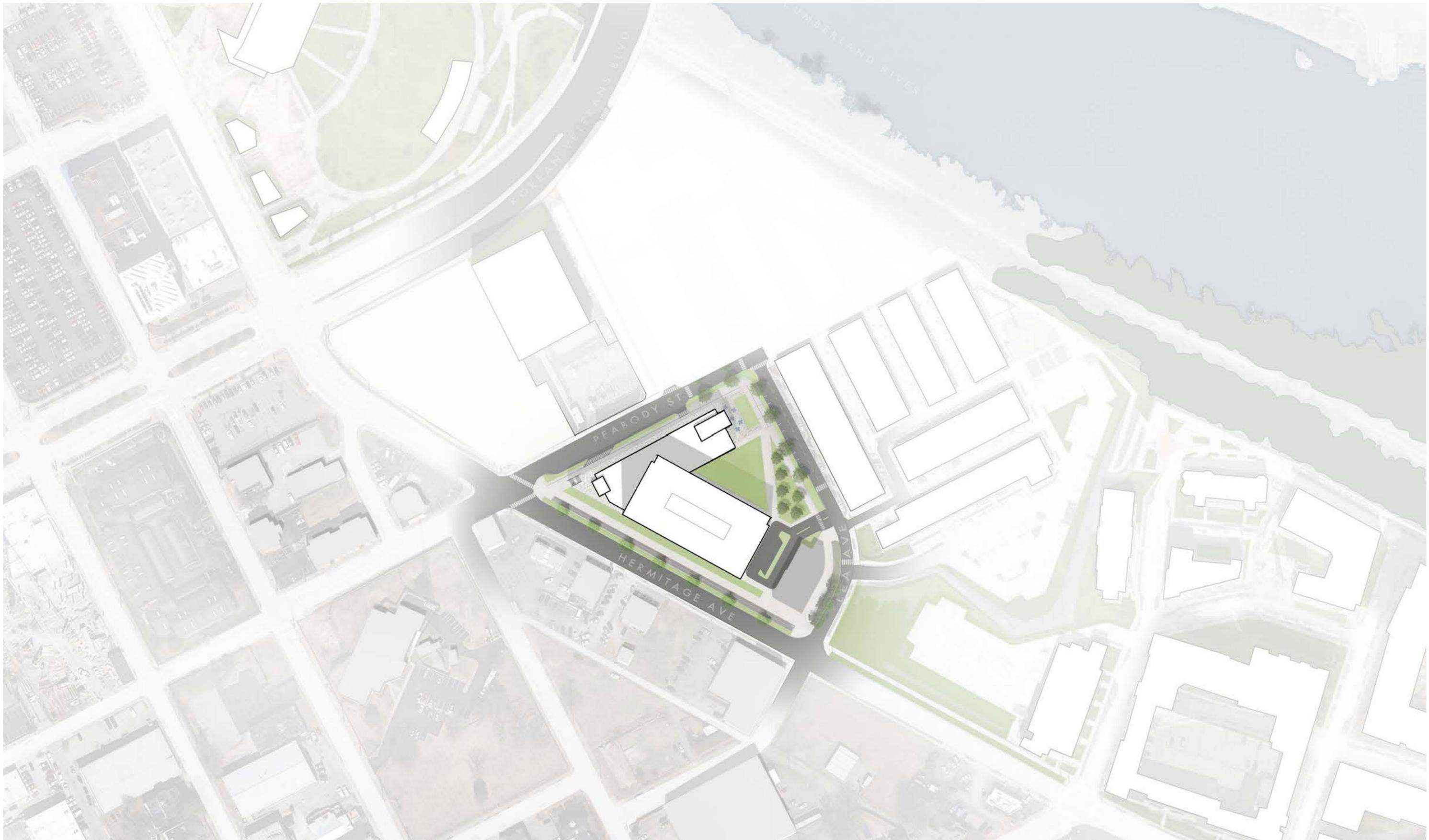
Height & Scale: The project includes an 8-story tower, not including parking levels beneath grade and a one-story portion along Peabody Street. Although the tower is significantly taller than the 1-story historic buildings it is not directly related to the buildings in the same way as a traditional infill project located in a residential neighborhood or commercial block. The building will be oriented towards Hermitage Avenue, where there is currently a 5-story building and the potential for new construction that could be similar in scale to what is proposed. As described under “location,” the larger development is buffered from the historic buildings with a park, the existing street and a one-story component, that is more in keeping with the scale of the WPA Municipal Buildings. In addition, the historic use of the buildings was not meant to have a street presence in the same manner as a commercial or residential building. Staff finds that the new construction will not “detract” or “diminish the value of the Landmark itself” and therefore meets section III.4 of the design guidelines.

