



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION

816 Shelby Avenue

February 21, 2018

Application: New construction – infill and outbuilding

District: Edgefield Historic Preservation Zoning Overlay

Council District: 06

Map and Parcel Number: 08216039500

Applicant: Mitch Hodge, Architect

Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: This is a proposal to build a new two-story house. The house will have a hipped roof with a full width porch on the first story and a round projecting bay on the upperstory.

The proposal also includes a two-story outbuilding which is being reviewed as Detached Accessory Dwelling Unit.

Recommendation Summary: Staff recommends approval of the proposed infill and DADU outbuilding with the following conditions:

- The finished floor level is consistent with nearby historic buildings, to be verified by Staff during construction; and
- The depth of the round projecting bay shall be reduced to two feet (2’); and
- Brick color, siding texture and reveal, roof color, and all the window and door selections shall be approved by MHZC Staff prior to construction; and
- A paved walkway shall be added connecting the front porch and the sidewalk; and
- Permanent landscape features including walkways, driveways, fences and retaining walls, lighting, and any other appurtenances shall be approved by MHZC Staff prior to installation; and
- The HVAC condenser shall be located behind the midpoint of the building on a non-street-facing elevation.

With those conditions met, Staff finds that the proposed infill and DADU outbuilding will meet the design guidelines for new construction in the Edgefield Historic Preservation Zoning Overlay.

Attachments

A: Photographs

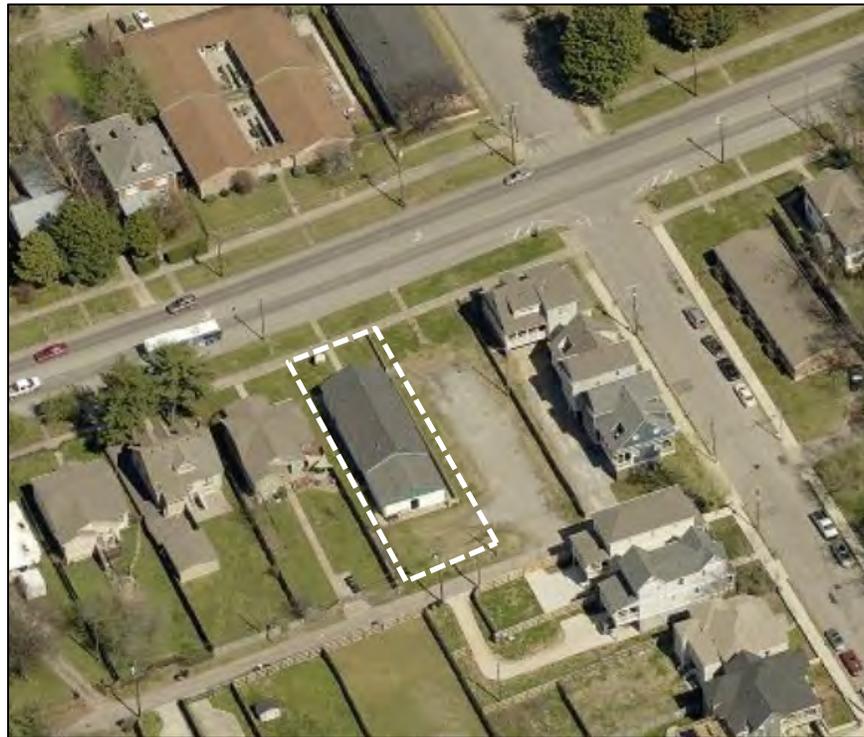
B: Site Plan

C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III.B.2 New Construction

a. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained.

Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings reinforce that rhythm.

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setback reductions will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

b. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

For those lots located within the Corner Commercial Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. An additional story may be added to a building provided that, where it is adjacent to a detached house or a residential subdistrict, it is set back a minimum of 25' from the building wall or 50' from the property line. Three story building height shall not exceed 45'. All front and side buildings walls shall be a minimum of 16' in height and at the build-to line. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor.

c. Building Shape

The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

d. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape,

orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

e. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

Multi-unit Developments

For multi-unit developments, interior dwellings should be subordinate to those that front the street. Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.

For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.

f. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass

panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

g. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

h. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that have or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new outbuilding building should reflect the character of outbuildings with the associated house. The outbuilding should be compatible, by not contrasting greatly with the surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall*

not exceed 25' feet in height.

Outbuildings: Character, Materials and Details

· Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure. DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

Outbuildings: Roof

· Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch. The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.

Outbuildings: Windows and Doors

*· Publicly visible windows should be appropriate to the style of the house.
· Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.
· Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
· Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.
For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

*· Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).
· Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
· Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
· Stud wall lumber and embossed wood grain are prohibited.
· Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.*

2) Outbuildings should be situated on a lot as is historically typical for the neighborhood.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or*
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Setbacks & Site Requirements.

- To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configuration would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.
- A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.
- There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding. At least one side setback a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

- On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.
- On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.

- The lot area on which a DADU is placed shall comply with Table 17.12.020A.
 - The DADU may not exceed the maximums outlined previously for outbuildings.
 - No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.
 - Density. A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.
 - Ownership.
 - a. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.
 - b. The DADU cannot be divided from the property ownership of the principal dwelling.
 - o The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
 - o Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.
- Bulk and Massing. The living space of a DADU shall not exceed seven hundred square feet.*

i. Appurtenances Related to New Construction

For information on fences, paving, walls, et cetera, see the Appurtenances section.

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

IV. APPURTENANCES TO HISTORIC AND NON-HISTORIC BUILDINGS

1. FENCES

- a. Wood picket fences are appropriate in front or rear yards. Front yard fences can be up to 4' in height.
- b. Privacy fences are appropriate only around rear yards (see illustrations). Privacy fences can be up to 6' in height.

A rear yard is considered to be behind the mid-point on the side facades of a house. It is most appropriate for privacy fences to stop at the rear corners of a house.

- c. Chain link or woven fences are generally not appropriate for front or visible side yards. They may be appropriate along rear property lines if the fence is camouflaged with plantings, or painted black or dark green.
- d. New or reclaimed iron fencing may be appropriate for pre-1900 houses. Iron fencing is generally not appropriate for later houses.

