

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

1303 Eastland Avenue

March 21, 2018

Application: DADU conversion

District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay

Council District: 06

Map and Parcel Number: 08305027300

Applicant: Gregory and Katherine Holly Everett

Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is to convert an existing outbuilding to a DADU.

Recommendation Summary: Staff recommends approval of converting the existing outbuilding into a detached accessory dwelling unit with the condition that the rear wall dormer step back from the wall below a minimum of two feet (2'). With this condition, Staff finds the project to meet Section 17.16.030.G. of the Metro Code.

Attachments

A: 1994 Preservation Permit

B: 2015-00190 (2015 Preservation Permit)

Applicable Design Guidelines:

17.16.030. G. Standards for Accessory Dwelling Units:

An accessory dwelling unit should follow the design guidelines for the historic overlay and the following standards:

1. Applicability.
 - a. While the following conditions listed below apply to a detached accessory dwelling they do not counter-act or over-ride the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.
 - b. No accessory structure shall exceed two hundred square feet when there is a detached accessory dwelling on the lot.
2. Lot Area. The lot area on which the detached accessory dwelling is to be placed shall comply with Table 17.12.020A.
3. Ownership.
 - a. No more than one detached accessory dwelling shall be permitted on a single lot in conjunction with the principal structure.
 - b. The detached accessory dwelling cannot be divided from the property ownership of the principal dwelling.
 - c. The detached accessory dwelling shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
4. Setbacks. The setbacks for a detached accessory dwelling shall meet the setbacks found in Section 17.12.040.E. for accessory buildings.

The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

Generally appropriate side setbacks for outbuildings is 3' for buildings with a 750 square foot footprint or less and 5' for buildings with a footprint greater than 750 square feet. Appropriate rear setbacks may be as close as 5'.

5. Site Requirements. A detached accessory dwelling may only be located behind the principal structure.
6. Driveway Access.
 - a. On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling.
 - b. On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.
 - c. Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.
7. Bulk and Massing.
 - a. The living space of a detached accessory dwelling shall not exceed seven hundred square feet.
 - b. On lots less than ten thousand square feet, the footprint of a detached accessory dwelling shall not exceed seven hundred fifty square feet
 - c. On lots ten thousand square feet or greater, the footprint of a detached accessory dwelling shall not exceed one thousand square feet.
 - d. The detached accessory dwelling shall maintain a proportional mass, size, and height to ensure it is not taller than the principal structure on the lot. The detached accessory dwelling height shall not exceed the height of the principal structure as measured to the eave line, with a maximum eave height of ten feet for single-story and seventeen feet for two-story detached accessory dwellings.
 - e. The roof ridge line of the detached accessory dwelling must be less than the primary structure and shall not exceed twenty-seven feet in height.

In conjunction with the neighborhoods where DADUs are possible and using research of historic outbuildings, the Commission has determined that a 25' maximum is appropriate for historic neighborhoods. Please see design guidelines for outbuildings.

8.Design Standards.

- a.The detached accessory dwelling shall be of similar style, design and material color as used for the principal structure and shall use similar architectural characteristics, including roof form and pitch, to the existing principal structure.
- b.The detached accessory dwelling may have dormers that relate to the style and proportion of windows on the detached accessory dwelling and shall be subordinate to the roofslope by covering no more than fifty percent of the roof.
- c.Detached accessory dwellings may have dormers that are setback a minimum of two feet from the exterior wall.

9.Historic Properties.

- a.Metro Historic Zoning Commission Action. Any existing or proposed detached accessory dwelling in a historic overlay district shall comply with the adopted regulations and guidelines of the applicable historic overlay.
- b.Detached accessory dwellings with a second story dwelling unit shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

10.Restrictive Covenant. Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the detached accessory dwelling is being established accessory to a principal structure and may only be used under the conditions listed above.

Note: The "use" of a DADU will require approval from the Department of Codes and Building Safety. The MHZC reviews the exterior design only, based on the intended use.

II.B. New Construction

8. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- a) Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details..

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant*

houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.

- DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

Outbuildings: Roof

- Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.
- The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.

Outbuildings: Windows and Doors

- Publicly visible windows should be appropriate to the style of the house.
- Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.
- Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.
- For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Outbuildings: Siding and Trim

- Brick, weatherboard, and board-and-batten are typical siding materials.
- Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
- Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
- Stud wall lumber and embossed wood grain are prohibited.
- Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

b) Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

- To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.

- A DADU or outbuilding may only be located behind the principal structure in the established rear yard.

The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.

- There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

Driveway Access.

- On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
 - On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*
- Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.

- The lot area on which a DADU is placed shall comply with Table 17.12.020A.*
- The DADU may not exceed the maximums outlined previously for outbuildings.*
- No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.*

Density.

- A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.*

Ownership.

- a. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.*
 - b. The DADU cannot be divided from the property ownership of the principal dwelling.*
- The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.*
 - Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.*

Bulk and Massing.

- The living space of a DADU shall not exceed seven hundred square feet.*

17.16.030.G.9 Historic Properties.

- a. Metro Historic Zoning Commission Action. Any existing or proposed detached accessory dwelling in a historic overlay district shall comply with the adopted regulations and guidelines of the applicable historic overlay.*
- b. Detached accessory dwellings with a second story dwelling unit shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Background: The house at 1303 Eastland Avenue dates to c. 1899 and contributes to the historic character of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay (Figure 1.) In 1994, MHZC approved a one-story detached garage behind the historic house (Figure 2). In 2015, MHZC staff issued an administrative permit to build a half-story on top of the existing garage (Figures 3 & 4). The 2015 preservation permit for the outbuilding states that the outbuilding is “not a detached accessory dwelling unit (DADU).” MHZC staff found that the addition to the garage met the design guidelines for outbuildings; however, the design requirements for a DADU were not applied.



Figure 1. 1303 Eastland Avenue



Figure 2. One-story garage in 1995



Figure 3. 1303 Eastland outbuilding, from alley. Figure 4. 1303 Eastland Ave outbuilding, from Eastland

Analysis and Findings: Application is to convert an existing outbuilding to a DADU.

