

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
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STAFF RECOMMENDATION

2618 Essex Place
September 20, 2017

Application: New construction—outbuilding; Setback determination
District: Hillsboro-West End Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 10411024500
Applicant: Van Pond, architect
Project Lead: jenny.warren@nashville.gov

Description of Project: Application is to construct a new garage in the location of the existing garage. The building is not proposed to be a detached accessory dwelling unit.

Recommendation Summary: Staff recommends approval of the garage with the following conditions:

1. The eave heights on the rear of the structure must be lowered to not exceed 10' (ten feet).
2. Staff approves the final windows, doors, porch posts and the roofing color, prior to purchase and installation.

With these conditions, staff finds that the outbuilding meets the Hillsboro-West End Neighborhood Conservation zoning overlay design guidelines for this neighborhood.

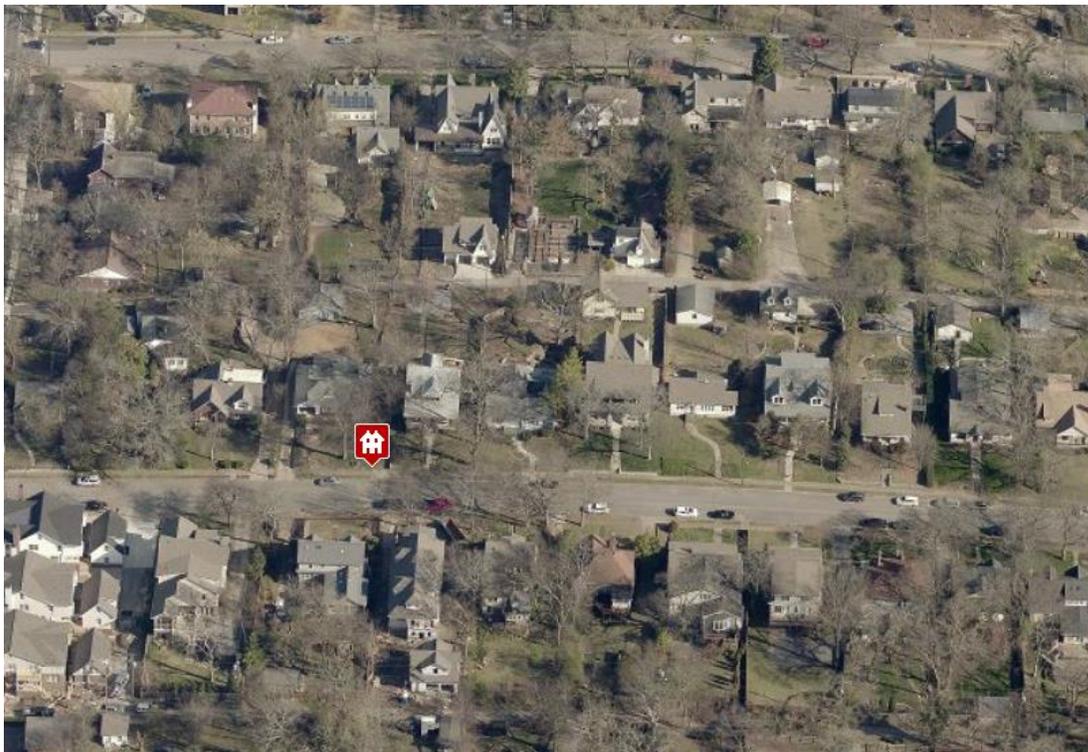
The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

Attachments
A: Site Plan
B: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

h. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- Brick, weatherboard, and board-and-batten are typical siding materials.
 - Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
 - Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
 - Stud wall lumber and embossed wood grain are prohibited.
 - Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

· *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*

· *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*

· *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*

At least one side setback a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

· *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*

· *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

III.B.1 Demolition is Not Appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

III.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.



Figure 1. 2618 Essex Place

Background: 2618 Aberdeen Road is a circa 1930 one-story brick bungalow which contributes to the Hillsboro-West End Neighborhood Conservation Zoning Overlay.