2. PERMANENT BUILT LANDSCAPE FEATURES

- a. Walls, curbs, steps, pavement, gravel, driveways, lighting, walkways and other such appurtenances should not contrast greatly with the style of the associated house in terms of design, size, materials, material color and location and should not contrast greatly with comparable original features of surrounding buildings.
- b. Historic retaining walls in front and side yards should be retained.
- c. Satellite dishes are not appropriate.
- d. Permanently installed fixtures such as fountains or waterfalls should be based on documentary, physical, or pictorial evidence.
- e. Above-ground swimming pools should not be publicly visible. An in-ground swimming pool should be located in a rear yard in a manner that minimizes its public visibility.

Mail boxes at the sidewalk or street are not appropriate.

Structures such as gazebos and pergolas should be appropriate to the style of the house and located in rear yards, unless documentary, physical, or pictorial historical evidence indicates otherwise.

Background: 816 Shelby Avenue is a vacant lot. A proposal to build a two and one-half story infill and a Detached Accessory Dwelling on the lot was disapproved by the MHZC in July of 2017.



Vacant lot shown is 818 Shelby Avenue. 816 Shelby is adjacent to the right, and is now vacant too.

Analysis and Findings: This is a proposal to build a new single-family house on the vacant lot with a detached outbuilding behind it. The outbuilding is proposed to be used as a DADU.

Height & Scale: The new building will have a roof height of thirty-one feet, seven inches (30'-7") above the floor level and an eave height of twenty-one feet, (21'), with the foundation height at the front varying from two feet (2') to three feet (3') as the grade drops to the right. Other historic houses on the block range from twenty-one feet (21') to more than thirty six feet (36') tall from peak to grade.

The building will be thirty-six feet (36') wide at the front, with a small rounded bay projecting approximately three feet (3') on the left side toward the rear of the building. Other historic houses on the block range from twenty-eight to thirty-eight feet (28'-38') wide. The overall depth of the building will be fifty-nine feet (59'), including an eight foot (8') deep front porch. The height and width of the proposed infill are compatible with other historic houses nearby, including an historic two-story Foursquare style house directly across the street. Staff finds the proposed infill to be compatible with the surrounding historic context and therefore that the proposal meets sections III.B.2.a and III.B.2.b of the design guidelines.

In the center of the upperstory of the front façade there will be a semi-circular bay projecting three feet (3') over the porch. Staff finds that the scale of this feature is not compatible with historic houses in the area. In July 2017, the Commission expressed concern about a similar round bay overshadowing the scale of the main front entrance, which should be the dominant feature of the facade. There are examples of small rounded bays and turrets on historic houses in the area; however, the scale of the proposed projection is larger than is typical of a projecting bay. Staff recommends that the depth of the bay be reduced to two feet (2') at its deepest point to be more in keeping with historic examples.

Setback & Rhythm of Spacing: The new building will have a front setback of twenty-seven feet (27'). This will be compatible with the setbacks of contributing buildings on the street, among which there is variation in setback and porch type.

With left and right side setbacks of eight feet, three inches (8'-3") and five feet, six inches (5'-6"), respectively, the rhythm of spacing between buildings will be compatible with the existing pattern of the street.



Aerial view of Shelby Ave, showing variation in front setbacks (Non-contributing buildings noted “NC”).

Staff finds that the setbacks of the proposed infill are compatible with surrounding historic houses and that the proposal will meet section III.B.2.a of the design guidelines.

Materials, Texture, and Details and Material Color: The exterior materials for the proposed infill are described in the following chart:

	Proposed	Color/Texture /Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Brick	Not indicated	Yes	X
Primary Cladding	Brick	Not indicated	Yes	X
Secondary Cladding	Cement-fiber Clapboard, Stucco and half-timber trim	More information needed	Yes	X
Trim	Wood & Cement-fiber		Yes	
Roofing	Architectural Shingles	Color not known	Yes	X
Front Porch floor/steps	Not indicated	Not indicated	Unknown	X
Front Porch Columns	Square brick bases with square posts above columns	Brick, Wood	Yes	X

Windows	Double-hung, fixed	Not indicated	Yes	X
Principle Doors	1/3 divided light door with sidelights	Not indicated	Yes	X
Driveway/ Parking	None shown			X
Walkway	None shown			X
Fence	None shown			X
Porch light fixtures	None shown			X

The primary materials are common and generally appropriate, however Staff recommends as a condition of approval that more information shall be provided prior to beginning construction, including brick color, siding texture and reveal, roof color, as well as the window and door selections and the material of the paved walkway and parking area, and any other fences, lighting or other appurtenances. With those items to be administratively approved, Staff finds that the known materials would meet section III.B.2.g and IV.2.a of the design guidelines.

Roof form & Building Shape: The primary roofs of the new building will be pyramidal with a 6:12 slope on all four sides. A gable projection will extend to the rear, stepped one foot, seven inches (1'-7") below the peak of the primary roof. The round bay at the front will have a conical roof with a 5:12 pitch. Although not very common, there are a number of conical roofs on architectural features like turrets within the surrounding area. Staff finds the roofs of the proposed building to be compatible with surrounding houses and finds that the project will therefore meet sections III.B.2.c and III.B.2.d of the design guidelines.

Orientation: The primary facade of the proposed infill will face Shelby Avenue directly, in the same plane and manner as the surrounding historic buildings, with an eight foot (6') deep full width porch. The plans do not show there to be a paved walkway connecting the front porch to the street as is typical of the historic context. With a condition that there be a front walkway, Staff finds that the orientation of the project meets section III.B.2.e of the design guidelines.

Proportion and Rhythm of Openings: The windows on the new building will generally be twice as tall as they are wide, arranged in pairs on the front and rear elevations with mullions in between. The side elevations will have regularly spaced windows, with no large expanses of walls without any opening. The front door will be flanked by sidelights, which are common to many styles in the surrounding area. Staff finds that the window and door proportions and rhythms are generally compatible with the surrounding historic context and that the project will meet section III.B.2.f of the design guidelines.

Appurtenances & Utilities: In addition to not showing a walkway connecting the front porch to the street, the plans do not indicate the location of the HVAC or other appurtenances including fences, retaining walls, lighting, and other permanent landscape features. Staff recommends as a condition of approval that these items be included on a revised site plan prior to beginning

construction, as they must all be reviewed for compatibility under section III.B.2.i of the Edgefield Historic Preservation Zoning Overlay design guidelines.