General requirements for DADUs:

	YES	NO
If there are stairs, are they enclosed?	YES	
If a corner lot, are the design and materials similar to the principle building?	N/A	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	YES	
If dormers are used, do they sit back from the wall below by at least 2'?	NO*	
Is the roof pitch at least 4/12?	YES	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	N/A	
Is the building located towards the rear of the lot?	YES	

*The dormer that faces the street is set back two feet (2') from the exterior wall. However, the dormer that faces the alley is not inset from the exterior wall and stacks on the wall below (See Figure 3). In 2015, staff found that the dormer that stacks on the rear wall met the design guidelines, even if it did not meet the stricter requirements for DADUs. Because the rear dormer stacks on the wall below, it does not meet the DADU ordinance and cannot be legally used as a dwelling unit. Section 17.16.030.G.9 of the ordinance states that "any existing or proposed" outbuilding meet the regulations of the ordinance. Staff recommends that the rear dormer be altered to be inset two feet (2') from the wall below in order to be compliant with Section 17.16.030.G.8.c. of the DADU ordinance.

General Requirements for DADU:

	YES	NO
Does the lot NOT comply with Table 17.12.020A of the zoning code? (It isn't zoned two-family or doesn't have adequate square footage to be a legally conforming lot.)		No
Are there other accessory buildings on the lot that exceed 200 square feet?		No
Is the property zoned single-family?		No

Are there already two units on the property?		No
Does the property owner NOT live on site or does NOT plan to move to this location once the DADU is complete?		No
Is the planned conditioned living space more than 700 square feet?		No

Staff finds that the existing outbuilding does meet Section 17.16.30.G.1,2,3, and 7.a. of the DADU ordinance.

Design Standards: The accessory structure has a simple, utilitarian design that is appropriate for outbuildings. However, because of the rear dormer that is not inset two feet (2') from the exterior wall, staff finds that the outbuilding does not meet Section 17.16.030.G.8.b. of the ordinance. Staff recommends that the dormer be reframed so that it steps back a minimum of two feet (2') from the wall below, thereby meeting the DADU ordinance.

Roof Shape:

Proposed Element	Proposed Form	Typical of district?
Primary form	Gable	Yes
Primary roof slope	11/12	Yes

Staff finds that the existing outbuilding's primary roof form and slope meets Section 17.16.030.G.8.a. of the DADU ordinance.

Materials:

	Existing Conditions	Color/Texture	Approved Previously or Typical of Neighborhood
Foundation	Concrete Slab	Typical	Yes
Primary Cladding	Wood Siding	Smooth, Painted	Yes
Secondary Cladding	Board and Batten	Smooth, Painted	Yes
Roofing	Asphalt Shingles	Dark Grey	Yes
Trim	Cement Fiberboard	Smooth, Painted	Yes
Windows	Aluminum Clad with Simulated Divided Lights	Aluminum Clad with Simulated Divided Lights	Yes
Doors	Solid Metal	Solid Metal	Yes

Staff finds that the existing materials meet Section 17.16.030.G.8.a. of the DADU ordinance.

Appurtenances & Utilities: No changes to the site’s appurtenances are planned.

Site Planning & Setbacks:

	Minimum	Existing Conditions
Alley Setback	5’	8’
Left Side Setback	3’	5’
Right Side Setback	3’	≈51’
Distance Between Outbuilding and Primary Structure	20’	≈15’*

*The outbuilding is approximately fifteen feet (15’) from the back of the house. The italicized portion of the design guidelines currently states that there should be a minimum of twenty feet (20’) in between the back of the house and outbuilding. That language was not part of the design guidelines when MHZC approved the outbuilding in 1994 and is not a DADU requirement. Since the footprint of the outbuilding was not expanded in 2015 when the half-story was added, staff found that the distance between the two structures met the design guidelines in 2015. The DADU ordinance does not specify a minimum distance between the outbuilding and back of the house. Therefore, staff finds that the project does meet Section 17.16.30.G. 4 of the DADU ordinance.

Massing Planning:

	Existing Primary Structure (height of historic portion of the home to be measured from finished floor)	Potential maximums for DADU (heights to be measured from grade)	Existing Outbuilding
Ridge Height	23’4”	23’4”	23’4”
Eave Height	11’	10’	10’*

*The DADU ordinance limits the eave heights of one-and-a-half story DADUs to ten feet (10’). The 1994 preservation permit shows that the eave height of the original outbuilding was approved at nine feet (9’). In 2015, MHZC approved an eave height of ten feet

(10'6") when the half-story was added on top of the existing outbuilding. However, in measuring the eave height after the half-story was constructed, staff found that the eave height was constructed at ten feet (10') from grade. Staff therefore finds that the ridge and eave heights of the outbuilding meet Section 17.16.30.G.7.d. of the DADU ordinance.

The lot is larger than 10,000 square feet, at approximately 12,000 square feet.

	50% of first floor area of principle structure	Lot is more than 10,000 square feet	Proposed
Square footage:	1,126 sq. ft.	1,000 sq. ft.	484 sq. ft.

Staff finds that the outbuilding's footprint meets Section 17.16.30.G.7.c. of the DADU ordinance.

Recommendation Summary: Staff recommends approval of converting the existing outbuilding into a detached accessory dwelling unit with the condition that the rear wall dormer step back from the wall below a minimum of two feet (2'). With this condition, Staff finds the project to meet Section 17.16.030.G. of the Metro Code.

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY



Shain T. Dennison
Executive Director

Metropolitan Historic Zoning Commission
400 Broadway, Suite 200
Nashville, TN 37203
862-7970

PRESERVATION PERMIT

Certificate of Appropriateness

A Preservation Permit is hereby granted for the following by the Metropolitan Historic Zoning Commission:

PROPERTY LOCATION: Street Address: 1303 Eastland Avenue
Map/Parcel Number: 83-5-273
District: Lockeland Springs - East End

NAME OF APPLICANT: Mr. Larry Spencer, owner

WORK ITEMS (approved only as described in specifications below):

- 1. Demolition of historic outbuilding.
- 2. Construction of garage in rear yard.

APPROVED WORK SPECIFICATIONS:

- 1. Before demolition, allow MHZC staff to photodocument the building.
- 2. New garage to be constructed according to attached drawings and specifications.

ADDITIONAL SPECIFICATIONS OR DRAWINGS ATTACHED? yes no

NOTICE

ANY SUBSTITUTION OR DEVIATION FROM THE WORK ITEMS APPROVED ABOVE REQUIRES FURTHER REVIEW AND APPROVAL BY THE HISTORIC ZONING COMMISSION PRIOR TO BEING UNDERTAKEN.

