

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

STAFF RECOMMENDATION 3624 Central Avenue February 21, 2018

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

Application: New construction – addition and outbuilding
District: Richland-West End Neighborhood Conservation Zoning Overlay
Council District: 24
Map and Parcel Number: 10405029600
Applicant: Brian Hadfield, Owner
Project Lead: Sean Alexander, sean.alexander@nashvill.gov

Description of Project: The applicant is proposing to construct a rear addition to an historic house, and to construct an outbuilding.

Recommendation Summary: Staff recommends approval of the proposed rear addition and outbuilding with the condition that the windows, doors, and brick samples shall be approved by MHZC Staff prior to purchase and installation. Meeting that condition, Staff finds that the proposed addition meets the design guidelines for additions in the Richland-West End neighborhood Conservation Zoning Overlay.

The Commission does not have the authority to approve the use of the outbuilding. This recommendation is for the design of the building based on the proposed use.

Attachments
A: Photographs
B: Site Plan
C: Floorplans
D: Elevations

Applicable Design Guidelines:

II.B.2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

When an addition ties into the existing roof, the addition should be at least 6" below the existing ridge. In order to assure that an addition has achieved proper scale, the addition should:

- No matter its use, an addition should not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.*
- Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*
- Additions should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:
 - An extreme grade change*
 - Atypical lot parcel shape or size**

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

- b. The creation of an addition through enclosure of a front porch is not appropriate.

- c. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not

contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

d. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

e. Additions should follow the guidelines for new construction.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

II.B.1 New Construction

h. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

· On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.

· On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.

· The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.

Outbuildings: Character, Materials and Details

· Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related.

Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.

· DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

Outbuildings: Roof

· Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.

· The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.

Outbuildings: Windows and Doors

- Publicly visible windows should be appropriate to the style of the house.
- Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.
- Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.
- For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Outbuildings: Siding and Trim

- Brick, weatherboard, and board-and-batten are typical siding materials.
 - Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
 - Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
 - Stud wall lumber and embossed wood grain are prohibited.
 - Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

- To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.
- A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.
- There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.
- At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

- On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.
 - On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.
- Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

Background: The house at 3624 Central Avenue is a one and half-story Craftsman bungalow with a side-gable roof with the ridge oriented side-to-side. The grade on the lot drops significantly to the rear, creating an additional story in the basement level.



Analysis and Findings: The applicant is proposing to construct a rear addition to the house and to construct an outbuilding

Location & Removability: The new addition will attach to the existing house at the rear, stepped in two feet (2') from the side walls of the existing house. The roof of the addition will tie into the rear slope of the existing roof, approximately six inches (6") below the existing ridge. Although the roof is not taller than the original roof, the drop in grade toward the rear of the lot allows the addition to effectively have three levels including the basement. The depth of the addition will be thirty-eight feet (38'), approximately one foot (1') less than the depth of the original building. A fifteen foot (15') deep uncovered porch will be located at the rear of the building at the main first story level. Staff finds the location of the proposed addition to be appropriate, and the impact on the original building to be minimal because it is stepped in from the sides and will not impact the front or sides of the building. Staff finds that the project meets sections II.B.2.a and II.B.2.d of the design guidelines.

Design: The addition will resemble the existing building in its character, proportions, and materials. The roofs will be gabled with a pitch matching the original roof, with a window rhythm maintaining the rhythm of the existing windows. Staff finds that the proposal will meet meets sections II.B.2.a and II.B.2.e of the design guidelines.

Setback: The addition meets all of the standard bulk zoning setback requirements. Staff finds that the project meets section II.B.1.c of the design guidelines.

Materials: No changes to the historic house's materials were indicated on the drawings. The addition will primarily be clad with brick on the main floor level and basement, with cement-fiberboard shingle siding on the upperstory. These materials match those of the historic house. The trim will be wood and cellular PVC composite, which has been approved for new construction and additions. The roof will be architectural fiberglass shingles in a color to match the existing roof. The window and door selections are not indicated, therefore Staff recommends that they would be administratively approved prior to purchase and installation. Two chimneys on the addition will be brick, matching an original chimney on the house. With the staff's final approval of the windows, doors, and the brick selection, Staff finds that the known materials for the project meets section II.B.1.d of the design guidelines. **To be consistent, let's use the chart everyone else is using.**

	Proposed	Color/Texture /Make/ Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Brick	Match existing	Yes	X
Cladding	Cement fiber shingle siding	Match existing exposure	Yes	
Trim	Cedar, Cement Fiber, Cellular PVC	Smooth, Match existing	Yes	
Roofing	Architectural Shingles	Match existing roof	Yes	
Windows	Casements, fixed	Needs final approval	X	X
Side/rear doors	Sliding (on porch)	Needs final approval	X	X

No changes to the historic house’s materials were indicated on the drawings. The addition will primarily be clad with brick on the main floor level and basement, with cement-fiberboard shingle siding on the upperstory. These materials match those of the historic house. The trim will be wood and cellular PVC composite, which has been approved for new construction and additions. The roof will be architectural fiberglass shingles in a color to match the existing roof. The window and door selections are not indicated, therefore Staff recommends that they would be administratively approved prior to purchase and installation. Two chimneys on the addition will be brick, matching an original chimney on the house. With the staff’s final approval of the windows, doors, and the brick selection, Staff finds that the known materials for the project meets section II.B.1.d of the design guidelines.

Roof form: The new roof will be a side-oriented gable with a pitch of 9:12. The original roof has a side-oriented gable with the same pitch. The eaves of the addition will be higher than those of the original house to accommodate a larger second floor level, however the visibility of the eaves will not contrast greatly because the side walls of the addition are stepped in two feet (2’). Staff finds the roof forms to be compatible with those of surrounding historic houses and to meet section II.B.1.e of the design guidelines.

Proportion and Rhythm of Openings: The plans indicate that the existing windows are to be repaired as needed, but no alteration to existing window and door openings were indicated on the plans. The windows on the proposed addition are all generally twice as tall as they are wide, similar to the proportions of historic window openings. There are no large expanses of wall space without a window or door opening. Staff finds the project’s proportion and rhythm of openings to meet Section II.B.1.g.

Appurtenances & Utilities: The location of the HVAC units will be on the left side of the addition behind the rear wall of the original structure. The plans show a paved concrete apron at the rear of the lot to access a garage from the alley, and brick stairs and walkway

between the garage and the back of the house. Staff finds these appurtenances to be appropriate and to meet section II.B.1.i of the design guidelines.