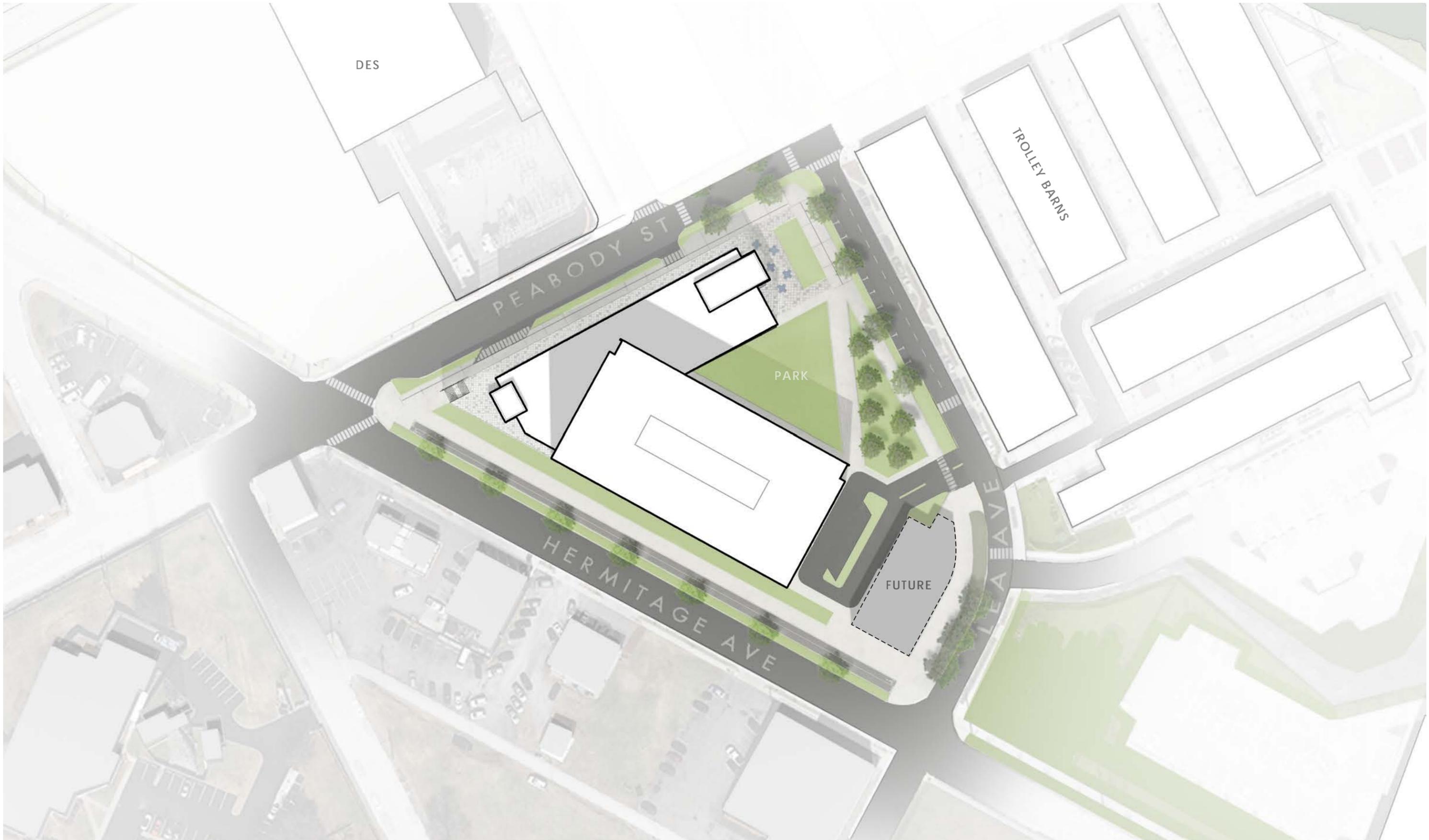
Design & Form: The building is a contemporary design and does not attempt to mimic the historic buildings. The form is similar to the historic buildings in that it is rectangular with the appearance of a flat roof. The historic buildings are actually barrel vaulted roofs but the front parapets give them the look of a flat-roof building. The new building is primarily glazing while the walls of the historic buildings are primarily brick with punched openings and metal industrial windows. Although the rhythm of openings between the old and new are different, the Standards allow for contemporary designs and again, the new construction does not directly relate to the historic buildings. Parking will be beneath grade. The project meets II.B. 9 and 10 and III.6.