Outbuildings:

The project includes a detached outbuilding at the rear of the lot. The outbuilding is being reviewed as a Detached Accessory Dwelling Unit.

Site Planning & Setbacks:

	MINIMUM	PROPOSED
Building located towards rear of lot	-	Yes
Space between principal building and Garage	20'	54'
Rear setback	5'	10'
L side setback	5'	5'-6"
R side setback	5'	6'-4"
How is the building accessed?	-	From the alley at rear
Two different doors rather than one large door (if street facing)?	-	N/A

These setbacks are typical of the locations of outbuilding historically and meet the design guidelines and base zoning requirements. Staff finds the proposed location to be appropriate and to meet section III.B.2.h.2 of the design guidelines and section 17.16.030 of the Metro Code regulating Detached Accessory Dwelling Units.

Massing Planning: The following charts refer to the scale of the proposed outbuilding.

Heights for a two-story outbuilding, appropriate with a two-story principal building:

	Height of principal building	Potential maximums (heights to be measured from grade)	Proposed (should be the same or less than the lesser number to the left)
Ridge Height	30'-4"	25'	18'
Eave Height	19'-9"	17'	14'

The lot is 8,750 square feet of area. On a lot less than 10,000 square feet:

	Lot is less than 10,000 square feet	50% of first floor area of principle structure	Proposed footprint (maximum cannot exceed lesser number to left)
Maximum Square Footage	750 sq. ft.	900	748

Staff finds the scale of the proposed outbuilding to be subordinate to the principal building and to meet section III.B.2.h.1 of the design guidelines and section 17.16.030 of the Metro Code regulating Detached Accessory Dwelling Units.

Design Standards: The materials, proportions, and overall character of the accessory structure will be similar to the principal building. The roof will be hipped with a 7:12 pitch, compatible with the forms and pitch of the principal building as well. The outbuilding will have two two-bay garage doors facing the alley, not visible from the right-of-way. Staff finds the design of the proposed outbuilding to meet section III.B.2.h.1 of the design guidelines and section 17.16.030 of the Metro Code regulating Detached Accessory Dwelling Units.

Roof Shape & Elements:

Shape

Proposed Element	Proposed Form	Typical of district?
Primary form	Hipped	X
Primary roof pitch	7:12	X
Dormer form	N/A	X
Dormer pitch	N/A	X

Elements

	YES	NO
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?		N/A
If dormers are used, do they sit back from the wall below by at least 2'?		N/A
Is the roof pitch at least 4/12?	Yes	

The roofs of the building meet section III.B.2.h.1 of the design guidelines and section 17.16.030 of the Metro Code regulating Detached Accessory Dwelling Units.

Material:

	Proposed	Color/Texture /Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Brick	Not indicated	Yes	X
Primary Cladding	Brick	Not indicated	Yes	X
Secondary Cladding	Stucco		Yes	

Roofing	Architectural Shingles	Color not known	Yes	X
Windows	Double-hung, fixed	Not indicated	Yes	X
Garage Doors	1/3 divided light upper with panels below	Not indicated	Yes	X
Driveway/ Parking	None shown			X
Walkway	None shown			X

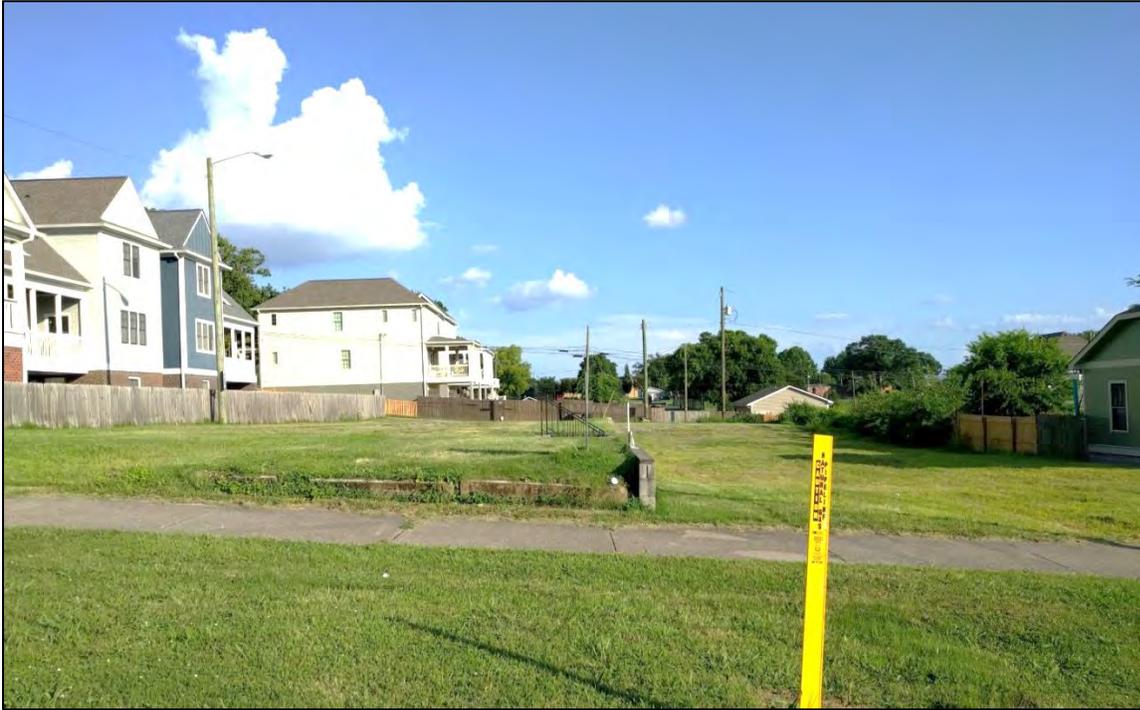
The primary materials are common and generally appropriate, however Staff recommends as a condition of approval that more information shall be provided prior to receiving a permit, including brick color, roof color, as well as the window and door selections and the material of the and paved parking area, walkways, and any appurtenances. With those items to be administratively approved, Staff finds that the known materials would meet section III.B.2.g and IV.2.h of the design guidelines.