Outbuilding: The proposal includes a one and one-half story outbuilding at the rear of the lot. It will be detached, with an open-sided and uncovered walkway between it and the principal dwelling. The Commission has previously found similar covered walkway connectors to be appropriate in rear yards when they are less than six feet (6') wide and have open sides. The outbuilding will be one and one-half story with a cross-gabled form. The roof pitch will be 9:12, matching the pitch of the roof on the house. The building will have a footprint size of nine hundred, ninety-two square feet (992 sq. ft.), with an eave height of ten feet (10') and a roof height of twenty-one feet, five inches (21'-5). This is subordinate to the historic house which has a roughly one thousand, five hundred square foot (1,500 sq. ft.) footprint originally, and meets the design guidelines which allow an outbuilding to be up to one thousand square feet (1,000 sq. ft.) in footprint area based on the size of the lot. The materials will match those of the house, including a brick foundation and water table, cement-fiber shingle siding and asphalt-shingle roof, with wood and composite PVC trim. The setbacks of the outbuilding will be seven feet, seven inches (7'-7") from the rear of the property, five feet (5') from the left side and nine feet (9') from the right. These setbacks are compatible with outbuildings historically. The building is not proposed for use as a dwelling. Staff finds the location, size, character, and materials of the outbuilding to meet design guideline II.B.1.h.1 and II.B.1.h.2 for outbuildings.

Recommendation: Staff recommends approval of the proposed rear addition and outbuilding with the condition that the windows, doors, and brick samples shall be approved by MHZC Staff prior to purchase and installation. Meeting that condition, Staff finds that the proposed addition meets the design guidelines for additions in the Richland-West End neighborhood Conservation Zoning Overlay.

The Commission does not have the authority to approve the use of the outbuilding. This recommendation is for the design of the building based on the proposed use.



EXISTING FRONT ELEVATION



EXISTING LEFT SIDE & REAR ELEVATION



EXISTING REAR ELEVATION (with left side yard)



EXISTING REAR ELEVATION

REVISIONS	
02.05.18	HISTORIC PRESERVATION APPLICATION

SHEET TITLE	
EXISTING PHOTOS PROJECT HOUSE	
JOB NO. 1705.00	SHEET NO. A-2
DATE 02-05-18	

NOT RELEASED FOR CONSTRUCTION. DATE:



EXISTING REAR ELEVATION



SIDE ELEVATION OF EXISTING HOUSE ON LEFT SIDE



EXISTING REAR ELEVATION



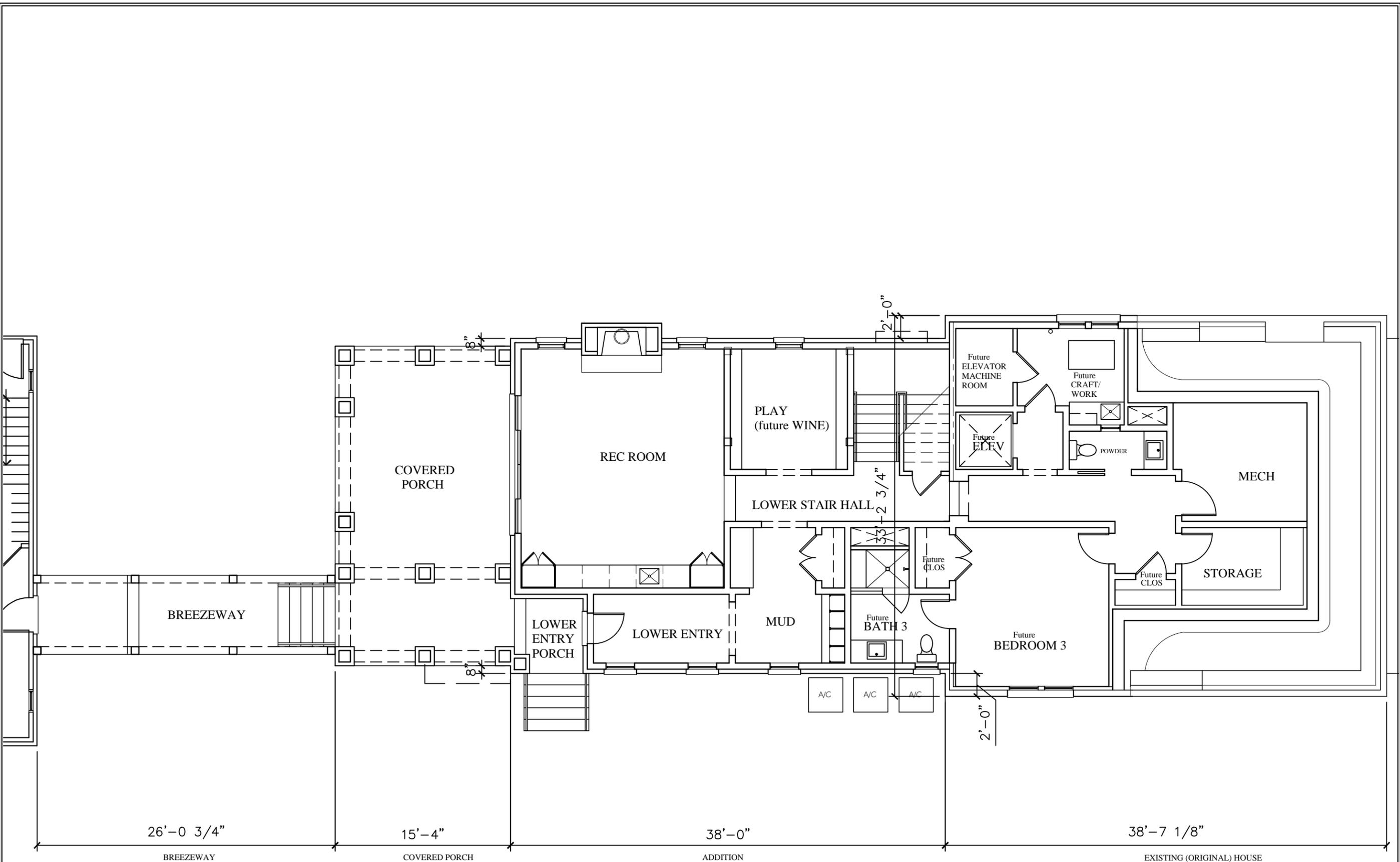
SIDE ELEVATION OF EXISTING HOUSE ON RIGHT SIDE

BRIAN & CHELSEY HADFIELD RESIDENCE
 3624 CENTRAL AVENUE NASHVILLE, TENNESSEE 37205

REVISIONS	
02.05.18	HISTORIC PRESERVATION APPLICATION

SHEET TITLE	
EXISTING PHOTOS ADJ. HOUSES	
JOB NO. 1705.00	SHEET NO. A-3
DATE 02-05-18	

NOT RELEASED FOR CONSTRUCTION. DATE:

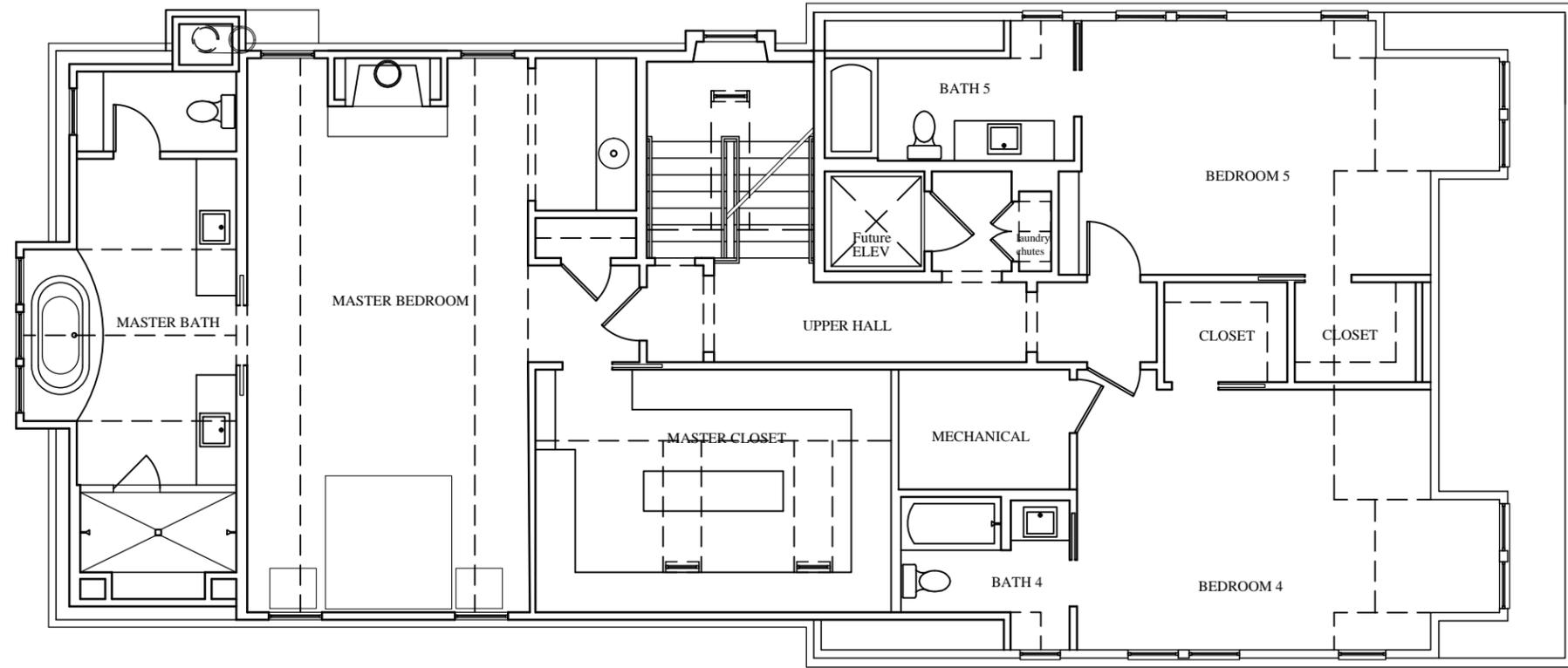


REVISIONS	
02.05.18	HISTORIC PRESERVATION APPLICATION

1 **PLAN - LOWER LEVEL - HOUSE**
A-5 1/8" = 1'-0"

SHEET TITLE	
PLAN - HOUSE LOWER LEVEL	
JOB NO. 1705.00	SHEET NO. A-5
DATE 02-05-18	

NOT RELEASED FOR CONSTRUCTION. DATE: _____

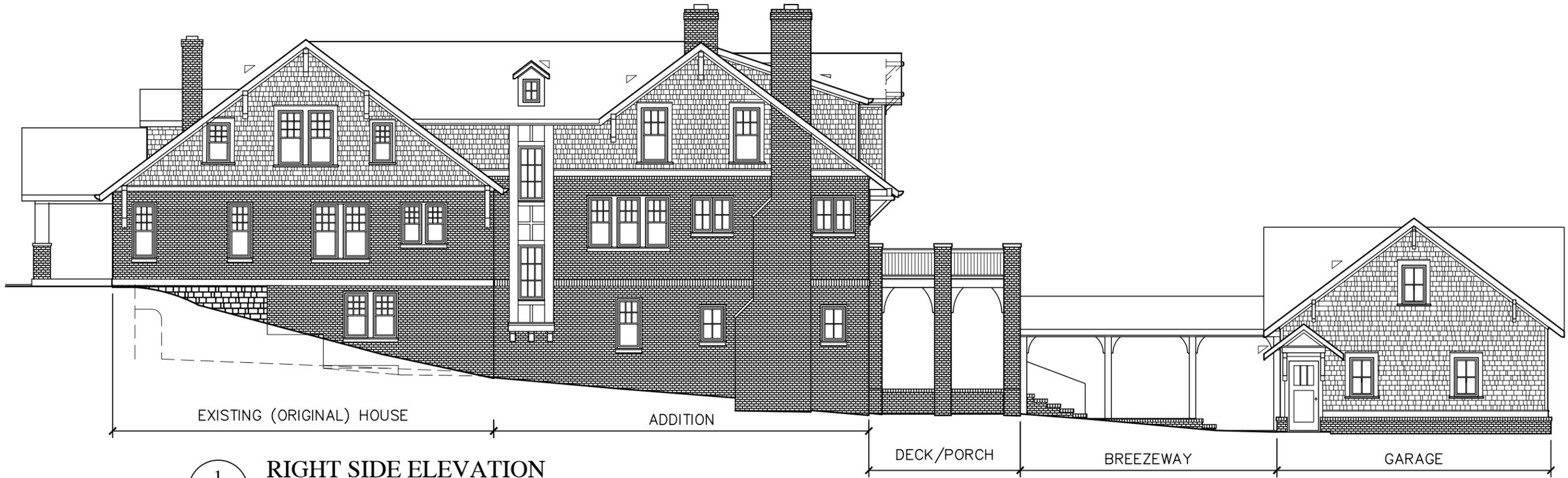


1 **PLAN - UPPER LEVEL - HOUSE**
A-7 1/8" = 1'-0"