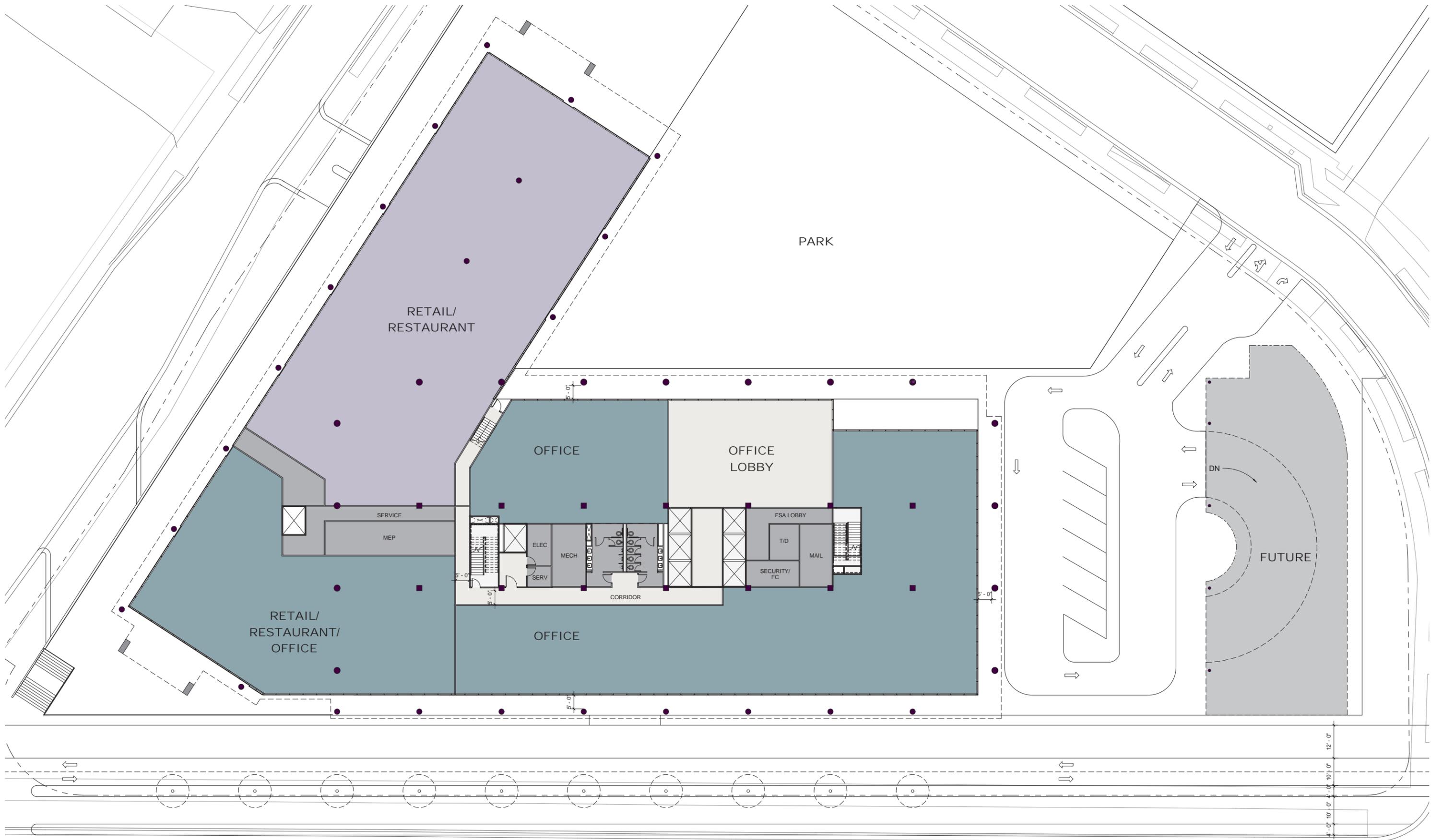
Materials: Materials include metal panels, precast concrete, slightly tinted glass, and unpainted masonry all in a gray to black palette. All are materials that the Commission has approved in the past in areas with an industrial context. Staff recommends the incorporation of red brick, at least at the ground level, to meet the historic context of the WPA Municipal Buildings and the historic hospital, south on Hermitage Avenue, as well as new construction in the area such as the power station to the north and the Fire Station and apartments to the south. With this condition, Staff finds the materials to meet section II.B.9 and 10.