Recommendation: Staff recommends approval of the proposed infill and outbuilding with the following conditions:

- The finished floor level is consistent with nearby historic buildings, to be verified by Staff during construction; and
- The depth of the round projecting bay shall be reduced to two feet (2'); and
- Brick color, siding texture and reveal, roof color, and all the window and door selections shall be approved by MHZC Staff prior to construction; and
- A paved walkway shall be added connecting the front porch and the sidewalk; and
- Permanent landscape features including walkways, driveways, fences and retaining walls, lighting, and any other appurtenances shall be approved by MHZC Staff prior to installation; and
- The HVAC condenser shall be located behind the midpoint of the building on a non-street-facing elevation.

With those conditions met, Staff finds that the proposed infill and outbuilding will meet the design guidelines for new construction in the Edgefield Historic Preservation Zoning Overlay and section 17.16.030 of the Metro Code regulating Detached Accessory Dwelling Units.

Photographs



818 and 816 Shelby Avenue.



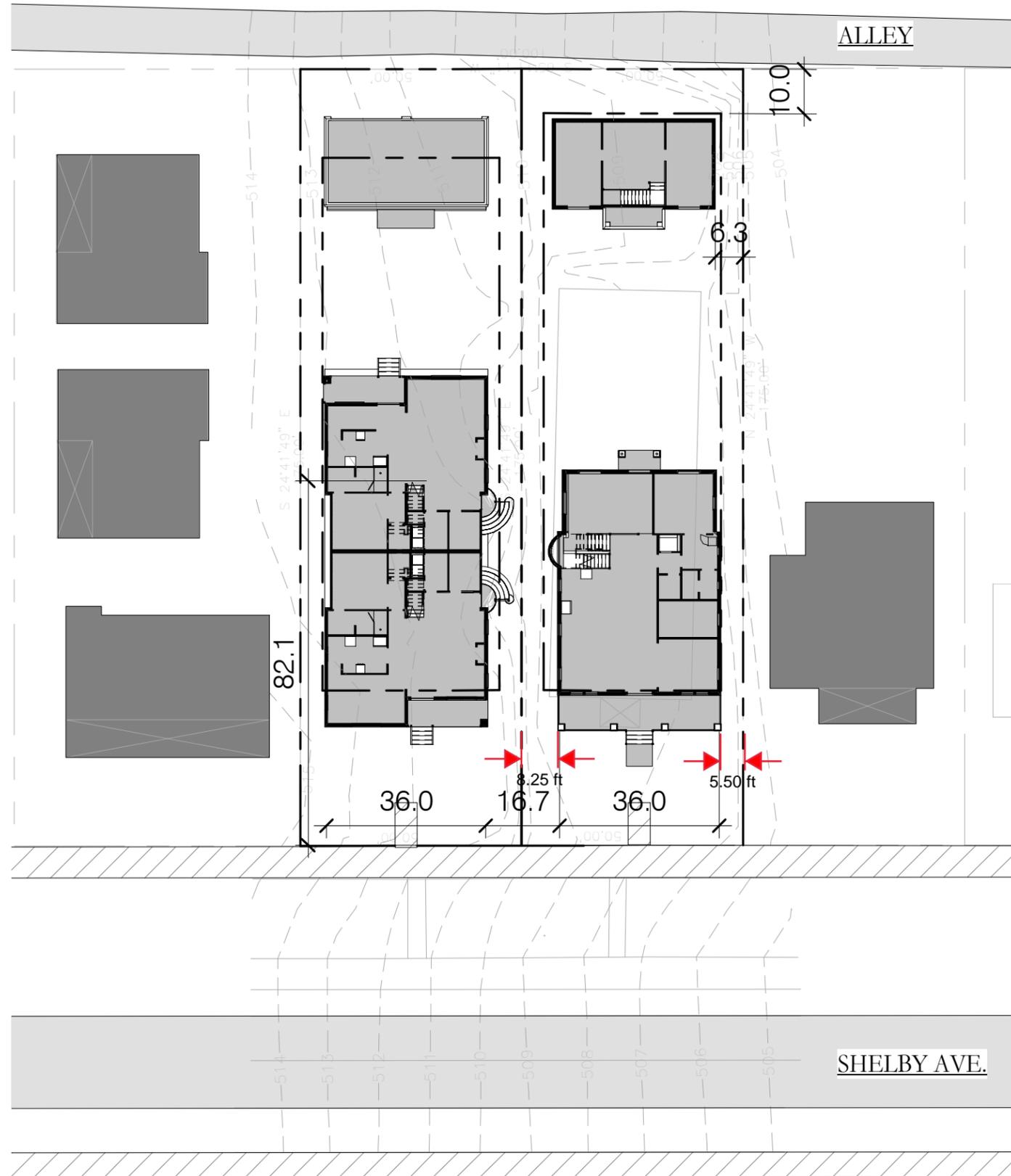
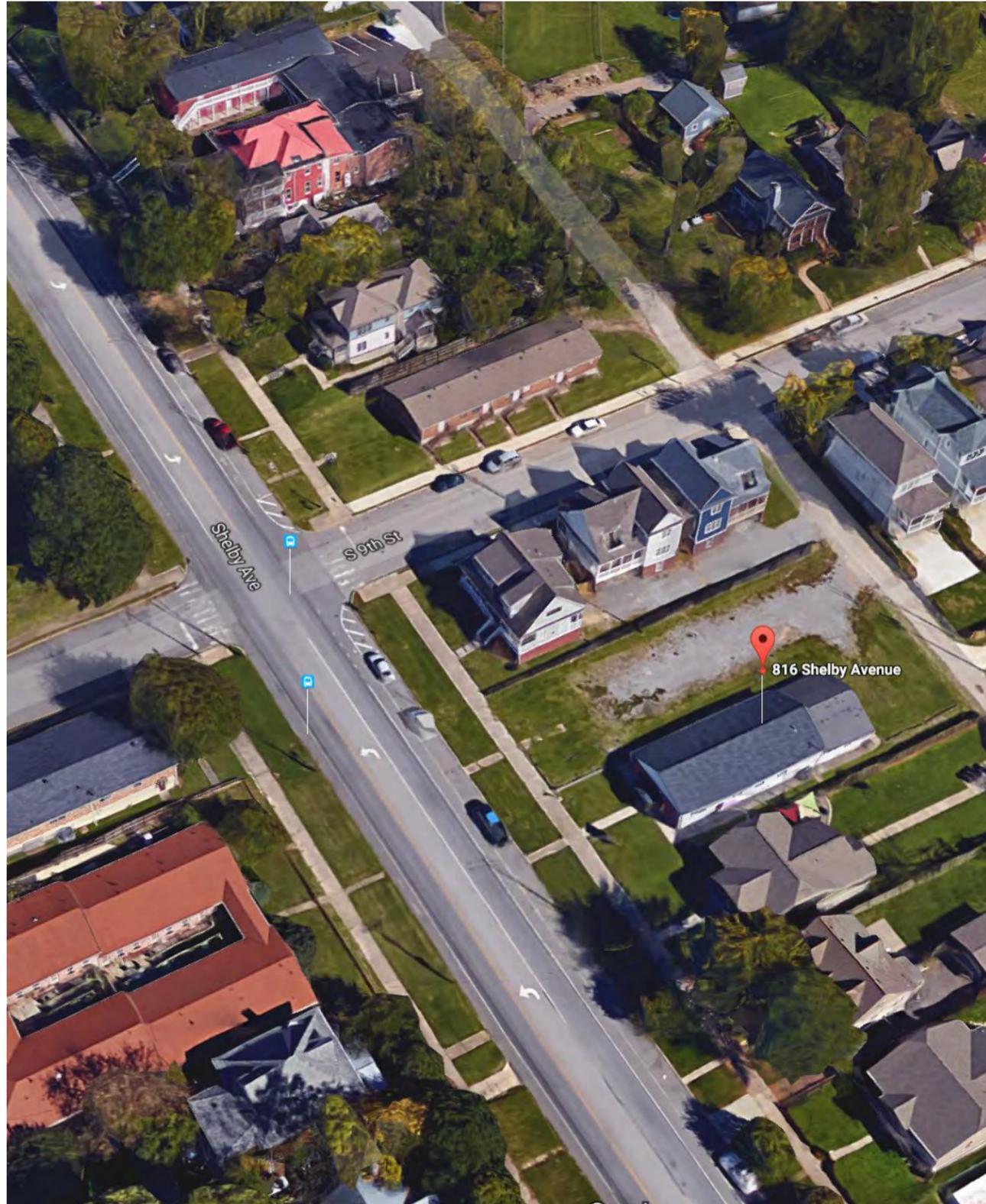
814 Shelby Avenue, non-contributing but approved by MHZC in 2005.