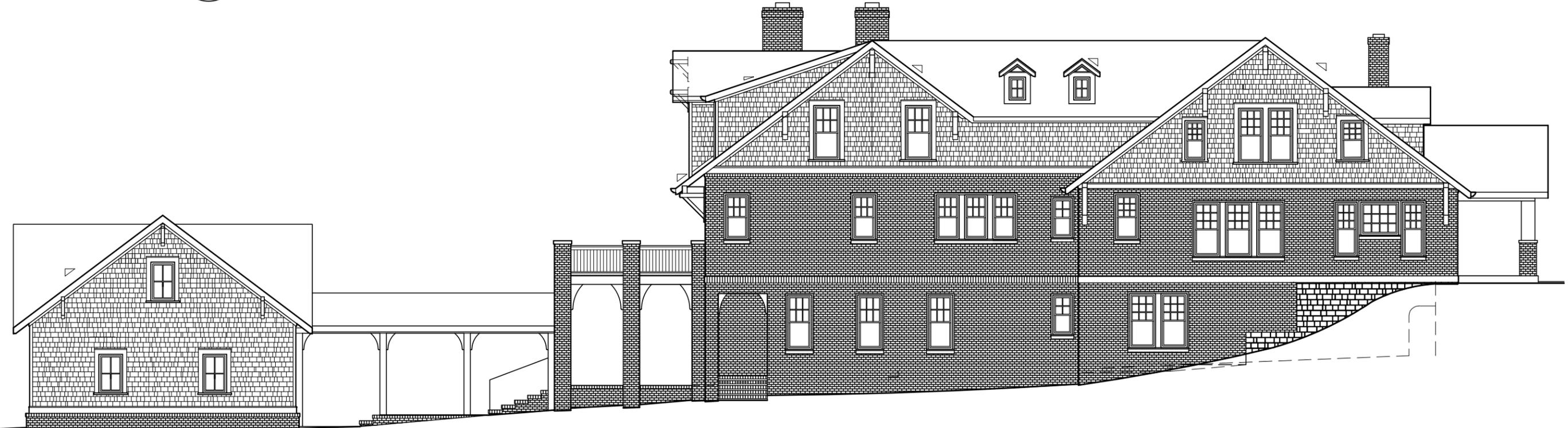
REVISIONS	
02.05.18	HISTORIC PRESERVATION APPLICATION

SHEET TITLE	
PLAN - HOUSE UPPER LEVEL	
JOB NO. 1705.00	SHEET NO. A-7
DATE 02-05-18	

NOT RELEASED FOR CONSTRUCTION. DATE:



1
 A-8 **RIGHT SIDE ELEVATION**
 3/32" = 1'-0"



2
 A-8 **LEFT SIDE ELEVATION**
 3/32" = 1'-0"

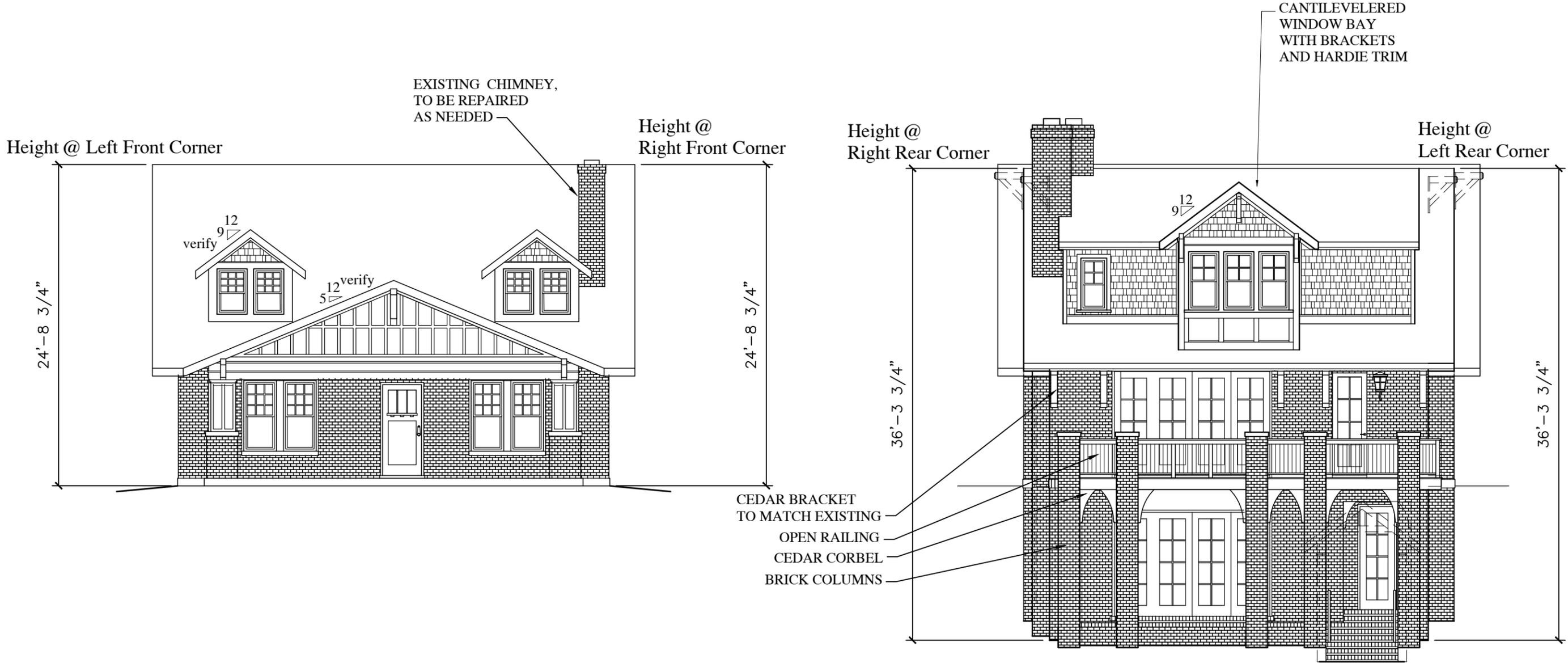
REVISIONS	
02.05.18	HISTORIC PRESERVATION APPLICATION

SHEET TITLE	
COMPLETE SIDE ELEVATIONS	
JOB NO. 1705.00	SHEET NO. A-8
DATE 02-05-18	

NOT RELEASED FOR CONSTRUCTION. DATE:

NOTE:
EXISTING FRONT ELEVATION CANNOT
CHANGE IN APPEARANCE PER
METRO NASHVILLE HISTORIC COMMISSION -
IT DOES NEED TO HAVE NEW PAINT, SHINGLES,...
AND BE REPAIRED AS NEEDED.

NOTES:
1. All windows on the front elevation and
most of the side elevation windows are to be
reworked if feasible.
2. Typical roof pitches of 9:12 are to match
existing pitch. Existing pitch to be verified.
3. New gable brackets are to match existing
brackets.