Appurtenances: Signage, lighting and landscape features were not noted. Staff recommends final review of these elements in order to meet the design guidelines. With this condition, the project can meet section III.5.

Recommendation: Staff recommends approval with the conditions that the design incorporates red brick, at least on the ground floor, and the applicant returns to the Commission with any requests for signage, lighting and landscape features. Staff finds the project to meet the design guidelines for new construction on a Landmark Site and the Secretary of Interior’s Standards for Rehabilitation.





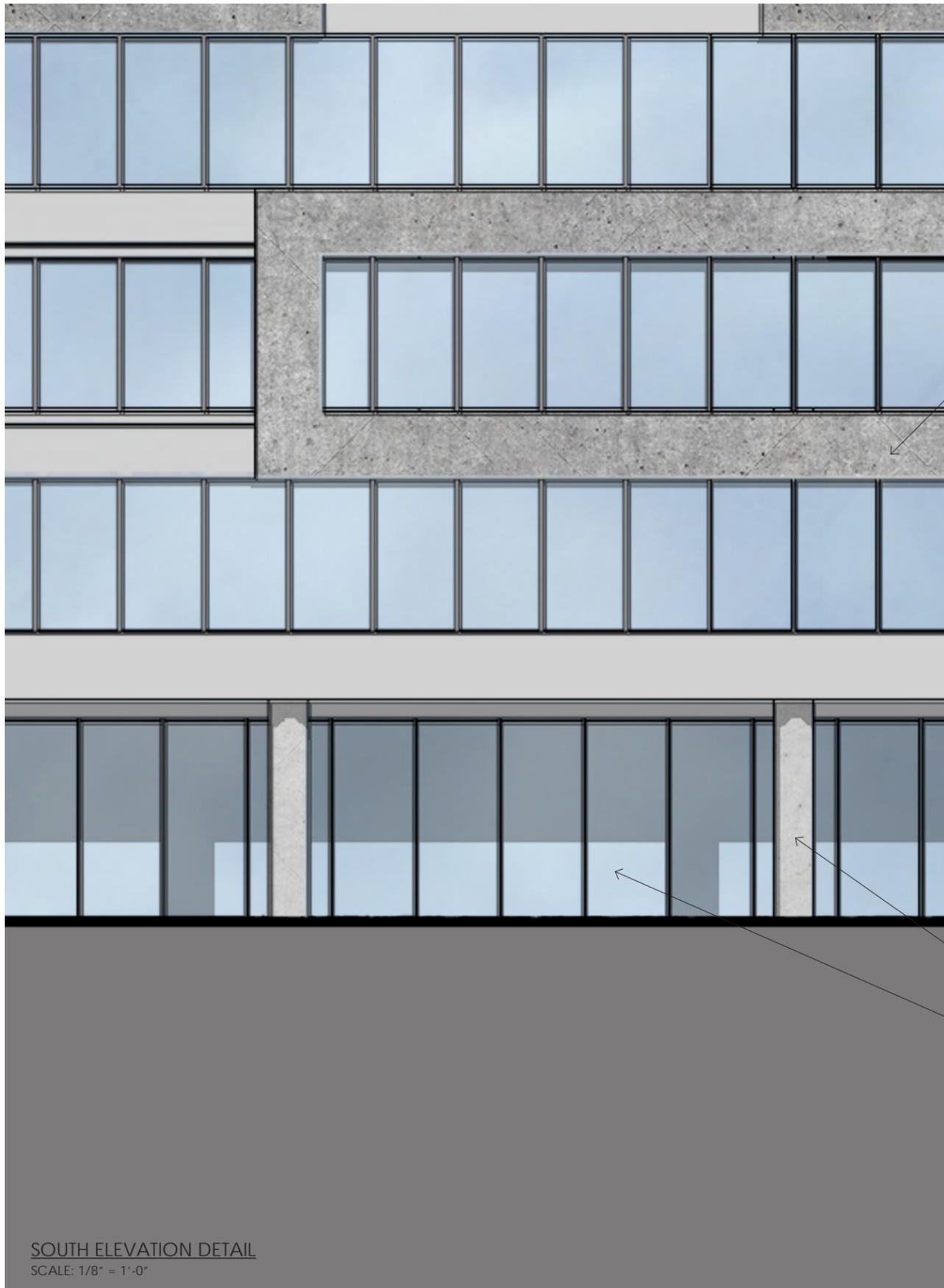




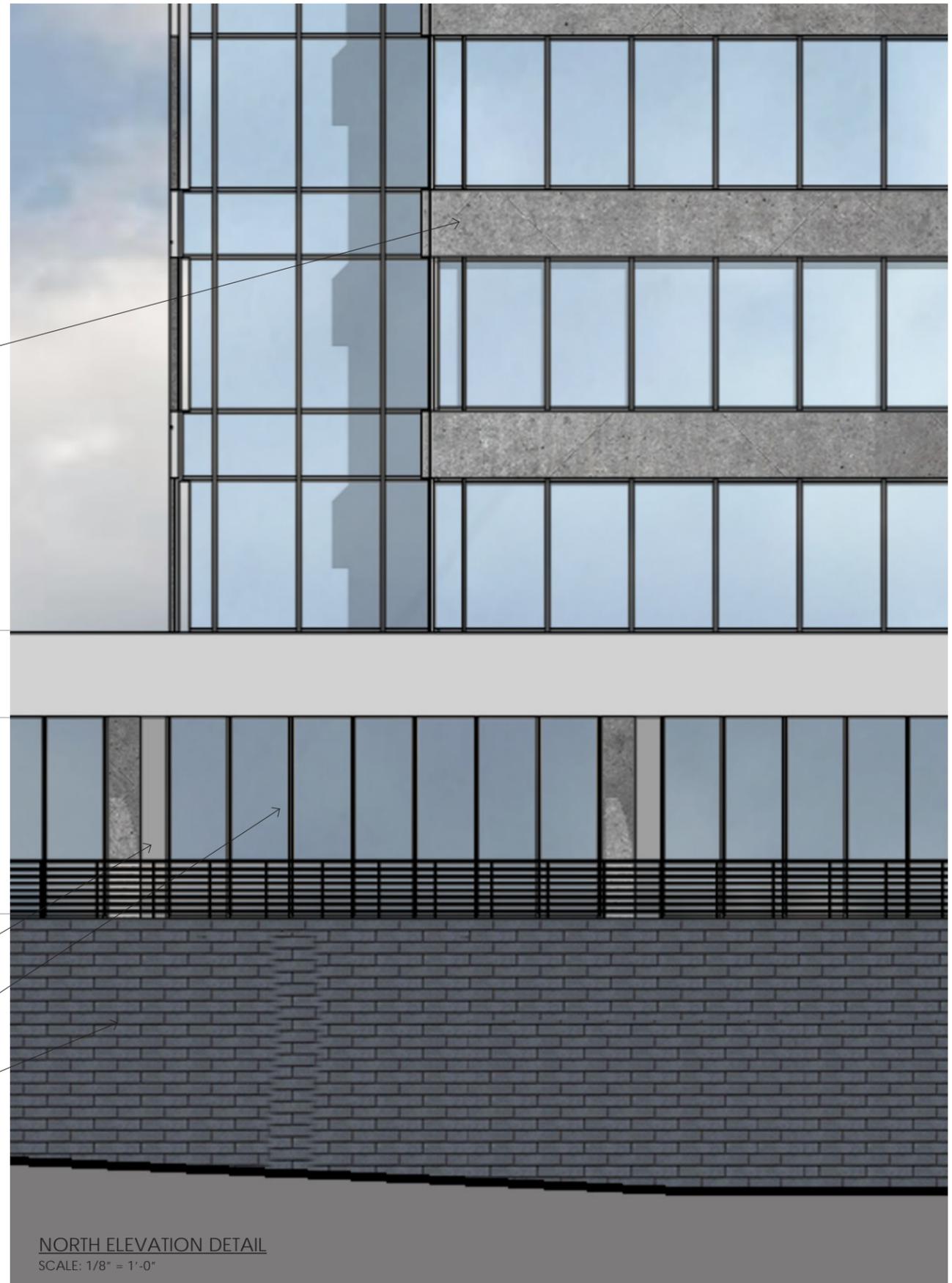








SOUTH ELEVATION DETAIL
SCALE: 1/8" = 1'-0"



NORTH ELEVATION DETAIL
SCALE: 1/8" = 1'-0"

PRECAST PANEL

5'

12'

COLUMN

GLAZING BEYOND

MASONRY