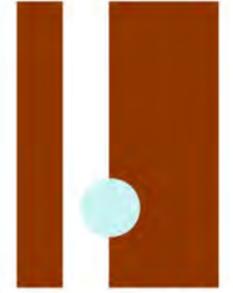


812 Shelby Avenue, an historic house circa 1930.



815 Shelby Avenue, an historic American Foursquare house, and 819 Shelby Avenue – a non-contributing building.




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A NEW HOME AT
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1 SITE PLAN
 A-1 1" = 30'-0"

SITE PLAN
A-1
 PROJECT 1708
 DATE 02.07.18



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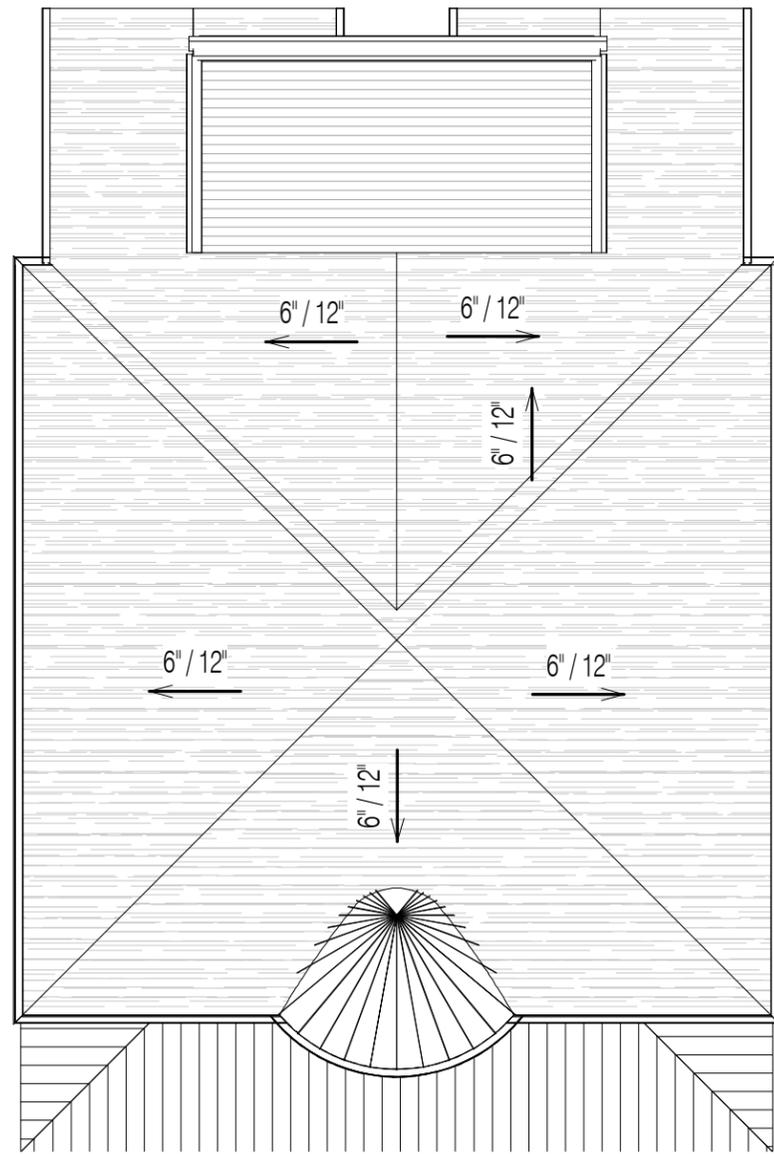
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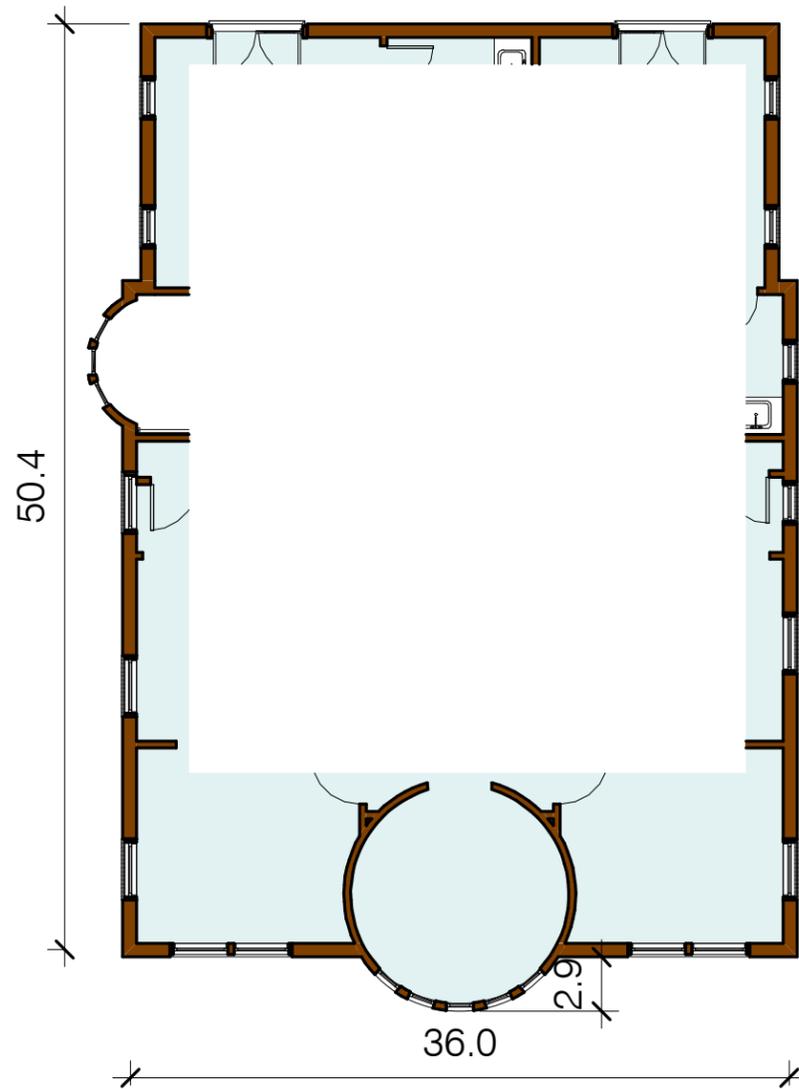
FLOOR PLANS, ROOF
PLAN