Analysis and Findings:

This application is for the construction of a new garage along the rear of the property, in the location of an existing garage. The building is not proposed to be a

detached accessory dwelling unit. The new garage meets all of the outbuilding requirements except that the eave heights on the rear are proposed to be 12'6" (twelve feet, six inches) high while the maximum permitted eave height for a one-story outbuilding is 10' (ten feet).

Demolition: An existing outbuilding is being demolished to allow for the construction of the new garage. The existing building is a one-story 13' (thirteen foot) tall garage that sits at the rear and side property lines. The garage has no special architectural detailing and is minimally visible at its location in the rear of the property. Staff therefore finds that the structure does not contribute to the architectural and historical character and significance of the district, and that its demolition meets Section III.B.2 for appropriate demolition and does not meet section III.B.1 for inappropriate demolition.

Height & Scale:

The primary one-story house is approximately 22' (twenty-two feet) tall from grade. The proposed one-story garage will be 19'6" (nineteen feet, six inches) high at the ridgeline from grade, which is appropriate, given the overall height of the house. For a one-story outbuilding such as this, the permitted eave height is a maximum of 10' (ten feet). On the front of the proposed garage (facing the house), the height will be 9'6" (nine feet, six inches), however on the rear elevation, the eave height is proposed to be 12'6" (twelve feet, six inches). The eave height requirement is intended to keep the scale of outbuildings modest and to prevent the height of new outbuildings from overwhelming the height of the existing primary historic structure. The additional eave height requested is not based on conditions of the lot, such as a change in grade.

The subject lot is approximately 10,200sq ft. On lots over 10,000sqft, outbuildings may have a footprint of up to 1,000sqft. The proposed garage has an appropriate footprint size at 974sqft.

Staff finds that the proposed garage meets Section II.B.h.1 in terms of scale, but does not meet the guidelines in terms of height, due to the high eaves.

Design Standards:

The garage has a simple side-gabled design with a projecting front porch. Two-bay garage doors face the driveway and the back of the house. On the rear, a single garage door and a pedestrian door face the alley. A shed dormer on the rear contains a band of eight-light windows. The relatively simple design is appropriate for an outbuilding. Its side-gabled roof, detailing, and overall form do not contrast greatly with the primary structure. The fenestration is typical of the neighborhood context and appropriate to the main house. The garage is located in a minimally-visible location at the side and rear of the existing house. Staff finds that the design meets Section II.B.h.1 of the design guidelines.

Roof:

The proposed garage has a side gabled roof with a slope of 6/12 and clipped gables. The projecting porch will have a front gabled roof form with the same 6/12 pitch. A low-sloped shed dormer is proposed for the rear of the structure. The dormer measures 18' (eighteen feet) wide, making it less than half the width of the 40' (forty foot) roof. This dormer is also set in 2' (two feet) from the rear wall. These roof forms are appropriate to the neighborhood and compatible with the primary structure. Staff finds that the roof meets Section II.B.h.1 of the design guidelines.

Materials:

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood
Foundation	Concrete block	Split-face	X
Cladding	Cement-fiber	Smooth, 5" reveal	X
Secondary Cladding	Cement-fiber board & batten	Smooth	X
Roofing, including porch	Architectural shingle	unknown	Needs final approval
Trim	Cement fiber	smooth	X
Porch floor	Concrete	Sand-blasted	X
Porch Posts	Not indicated	Unknown	Needs final approval
Windows	Not indicated	wood	Needs final approval
Pedestrian Door	Not indicated	wood	Needs final approval
Vehicular Doors	Not indicated	unknown	Needs final approval

With Staff's final approval of the windows, doors, porch posts and roofing color, Staff finds that the known materials meet Section II.B.h.1 of the design guidelines.