THE WORK ITEMS ABOVE ARE APPROVED IN ACCORDANCE WITH THE ADOPTED DESIGN GUIDELINES AND ARE NOT NECESSARILY APPLICABLE BEYOND THE UNIQUE FACTS AND CIRCUMSTANCES OF THIS PARTICULAR APPLICATION.

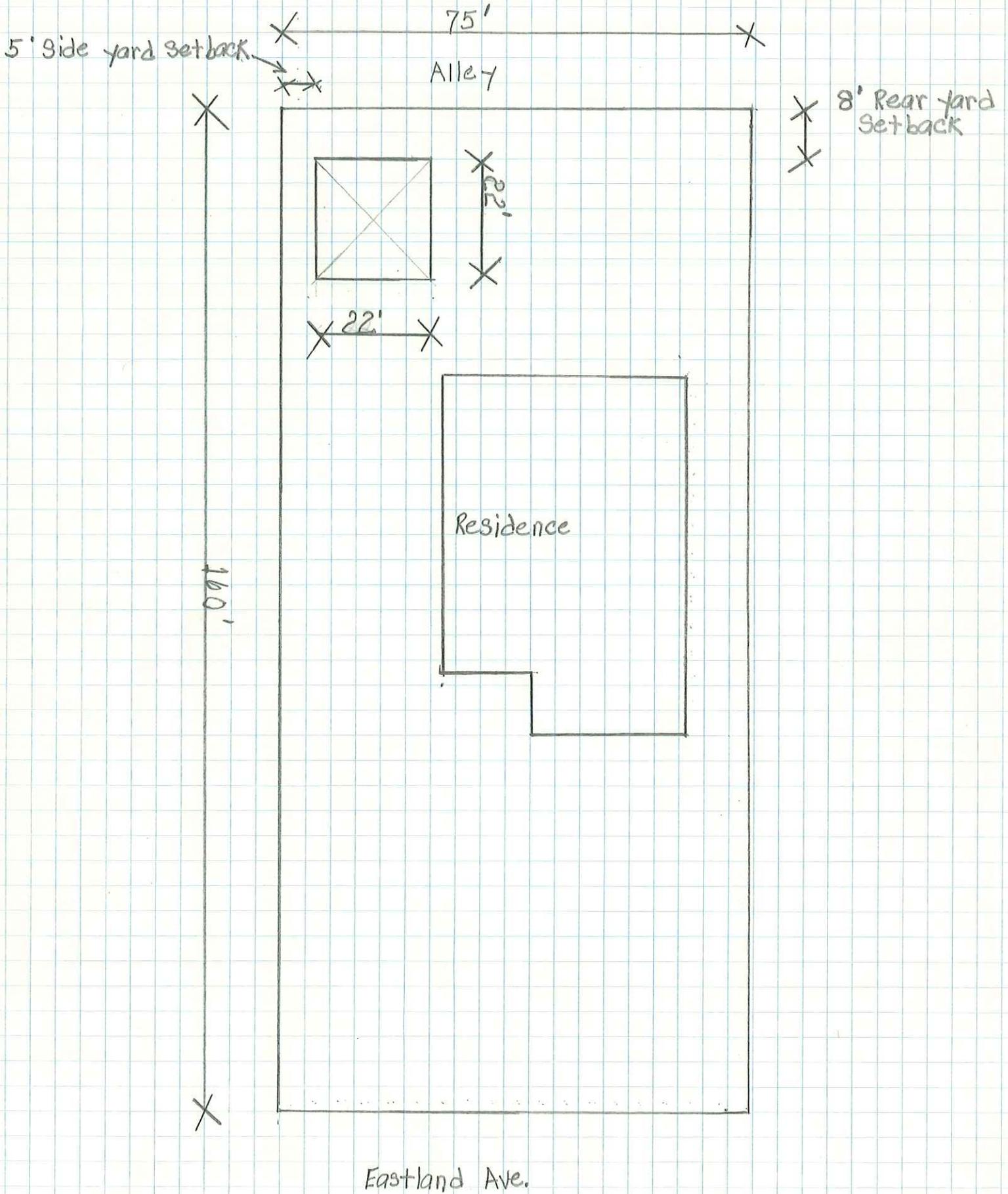
THIS PERMIT BECOMES INVALID SIX MONTHS AFTER ISSUE DATE.

THIS IS NOT A BUILDING PERMIT. NO WORK CAN BEGIN WITHOUT APPROPRIATE REVIEW AND APPROVAL BY THE METROPOLITAN CODES ADMINISTRATION.

Timothy Nestich
APPROVED BY

11 APR 14 1994
DATE

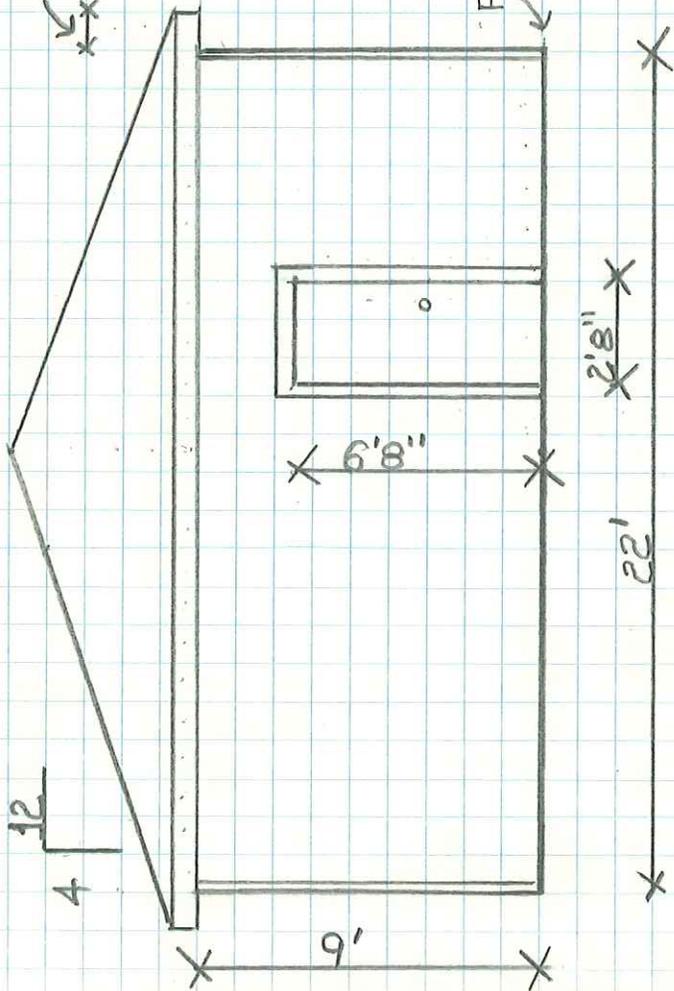
1303 Eastland Ave. Garage Site Plan
Scale: 1" = 4 Feet