A-2

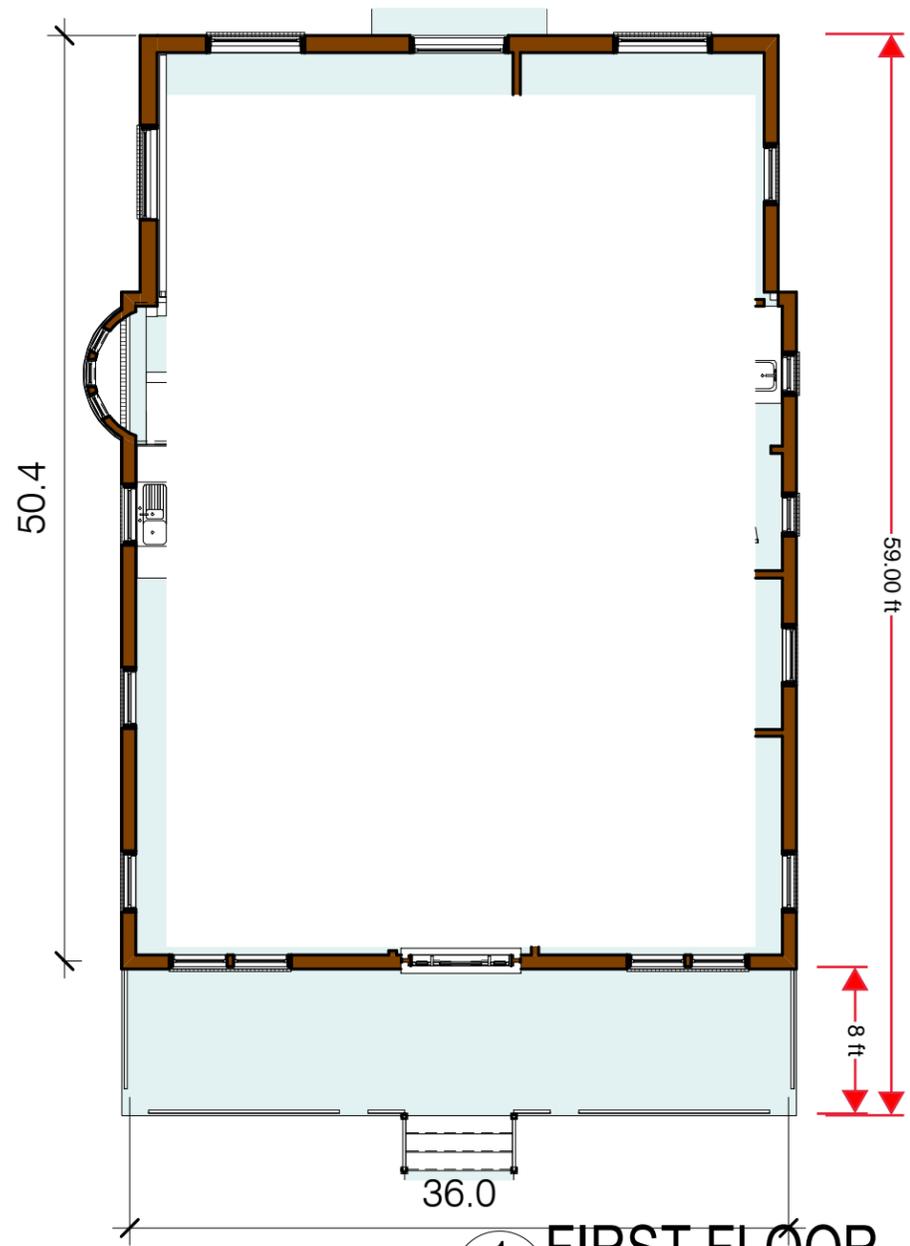
PROJECT 1708
DATE 02.07.18



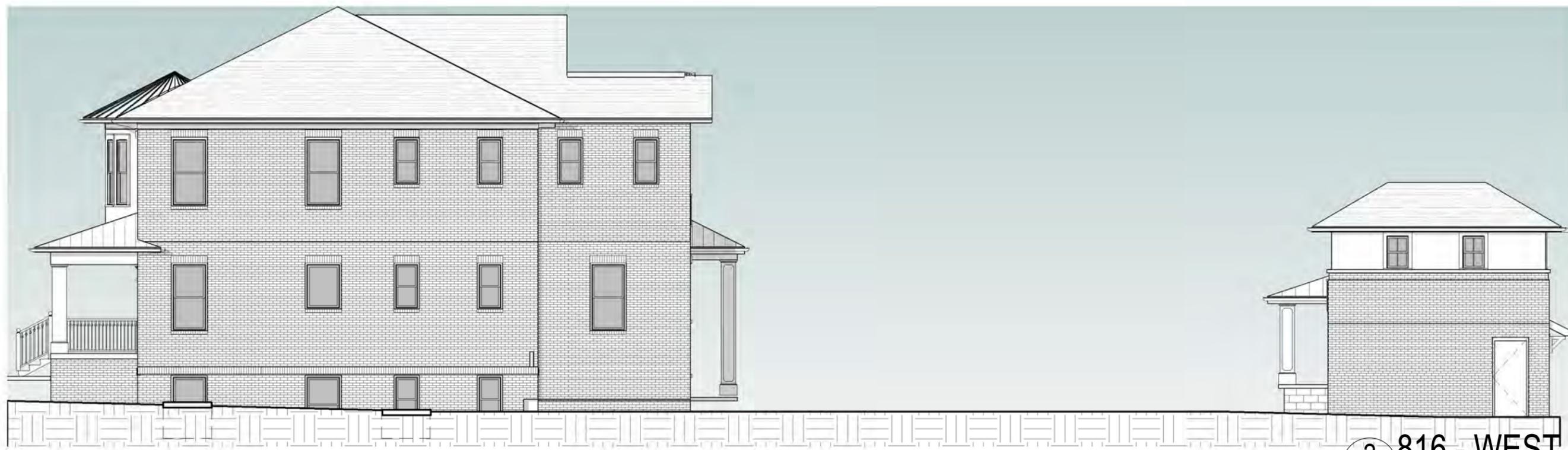
3 ROOF
A-2 1" = 10'-0"



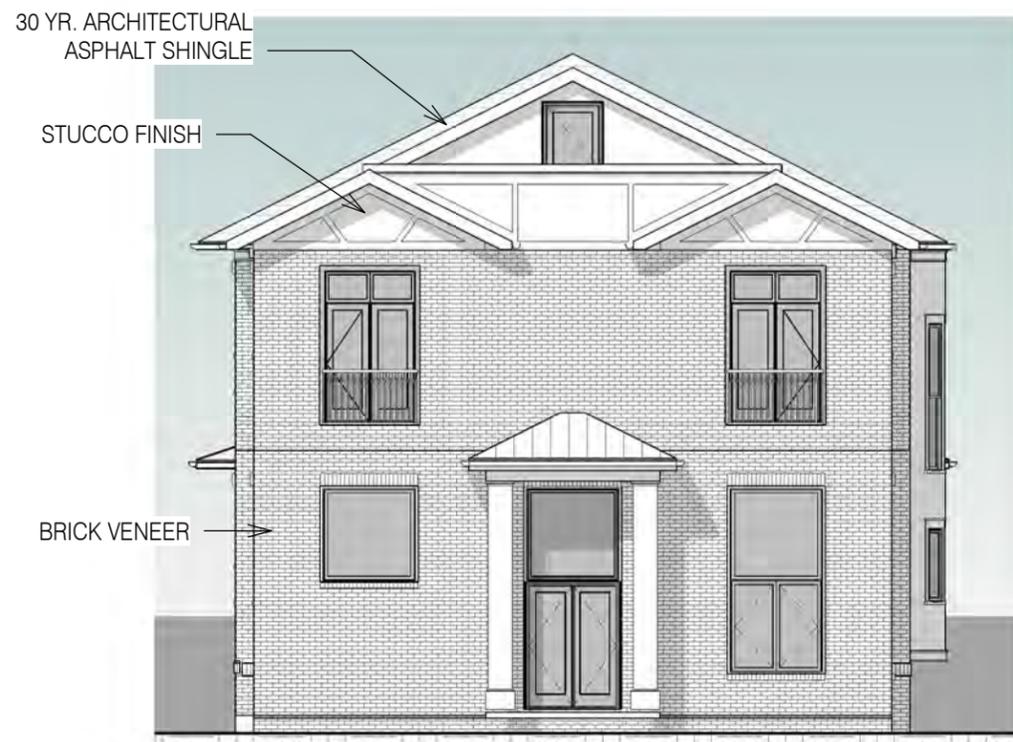
2 SECOND FLOOR
A-2 1" = 10'-0"