Site Planning & Setbacks:

The proposed outbuilding will be located behind the primary structure, in the rear yard, as per the guidelines. An existing garage, which is located on both the side and rear property lines, will be demolished to allow for the new construction. The side property line of this lot abuts an unimproved alley, wherein the property owner currently has a driveway. The new garage is proposed to be sited 3' (three feet) from the side property line. The rear of the structure will have a one-bay garage door opening onto the alley and will be set back

5' (five feet) from the rear property line. Staff finds that these setbacks are appropriate to the neighborhood and to the particular circumstances of this lot.

The garage will be approximately 31' (thirty-one feet) from the back wall of the main house, exceeding the 20' (twenty foot) separation requirement.

The project meets section II.B.h.2 of the design guidelines for site planning and setbacks.

Recommendation Summary: Staff recommends approval of the proposed garage with the following conditions:

1. The eave heights on the rear of the structure must be lowered to not exceed 10' (ten feet).
2. Staff approves the final windows, doors, porch posts and the roofing color, prior to purchase and installation.

With these conditions, staff finds that the detached accessory dwelling unit meets Section II.B.h of the Hillsboro-West End Neighborhood Conservation Overlay design guidelines.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

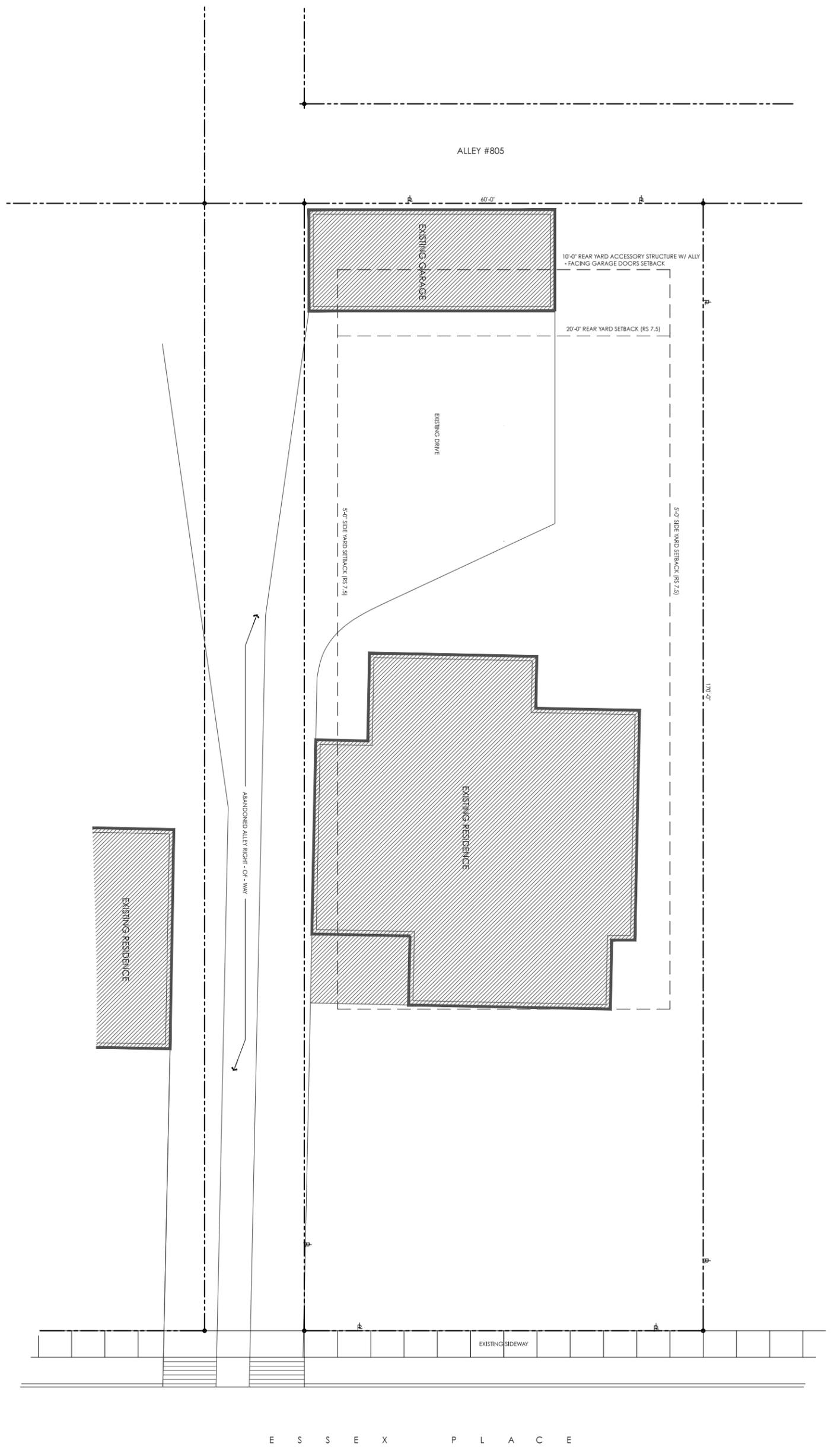
A New Detached Garage + Workshop for:
The Haga Residence

2618 Essex Place
Nashville, TN 37212

METRO HISTORIC ZONING SUBMITTAL
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Date of Issuance: 25 August 2017



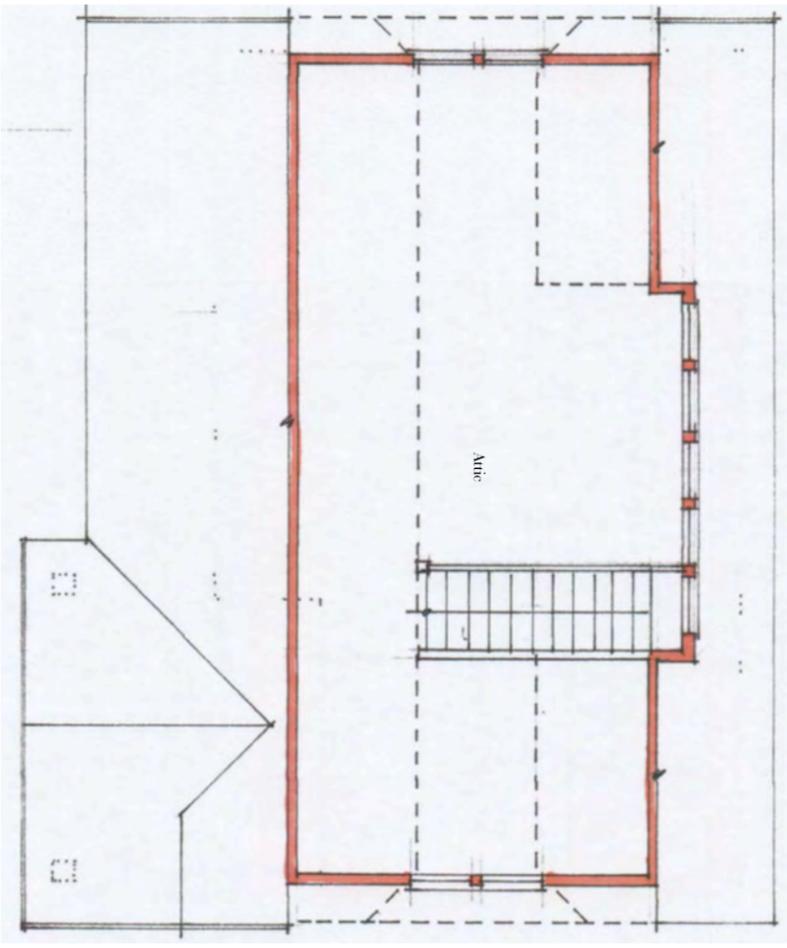
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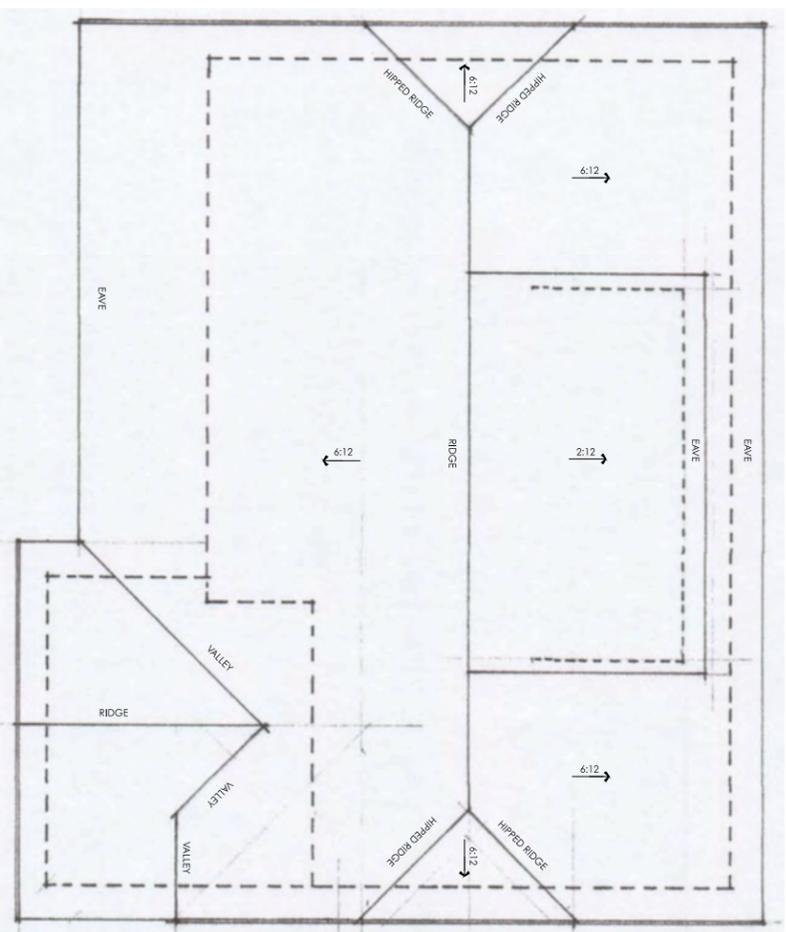