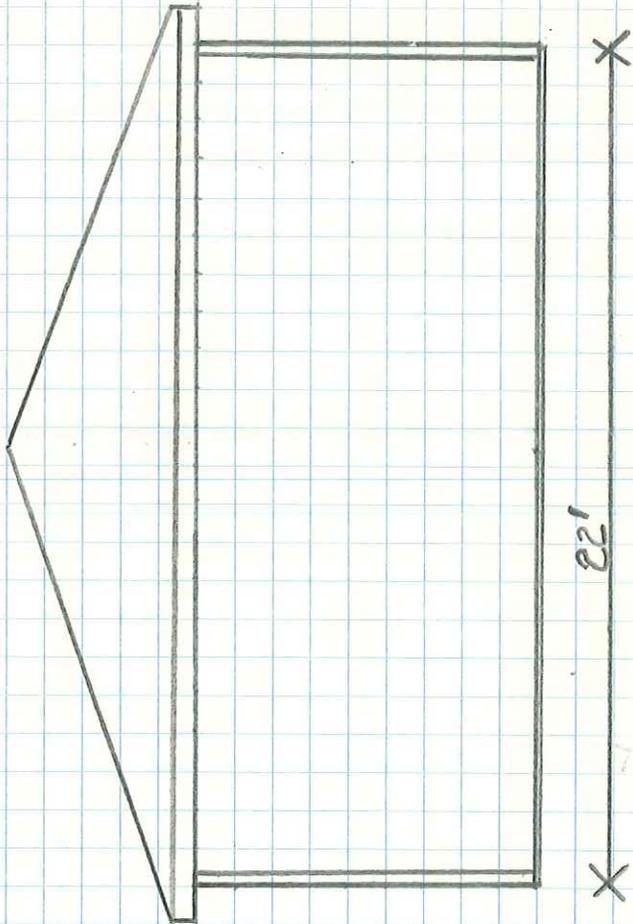
1303 Eastland Ave. Garage Elevations

1 [Symbol] = 1 Foot

1' Eave
Overhang

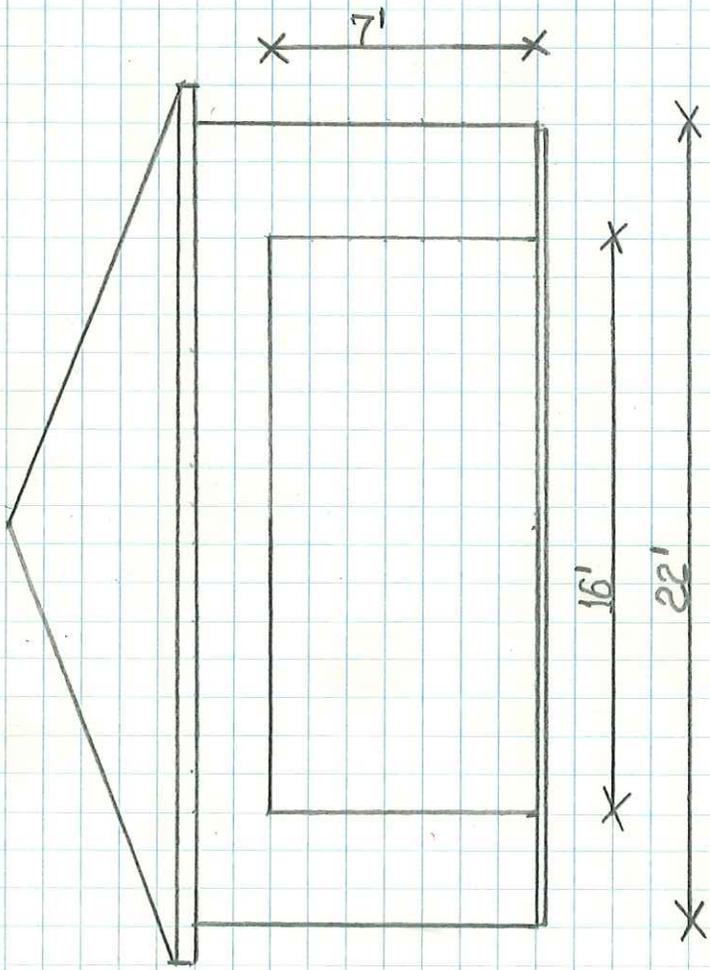


Eastland Ave. Elevation

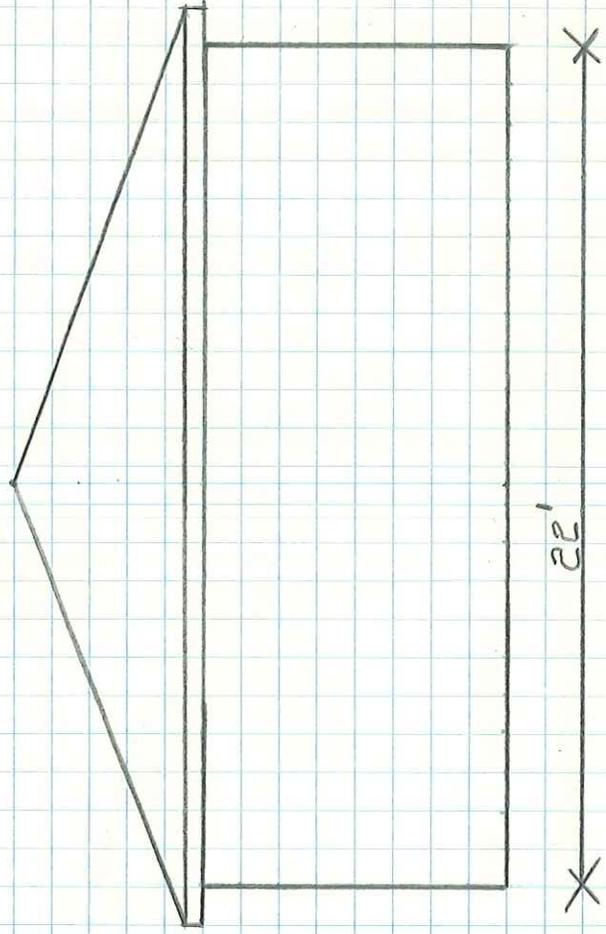


Yard Elevation

1303 Eastland Ave. Garage Elevations



Alley Elevation



Yard Elevation

1303 Eastland Avenue Garage Specifications

- * 215 pound composition roof shingles. Shingles will be black the same as on the house.
 - * Clapboard siding painted to match house. $4\frac{1}{2}$ " COURSE WIDTH
 - * Wood framing.
 - * Hip Roof. The same as existing structure.
 - * 16 feet by 7 feet flat steel garage door. No raised panels.
 - * Flat steel pedestrian door. 6 feet 8 inches by 2 feet 8 inches.
 - * All concrete foundation. Concrete will be 3,000 psi and 4 inch depth.
-
- 1'x1' CORNERBOARDS AND DOOR CASINGS
 - EXPOSED RAFTER TAILS



METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park
3000 Granny White Pike
Nashville TN 37204
(615) 862-7970

histlap1@nashville.gov

HISTORICAL COMMISSION PERMIT - 201500190

Entered on: 01-MAY-2015

IVR PERMIT TRACKING NUMBER: 2040362

Site Address

1303 Eastland Ave, NASHVILLE, TN 37206

Parcel: 08305027300

PT LOTS 28 & 29 EDGEWOOD PLAN

Parcel Owner

CROWELL, CARRIE KATHLEEN & KNOBLER, DANIEL CARLYLE

Purpose:

DESCRIPTION

- Add 1/2 story to top of existing outbuilding; no increase to footprint; no change to location of outbuilding; not a detached accessory dwelling unit

CLADDING & TRIM

- All/any trim, railings, vents and associated type elements are to be wood or cement fiberboard. Clad material is not approved. Wood or cement fiberboard shall be a smooth face material void of any simulated wood grain pattern or rough, unfinished appearance. All exposed exterior lumber should be grade number #1 or #2. Lower grade lumber is unsuitable for exterior work.

- 2 x 4 inches wood corner boards are typical on the face of each exposed corner, except for masonry buildings. Lumber to be of an appropriate trim grade (smooth and square). Stud wall lumber is not appropriate.

- 2 x 4 inches wood casing typical at doors and windows, except for masonry buildings. Double and triple windows should have a 4" to 6" mullion between. Lumber to be of an appropriate trim grade (smooth and square). Stud wall lumber is not appropriate.

WINDOWS & DOORS

- If there are muntins, only factory installed muntins are approved. Self installed snap, clip or glue type muntins on windows are not approved. Interior type muntins on windows are not approved. Windows to be approved by staff prior to installation.

- Windows on clapboard structures shall not have brick-mold.

- Overhead garage door and pedestrian entry doors may be steel with simple panel design. Doors to be approved by staff prior to installation.

ROOF

- Roof material may match the main structure. If roof material is not to match main structure, then color to be approved by staff prior to installation.

GENERAL SPECIFICATIONS

- Alterations to be constructed in accordance with attached elevations. Any deviation from the approved plans could result in changes being reversed to reflect the approved drawings. Please note: MHZC staff may have added notes to the submitted drawings.

- All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.

- Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate. - Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken.

- The work items listed are approved in accordance with the adopted design guidelines and are NOT applicable beyond the unique facts and circumstances of this particular application.

- This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.

of design should not be considered approval of a particular use. - THIS IS NOT A BUILDING PERMIT. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

Applicant: HEIRLOOM HOMES, LLC

Activities to be Completed – call (615) 862-7970:

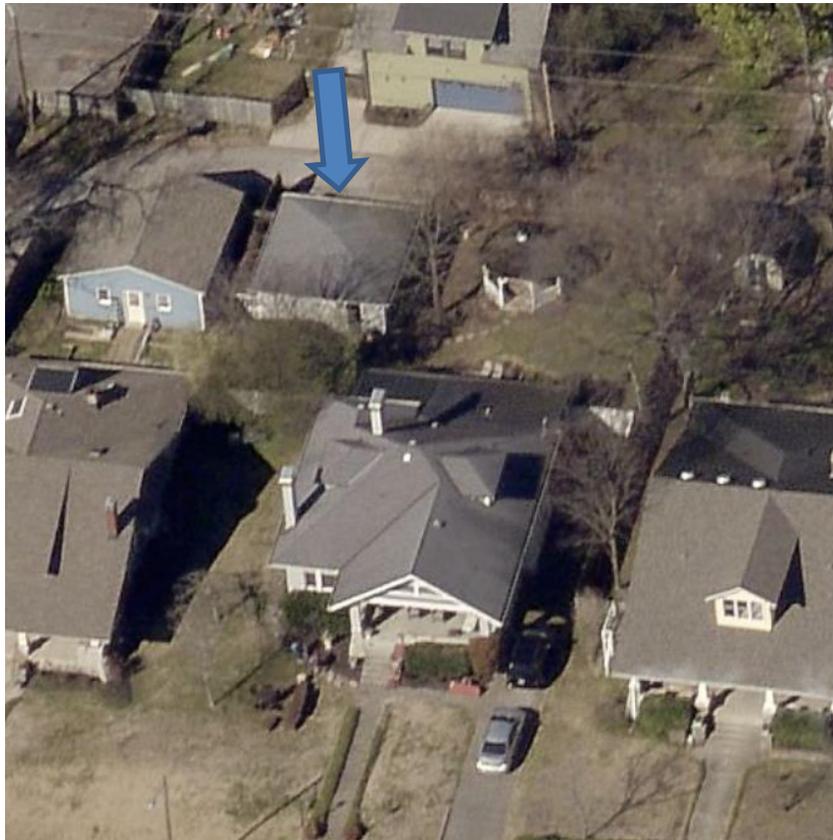
SETBACK REQUIRED (Y/N):	NO	05/01/2015
RESTRICTIVE COVENANT REQUIRED:	N/A	05/01/2015
ROUGH FRAMING INSPECTION:		
ROOFING COLOR APPROVAL PRIOR TO INSTALL:		
WINDOW APPROVAL PRIOR TO INSTALL:		
DOOR APPROVAL PRIOR TO INSTALLATION:		

Issue Date: May 1, 2015 Issued By: MELISSA BALDOCK



MHZC NOTES; CALL 862-7970 IF QUESTIONS

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings.
2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
3. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
4. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
5. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
6. For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). New siding exposure shall have a maximum reveal of five (5) inches.
7. Four inch (nominal) wood corner-boards are required at the face of each exposed corner.



MHZC INSPECTIONS & FINAL APPROVALS

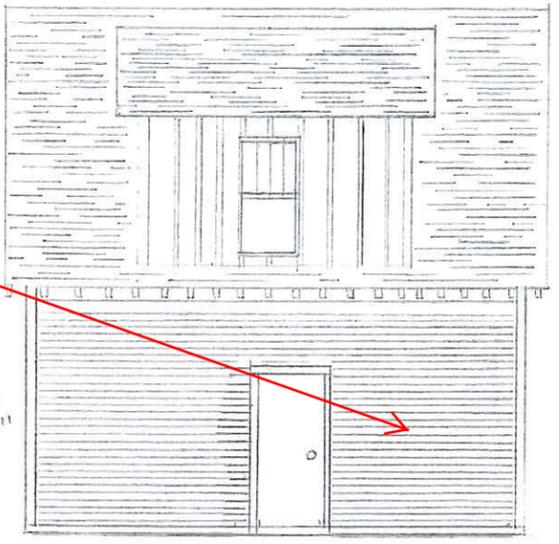
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Staff must approve the construction progress at the following points:
 - a. After the rough framing has been completed
2. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color

MHZC INSPECTIONS & FINAL APPROVALS
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS
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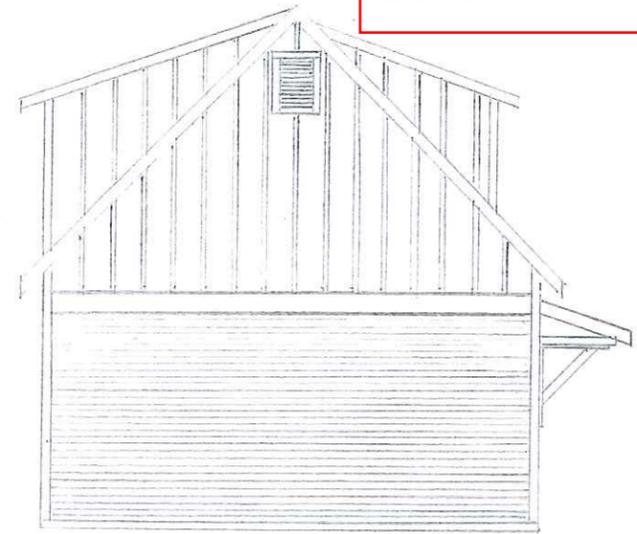
1303 EASTLAND AVE.
 PROPOSED
 GARAGE CONVERSION

MHZC Note:
 cladding on rear
 facade may be lap
 siding or vertical
 board and batten.



NOTE:
 PRINCIPAL STRUCTURE
 AVG. RIDGE HT. = 23'4 1/2"
 AVG. EAVE HT. = 11'0 1/2"

MHZC NOTES; CALL 862-7970 IF QUESTIONS
 1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings.
 2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
 3. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
 4. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between. Cont. below