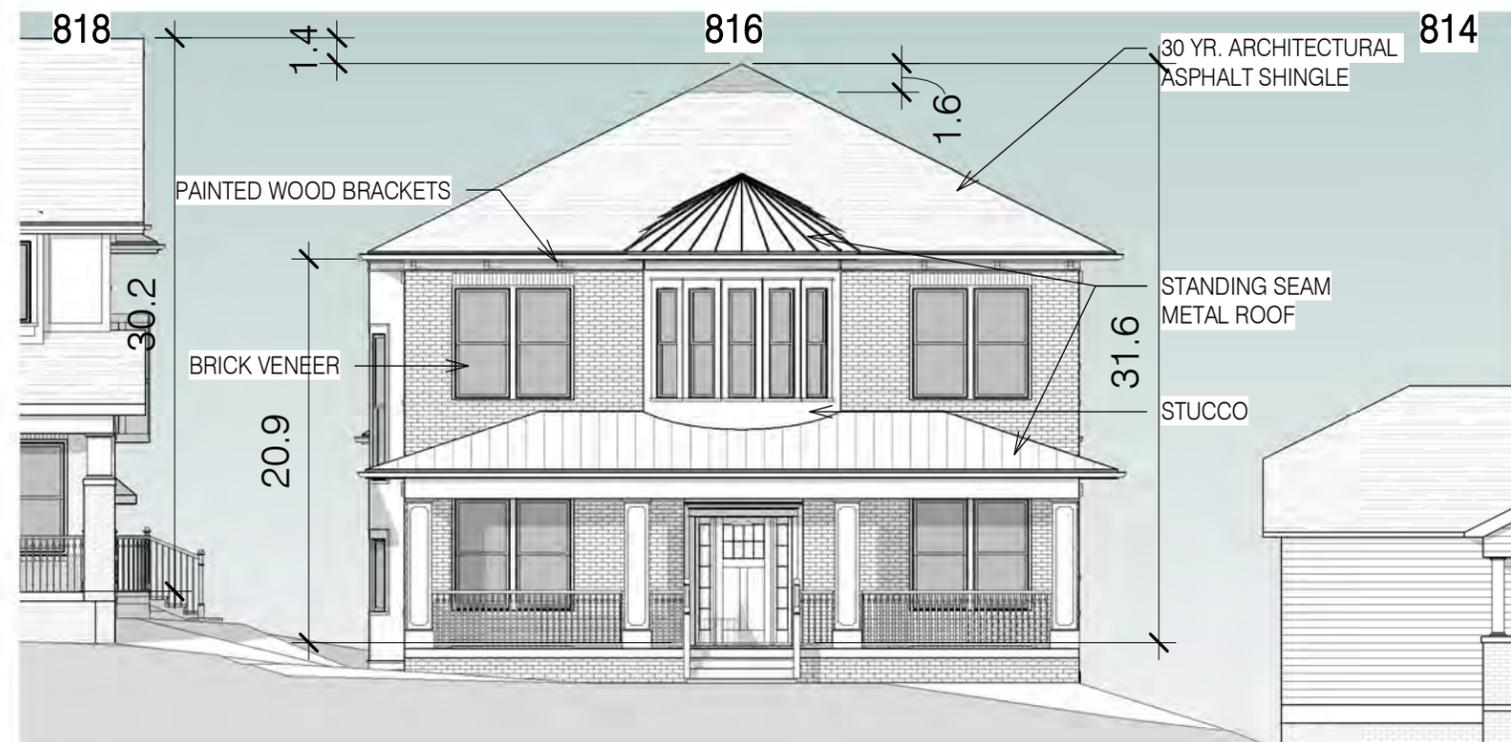
1 FIRST FLOOR
A-2 1" = 10'-0"



2 816 - WEST
A-3 1" = 10'-0"



3 MAIN HOUSE - SOUTH
A-3 1" = 10'-0"



1 FRONT - SHELBY AVE.
A-3 1" = 10'-0"

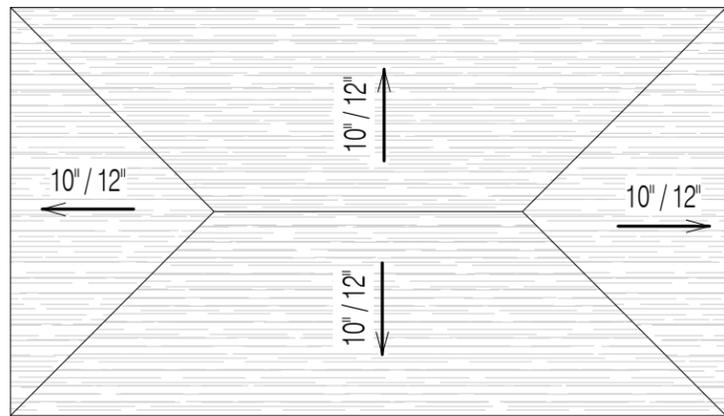
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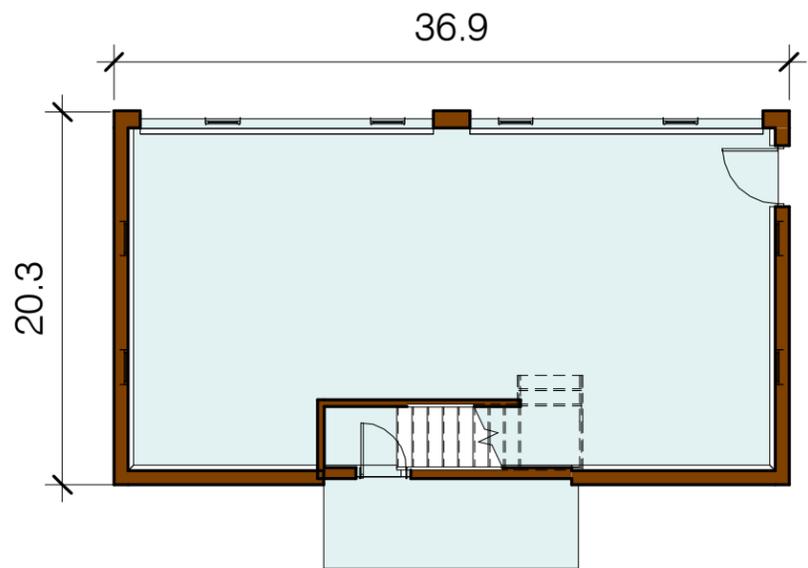
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ELEVATIONS
A-3
PROJECT 1708
DATE 02.07.18



5 GARAGE ROOF
A-4 1" = 10'-0"



4 GARAGE
A-4 1" = 10'-0"

30 YR. ARCHITECTURAL ASPHALT SHINGLE
STUCCO FINISH
BRICK VENEER



3 GARAGE - NORTH
A-4 1" = 10'-0"

30 YR. ARCHITECTURAL ASPHALT SHINGLE
STUCCO FINISH
BRICK VENEER



2 GARAGE - ALLEY
A-4 1" = 10'-0"



1 EAST
A-4 1" = 10'-0"

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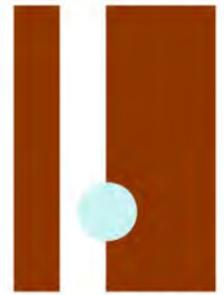
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ELEVATIONS, GARAGE PLANS
A-4
PROJECT 1708
DATE 02.07.18



3 820-814 SHELBY AVE
 A-5 1/16" = 1'-0"



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VIEWS

A-5

PROJECT 1708

DATE 02.07.18