1 FRONT ELEVATION (EXISTING)
A-9 1/8" = 1'-0"

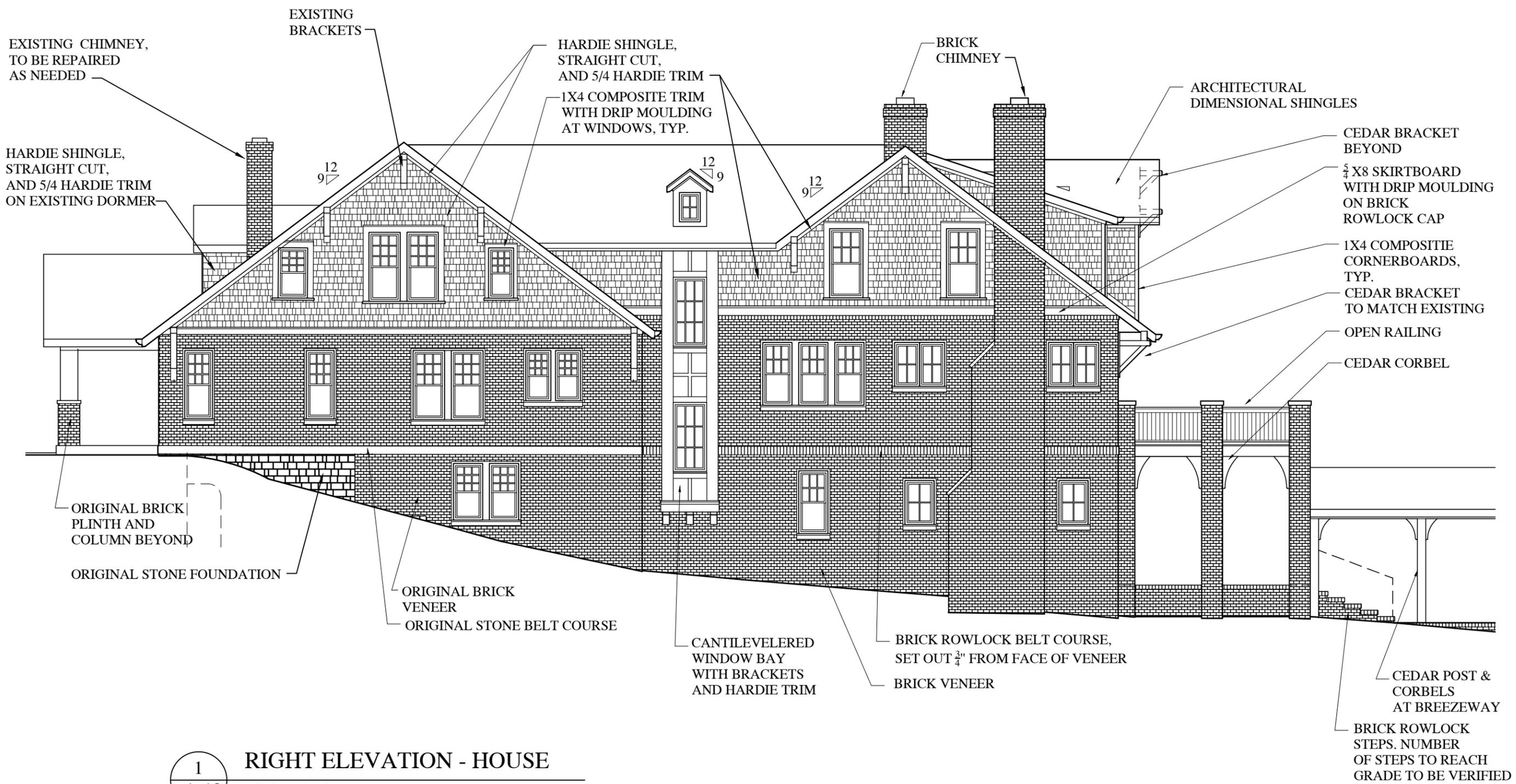
2 REAR ELEVATION
A-9 1/8" = 1'-0"

REVISIONS	
02.05.18	HISTORIC PRESERVATION APPLICATION

SHEET TITLE	
ELEVATIONS HOUSE FRONT & REAR	
JOB NO. 1705.00	SHEET NO. A-9
DATE 02-05-18	

NOT RELEASED FOR CONSTRUCTION. DATE:

NOTES:
 1. All windows on the front elevation and most of the side elevation windows are to be reworked if feasible.
 2. Typical roof pitches of 9:12 are to match existing pitch. Existing pitch to be verified.
 3. New gable brackets are to match existing brackets.



BRIAN & CHELSEY HADFIELD RESIDENCE
 3624 CENTRAL AVENUE NASHVILLE, TENNESSEE 37205

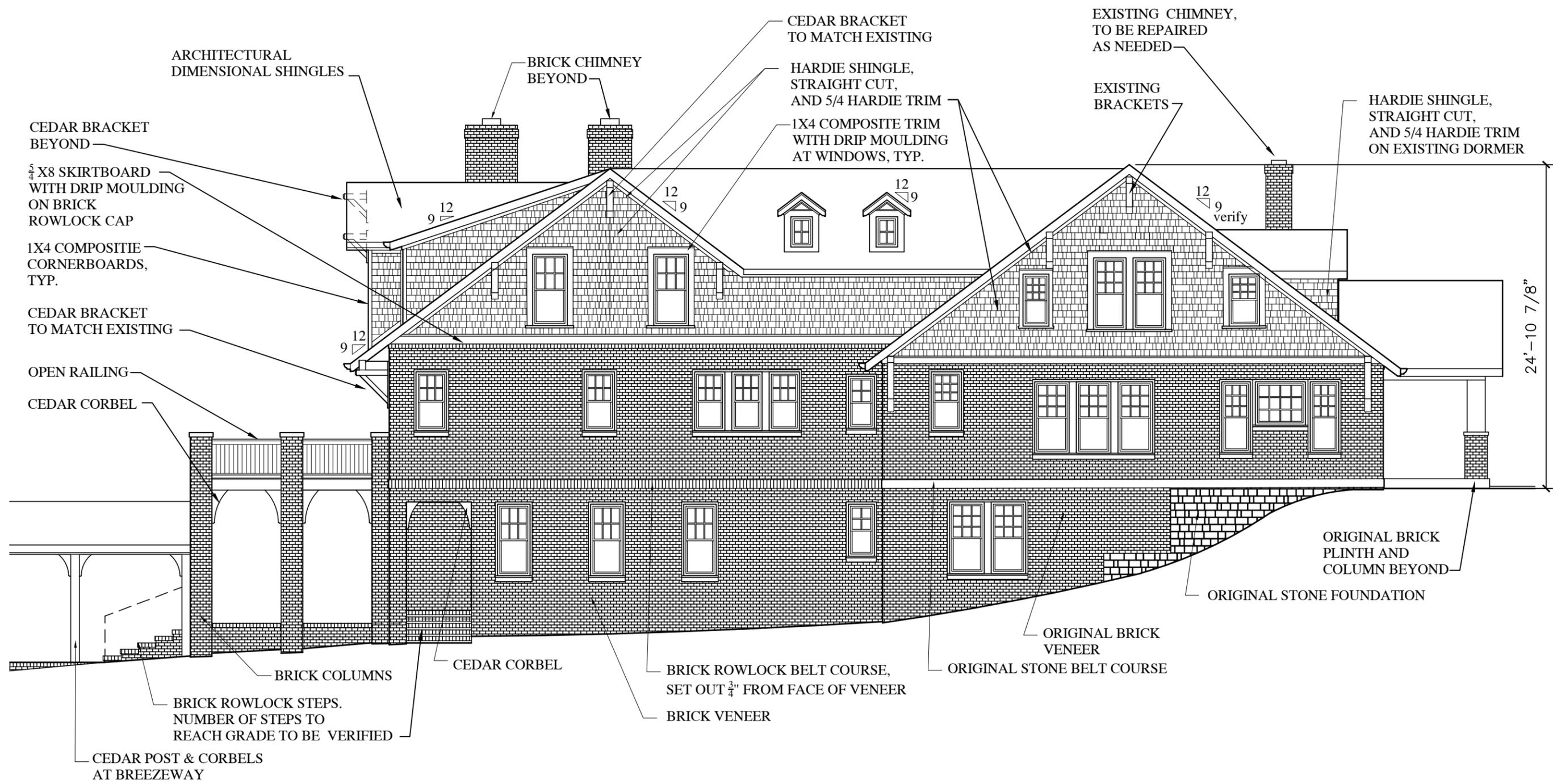
1 **RIGHT ELEVATION - HOUSE**
 A-10 1/8" = 1'-0"