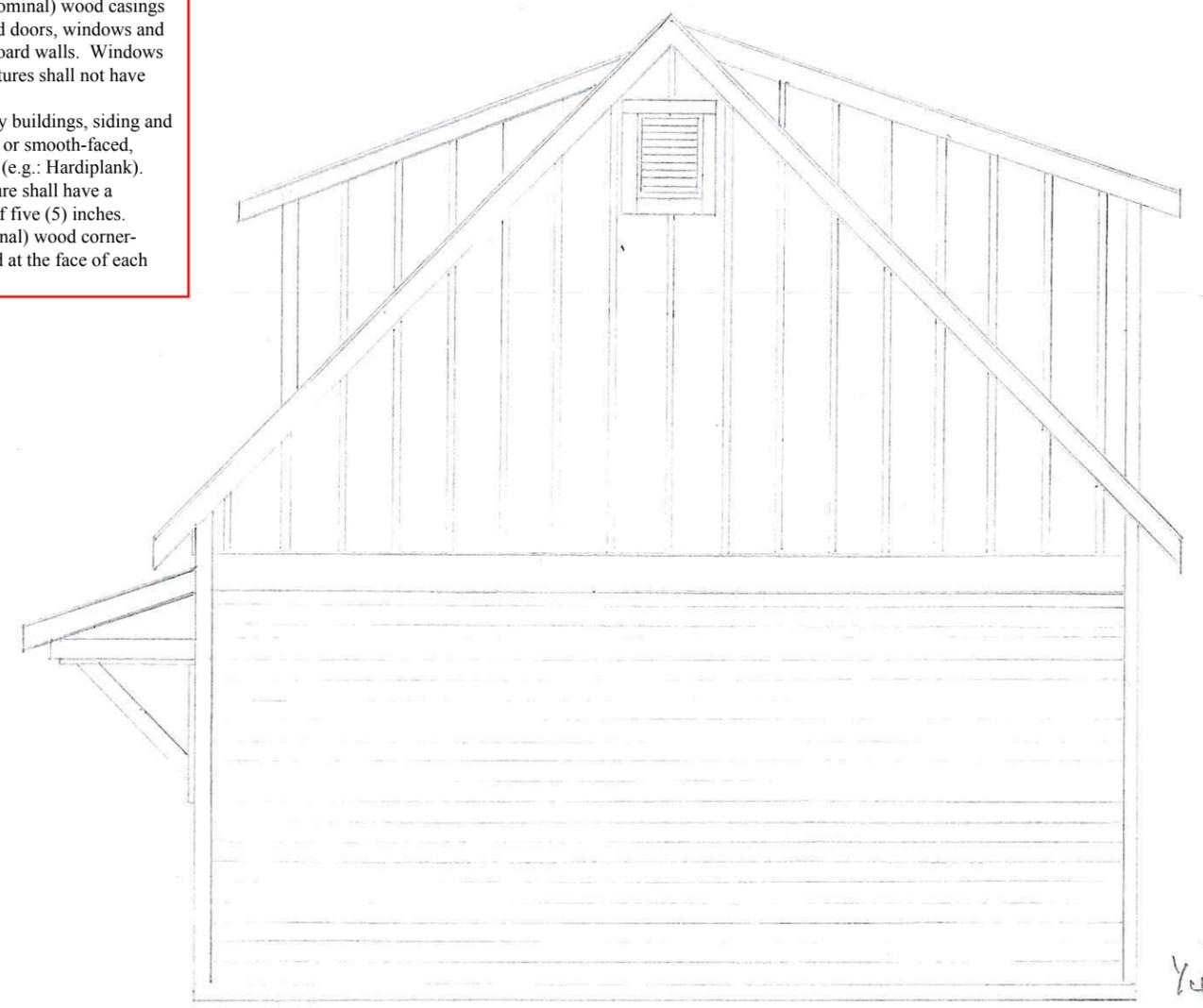
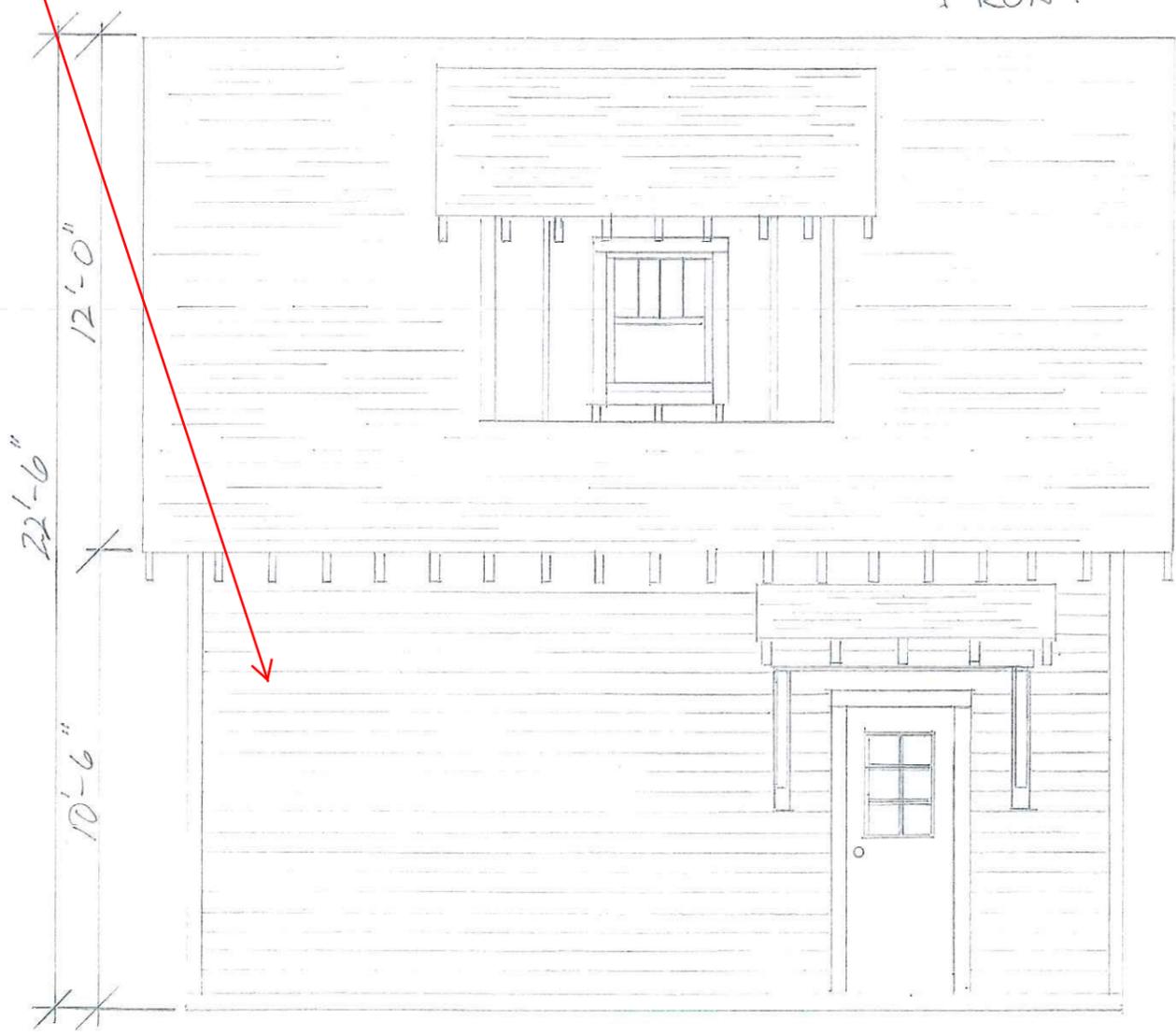
1/8" = 1'-0"

MHZC Note:
 applicant to retain
 existing siding on
 most facades.

REAR
 FRONT

WEST
 EAST

Cont. from above
 5. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
 6. For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). New siding exposure shall have a maximum reveal of five (5) inches.
 7. Four inch (nominal) wood corner-boards are required at the face of each exposed corner.



1/4" = 1'-0"

1303 EASTLAND AVE.

PROPOSED OUTBUILDING w/ ADDITION

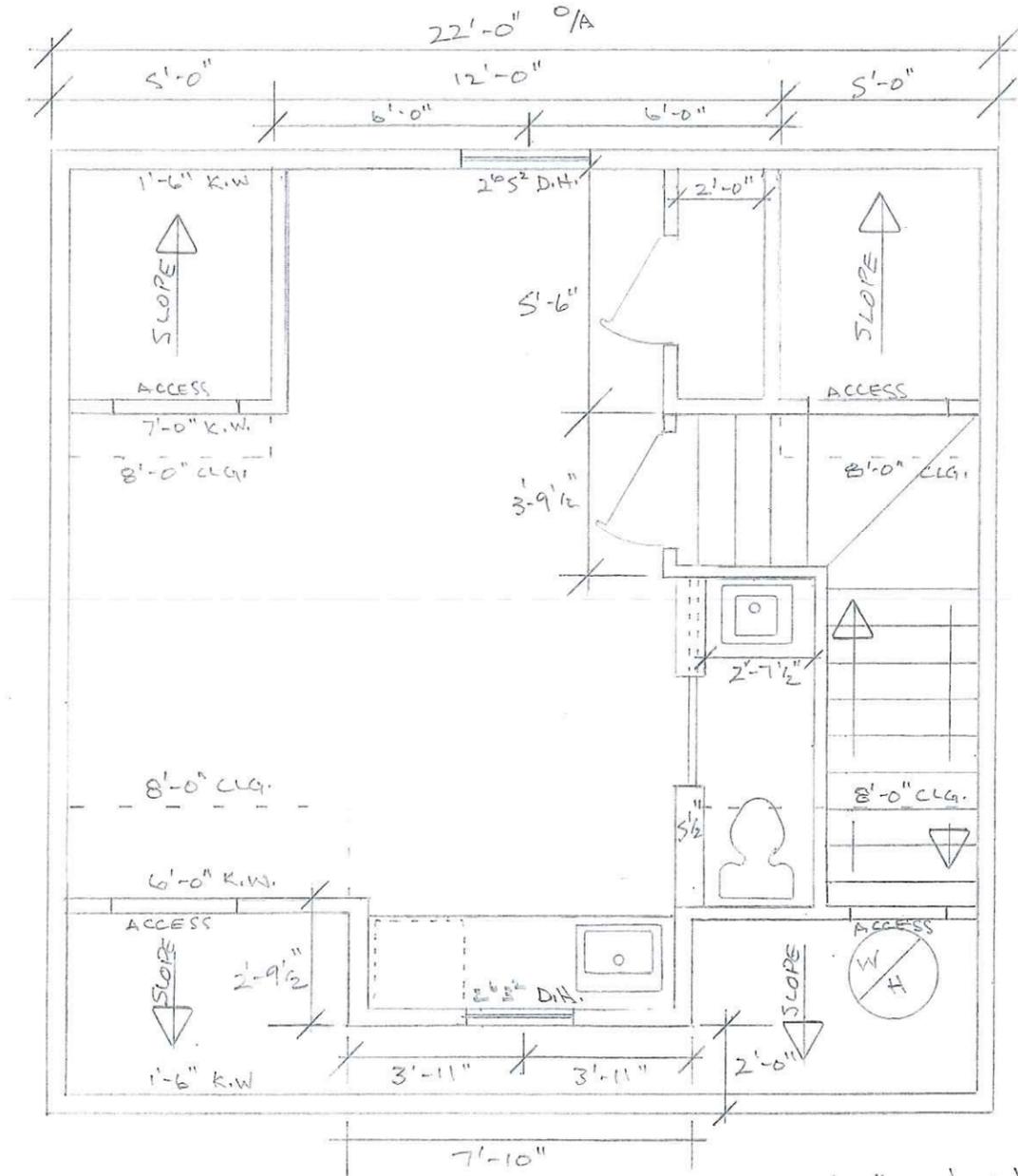
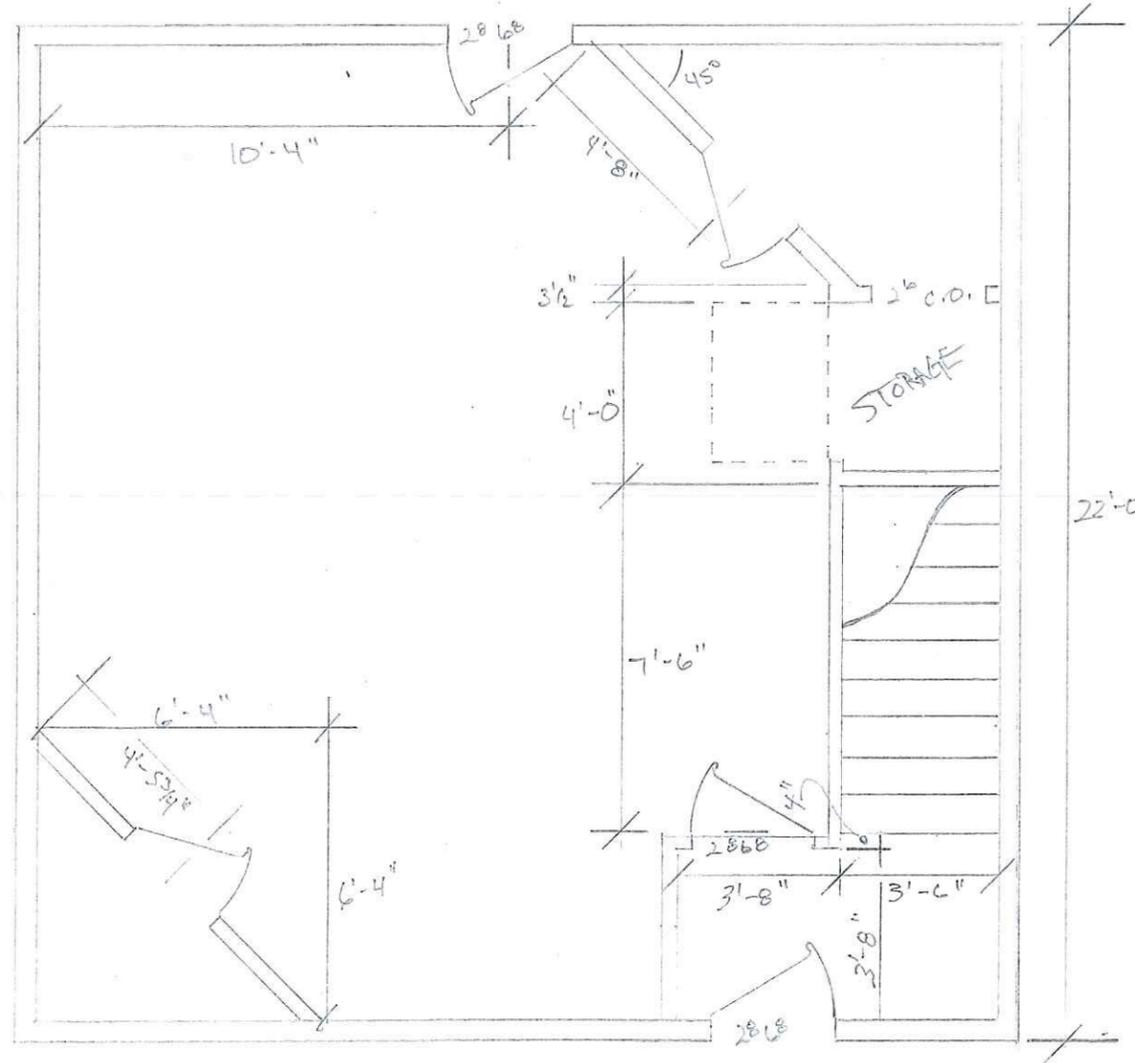
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7. Four inch (nominal) wood corner-boards are required at the face of each exposed corner.

MHZC INSPECTIONS & FINAL APPROVALS

CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Staff must approve the construction progress at the following points:
 - a. After the rough framing has been completed
 2. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color



1ST STORY = 484 #
 2ND STORY = 262 #
 = 746 # TOTAL

1/4" = 1'-0"