A New Accessory Structure for:
The Haga Residence
 2618 Essex Place
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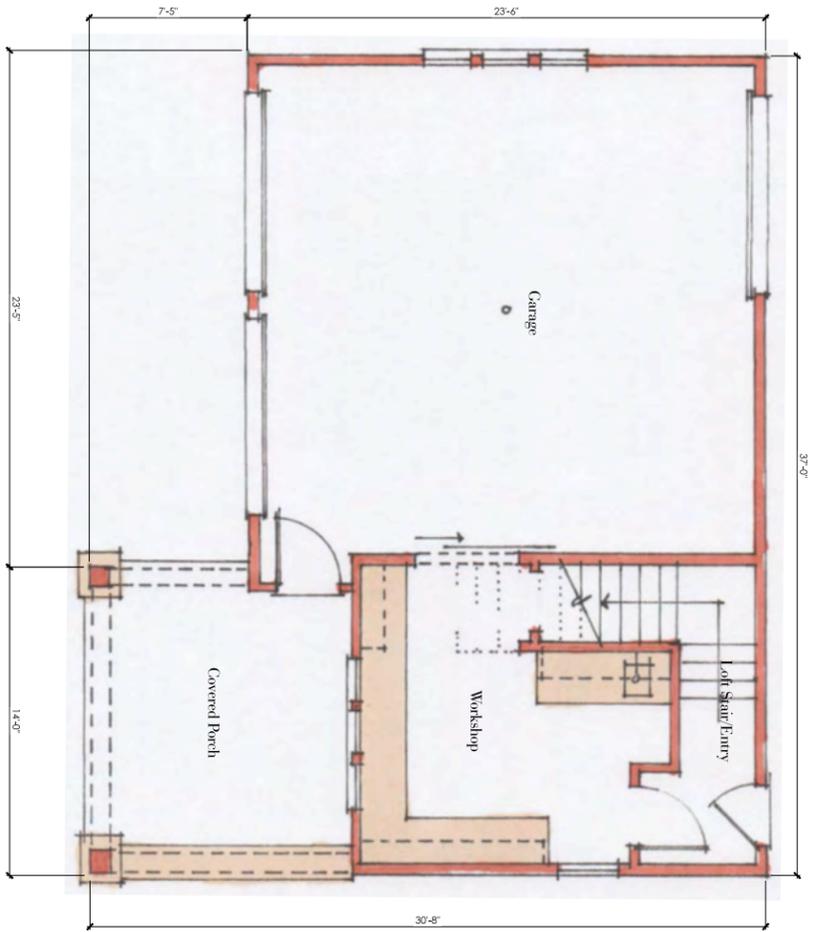
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 EXISTING SITE PLAN



1 Attic Floor Plan



2 Roof Plan



3 Garage Floor Plan

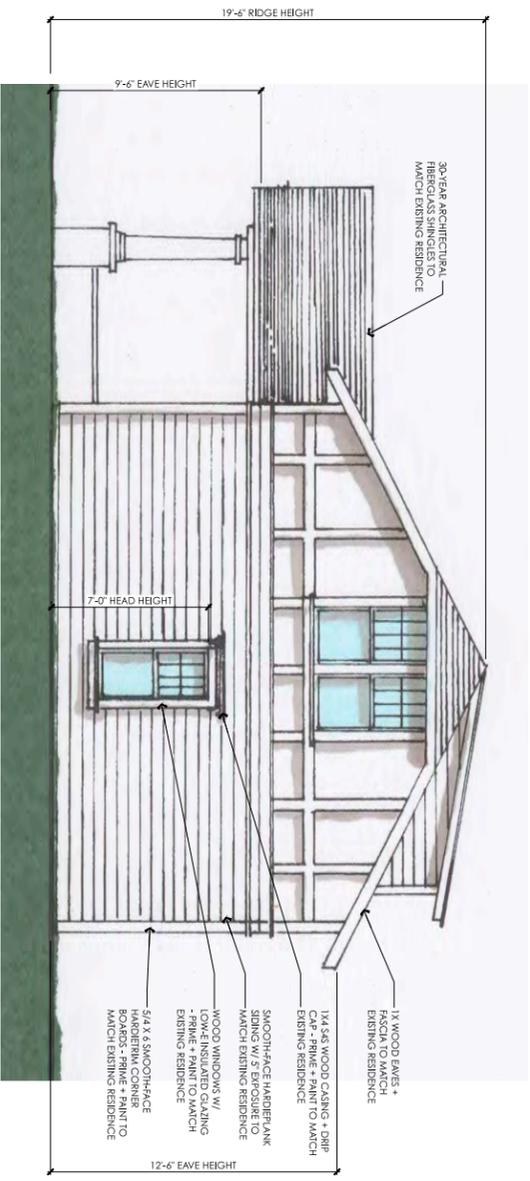
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FLOOR PLANS

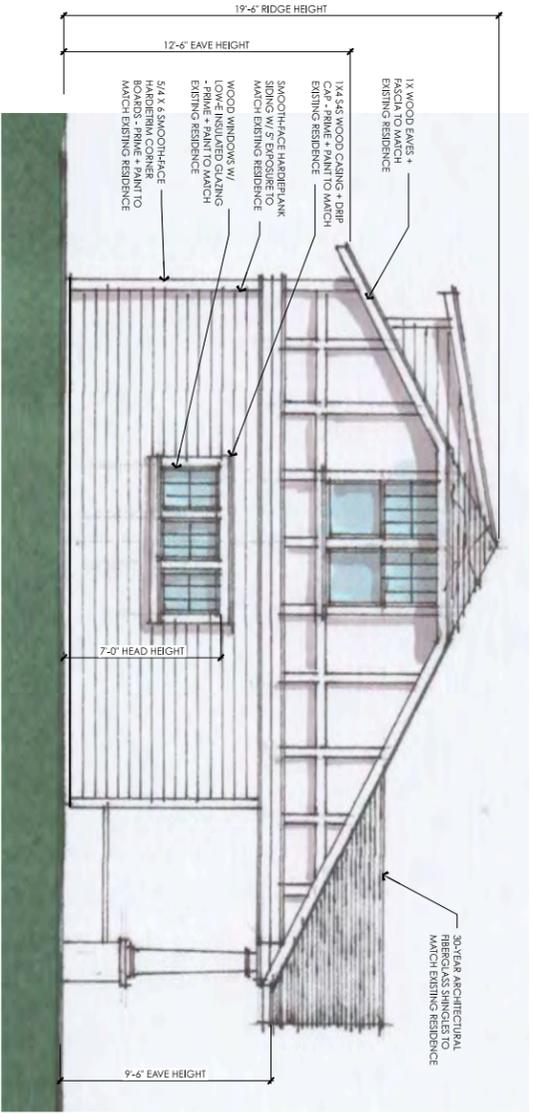
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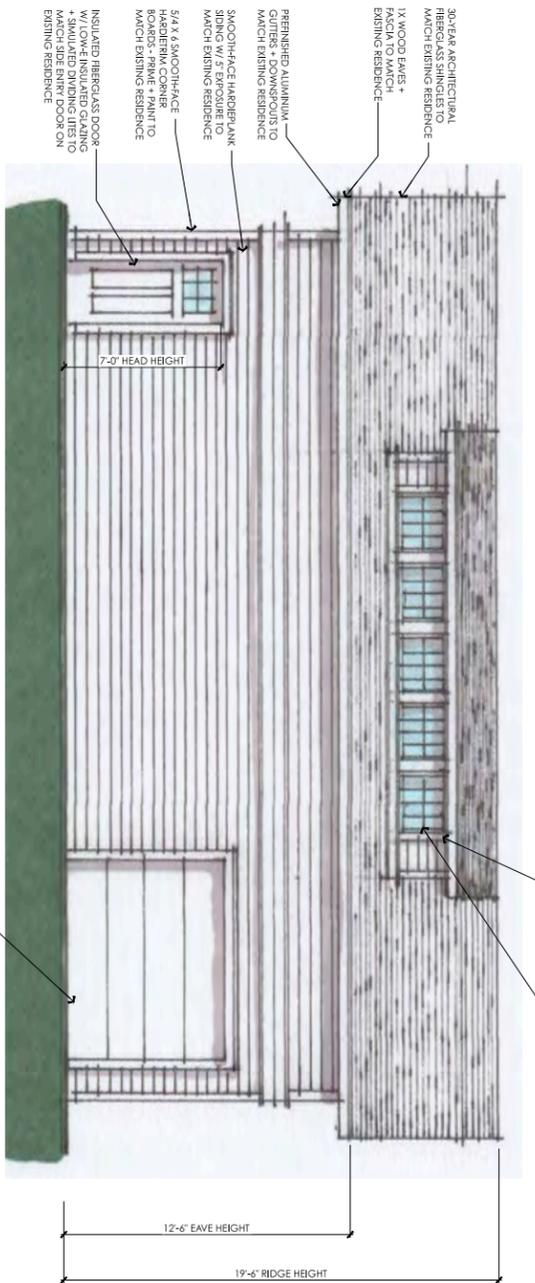
2 Elevation facing Yard



1 Elevation facing Residence



4 Elevation facing Neighboring Residence



3 Elevation facing Alley