REVISIONS	
02.05.18	HISTORIC PRESERVATION APPLICATION

SHEET TITLE	
ELEVATION HOUSE - RIGHT	
JOB NO. 1705.00	SHEET NO. A-10
DATE 02-05-18	

NOT RELEASED FOR CONSTRUCTION. DATE:

NOTES:
 1. All windows on the front elevation and most of the side elevation windows are to be reworked if feasible.
 2. Typical roof pitches of 9:12 are to match existing pitch. Existing pitch to be verified.
 3. New gable brackets are to match existing brackets.



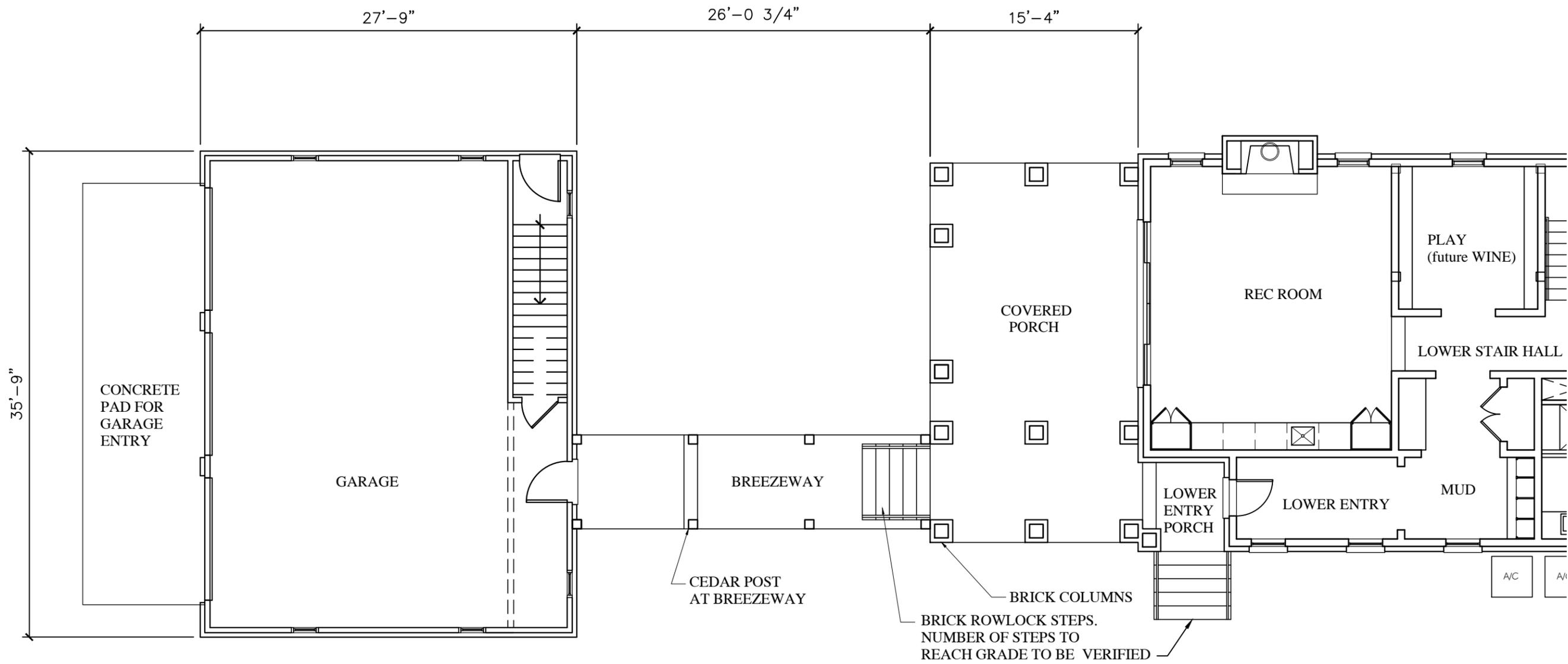
1 **LEFT ELEVATION - HOUSE**
A-11 1/8" = 1'-0"

BRIAN & CHELSEY HADFIELD RESIDENCE
 3624 CENTRAL AVENUE NASHVILLE, TENNESSEE 37205

REVISIONS	
02.05.18	HISTORIC PRESERVATION APPLICATION

SHEET TITLE	
ELEVATION HOUSE - LEFT	
JOB NO. 1705.00	SHEET NO. A-11
DATE 02-05-18	

NOT RELEASED FOR CONSTRUCTION. DATE:



1 PLAN - GARAGE & BREEZEWAY
 A-12 1/8" = 1'-0"

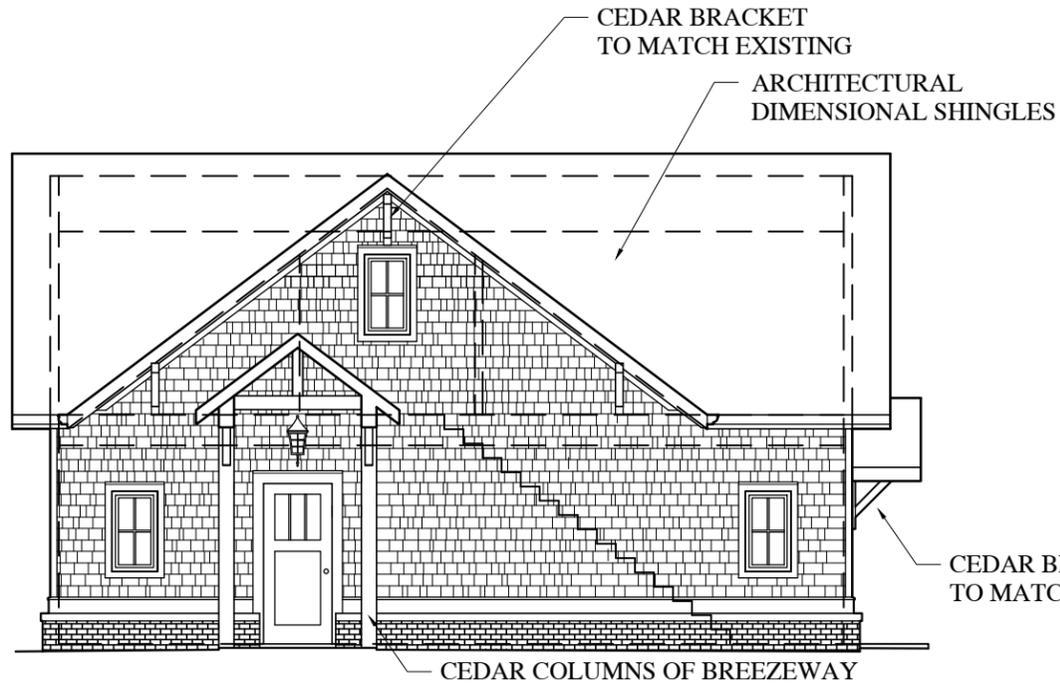
REVISIONS	
02.05.18	HISTORIC PRESERVATION APPLICATION

SHEET TITLE	
PLAN - GARAGE	
JOB NO. 1705.00	SHEET NO. A-12
DATE 02-05-18	

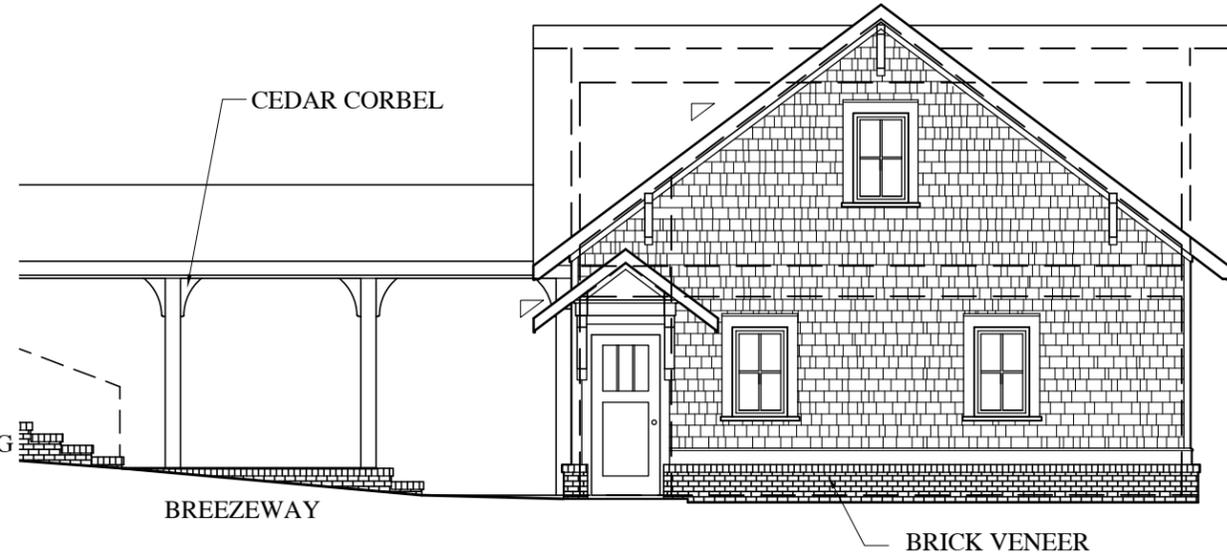
NOT RELEASED FOR CONSTRUCTION. DATE:

REVISIONS	
02.05.18	HISTORIC PRESERVATION APPLICATION

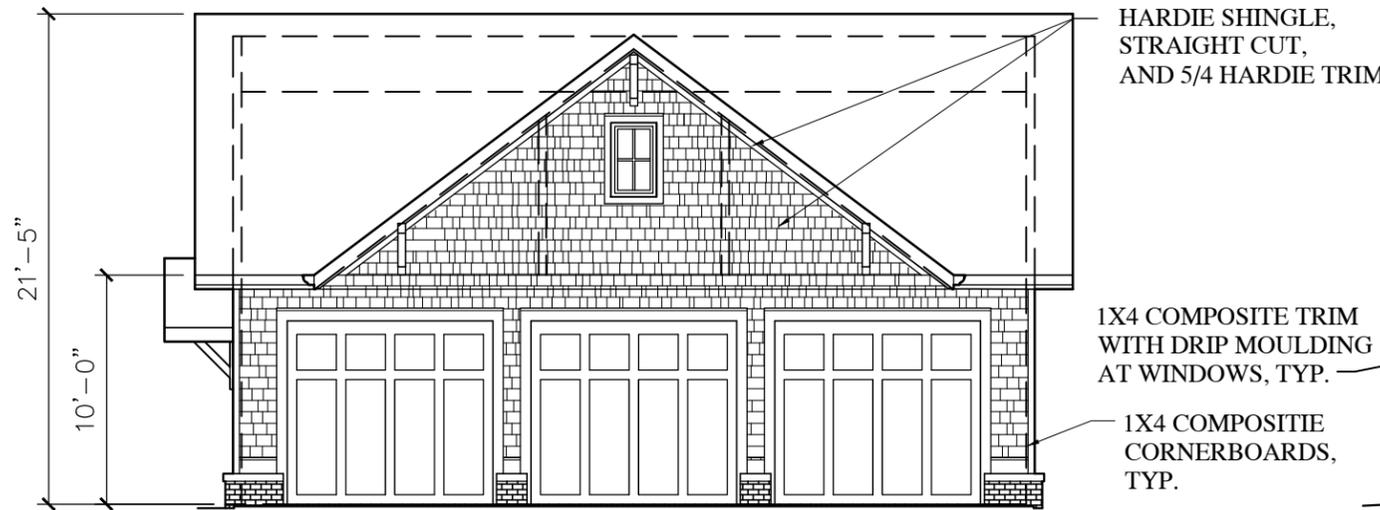
SHEET TITLE	
ELEVATIONS GARAGE	
JOB NO. 1705.00	SHEET NO. A-13
DATE 02-05-18	



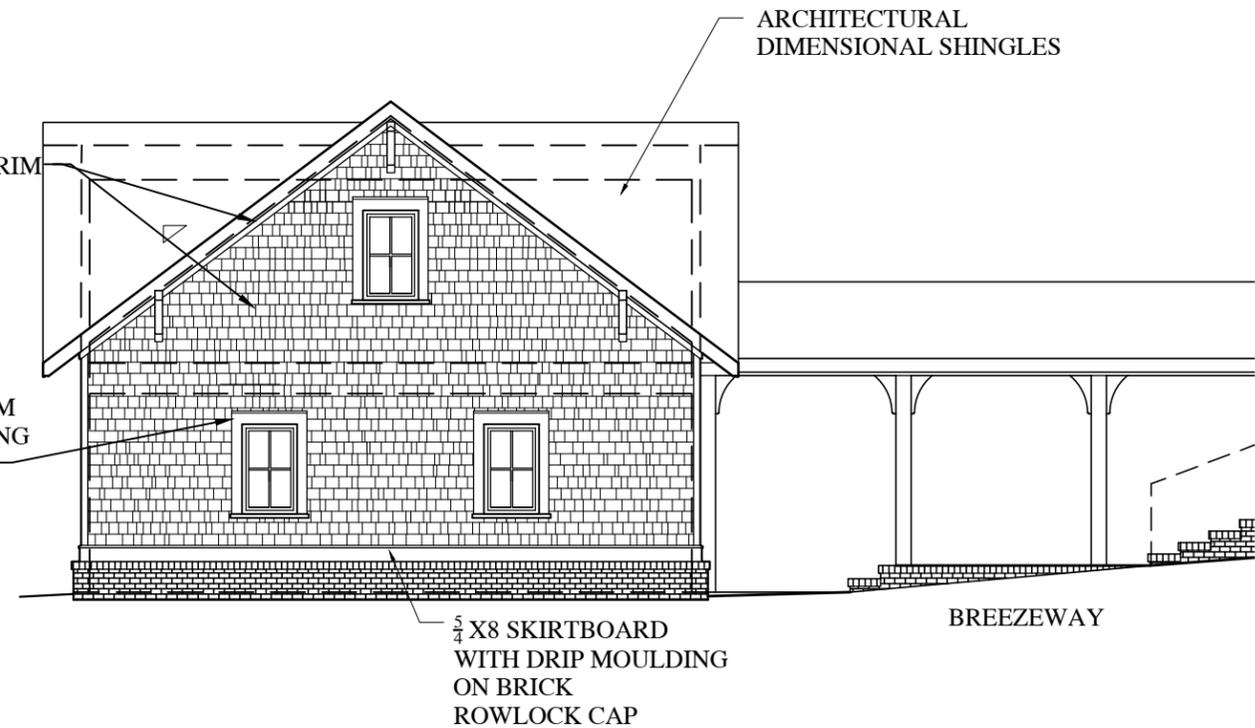
1 **FRONT ELEVATION - GARAGE - FACES HOUSE**
A-13 1/8" = 1'-0"



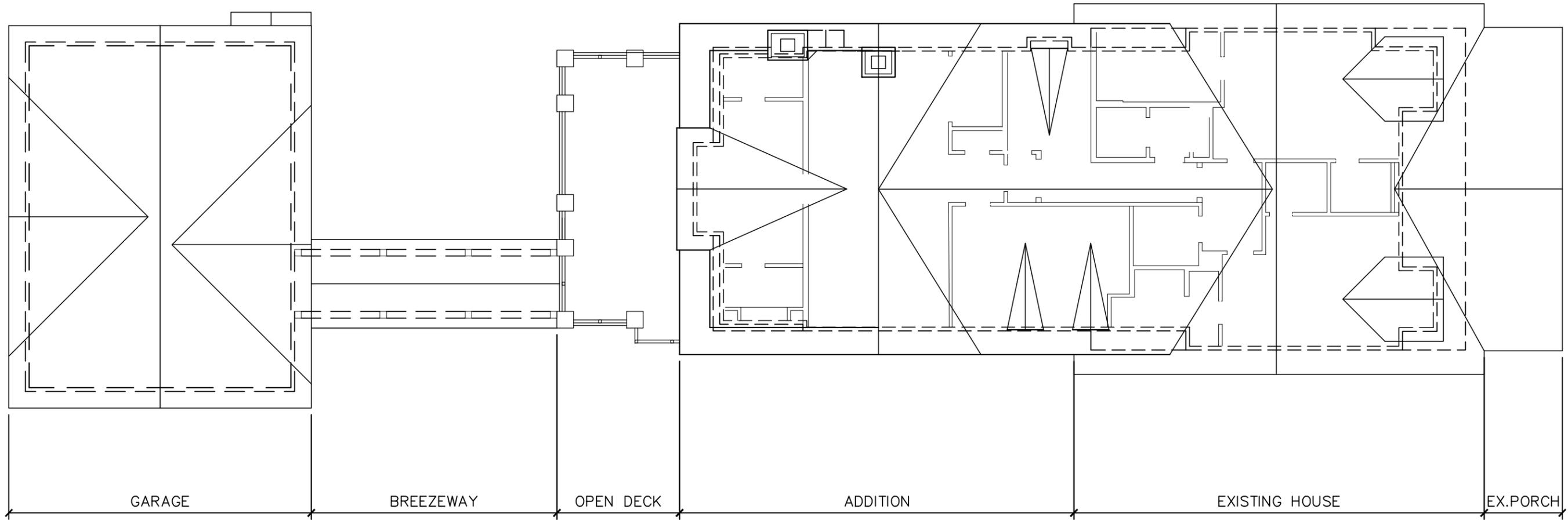
2 **RIGHT SIDE ELEVATION - GARAGE**
A-13 1/8" = 1'-0"



3 **REAR ELEVATION - GARAGE (FACES ALLEY)**
A-13 1/8" = 1'-0"



4 **LEFT SIDE ELEVATION - GARAGE**
A-13 1/8" = 1'-0"



REVISIONS	
02.05.18	HISTORIC PRESERVATION APPLICATION

1 **ROOF PLAN**
 A-14 3/32" = 1'-0"

SHEET TITLE	
ROOF PLAN	
JOB NO. 1705.00	SHEET NO. A-14
DATE 02-05-18	

NOT RELEASED FOR CONSTRUCTION. DATE: