

DAVID BRILEY  
MAYOR



# METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
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## STAFF RECOMMENDATION

1507 Shelby Avenue

April 18, 2018

**Application:** New construction—Infill and outbuilding

**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay

**Council District:** 06

**Map and Parcel Number:** 08313049700

**Applicant:** Sandi Adams

**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

**Description of Project:** Application is to construct a duplex infill and an outbuilding.

**Recommendation Summary:** Staff recommends approval of the infill and outbuilding with the following conditions:

1. The finished floor height be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. The roof slope be at least 6/12, and the height of the structure remain no taller than twenty-nine feet (29');
3. The front doors be at least half glass, and staff approve the final details, dimensions and materials of windows and doors for both buildings prior to purchase and installation;
4. Staff approve a brick sample;
5. Staff approve the materials of the rear porch floor, columns, and steps; and
6. The HVAC be located behind the house or on either side, beyond the mid-point of the house.

With these conditions, staff finds that the proposed infill and outbuilding meet Section II.B. of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

### Attachments

**A:** Photographs

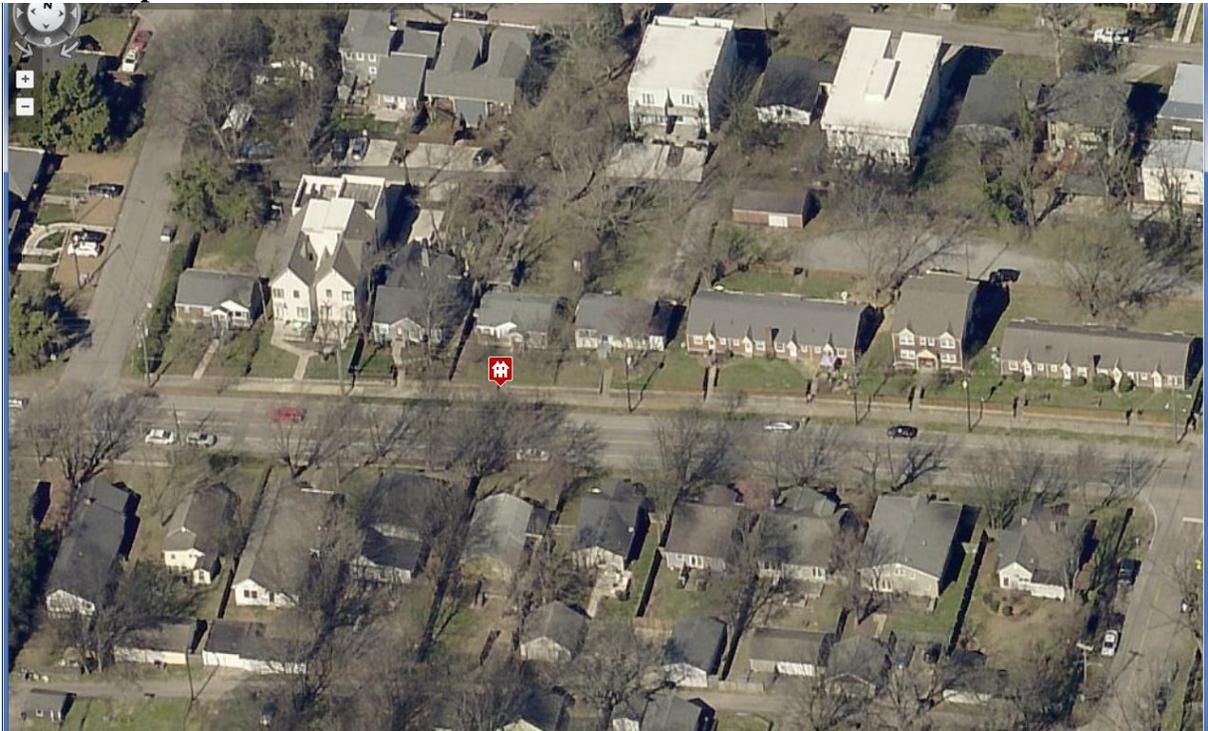
**B:** Site Plan

**C:** Elevations

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **II.B. New Construction**

#### **1. Height**

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

*The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.*

*Infill construction on the 1400 -1600 blocks of Boscobel Street may be up to two-stories.*

*For those lots located within the Five Points Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. A third story and 15' may be added provided that is for residential use only and is compatible with existing adjacent historic structures. The third story must be stepped back at least 10' from façade planes facing a residential subdistrict, an existing house (regardless of use), and public streets. All front and side building walls shall be a minimum of 20' in height. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor. Exception: buildings with first floor residential use, minimum first floor height shall be 12'.*

*For those lots located within the Corner Commercial Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. An additional story may be added to a building provided that, where it is adjacent to a detached house or a residential subdistrict, it is set back a minimum of 25' from the building wall or 50' from the property line. Three story building height shall not exceed 45'. All front and side buildings walls shall be a minimum of 16' in height and at the build-to line. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor.*

*For those lots located within the Residential Subdistrict of the Five Points Redevelopment District shall not exceed 3 stories .*

#### **2. Scale**

The size of a new building and its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with surrounding historic buildings.

*Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.*

#### **3. Setback and Rhythm of Spacing**

4. Since construction in an historic district has usually taken place continuously from the late nineteenth and early twentieth centuries, a variety of building types and styles result which demonstrate the changes in building tastes and technology over the years. New buildings should continue this tradition while complementing and being compatible with other buildings in the area.

*In Lockeland Springs-East End, historic buildings were constructed between 1880 and 1950. New buildings should be compatible with surrounding houses from this period.*

5. Reconstruction may be appropriate when it reproduces facades of a building which no longer exists and which was located in the historic district if: (1) the building would have contributed to the historical and architectural character of the area; (2) if it will be compatible in terms of style, height,

scale, massing, and materials with the buildings immediately surrounding the lot on which the reproduction will be built; and (3) if it is accurately based on pictorial documentation.

6. Because new buildings usually relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of a street, the dominance of that pattern and rhythm must be respected and not disrupted.

7. New construction should be consistent with existing buildings along a street in terms of height, scale, setback, and rhythm; relationship of materials, texture, details, and color; roof shape; orientation; and proportion and rhythm of openings.

The setback from front and side yard property lines established by adjacent historic buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain that rhythm.

*The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).*

*Appropriate setback reductions will be determined based on:*

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

*Appropriate height limitations will be based on:*

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

*Infill construction on the 1400 - 1600 blocks of Boscobel Street may have widths up to 40'.*

#### **4. Relationship of Materials, Textures, Details, and Material Colors**

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate. Texture and tooling of mortar on new construction should be similar to historic examples. Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

*Primary entrances should be 1/2 to full-light doors. Faux leaded glass is inappropriate. Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.*

## **5. Roof Shape**

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.*

*Infill construction on the 1400 -1600 blocks of Boscobel Street may have flat roofs or roofs with a minimal slope.*

## **6. Orientation**

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

### *Porches*

*New buildings should incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

### *Parking areas and Driveways*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median.*

*Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

### *Duplexes*

*Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.*

*In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips*

where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

## **7. Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in a new building shall be compatible, by not contrasting greatly, with surrounding *historic* buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

## **8. Outbuildings**

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

- a. Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details.

### *Outbuildings: Height & Scale*

*· On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*

*· On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*

*· The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

### *Outbuildings: Character, Materials and Details*

*· Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related.*

*Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*

*· DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

*Outbuildings: Roof*

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

*Outbuildings: Windows and Doors*

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

*Outbuildings: Siding and Trim*

- *Brick, weatherboard, and board-and-batten are typical siding materials.*
  - *Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*
  - *Four inch (4" nominal) corner-boards are required at the face of each exposed corner.*
  - *Stud wall lumber and embossed wood grain are prohibited.*
  - *Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.*

b. Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

*Setbacks & Site Requirements.*

- *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the*

street. If there is no context, the street setback should be a minimum of 10’.

*Driveway Access.*

- On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.
- On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.
- Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

**9. Appurtenances**

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

*Utilities*

*Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.*

*Generally, utility connections should be placed no closer to the street than the mid point of the structure.*

*Power lines should be placed underground if they are carried from the street and not from the rear or an alley.*

*Public Spaces*

*Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.*

*Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.*

**Background:** In April 2018, MHZC staff issued an administrative permit to demolish the existing structure at 1507 Shelby Avenue. The existing structure was constructed between 1951 and 1957, outside the period of significance for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay. The structure’s date of construction, materials, and design do not contribute to the historic character of the neighborhood.



Figure 1. 1507 Shelby Avenue

**Analysis and Findings:** Application is to construct a duplex infill and an outbuilding.

**Height & Scale:** The proposed infill will be two stories with an eave height of twenty feet (20') and a ridge height of approximately twenty-nine feet (29') from average grade at the front. Staff finds that the two-story form is appropriate because there are two, two-story structures in the immediate vicinity, at 1515 and 1518 Shelby Avenue. These two story houses have ridge heights of thirty and twenty-five feet (30', 25'), respectively, making the proposed ridge height of twenty-nine feet (29') within the range of heights of historic houses in the immediate vicinity.

The proposed width is thirty-six feet (36'). Looking at the two, two-story structures on the block, 1515 Shelby is thirty-three feet (33') wide, and 1518 is thirty-six (36') feet wide. See figure 1. Staff finds the proposed width is consistent with the widths of the historic two-story houses on the block. The depth of the house will be approximately sixty-nine feet (69'), including the front and rear porches, and the footprint of the structure will be approximately two thousand, four hundred and forty square feet (2,440 sq. ft.).



Figure 1: 1518 Shelby Avenue

Staff finds that the proposed height and scale meet Section II.B.1. and II.B.2. of the design guidelines.

**Setback & Rhythm of Spacing:** The proposed infill will meet all base zoning setbacks. It is seven feet (7') from the side property lines and more than fifty-six feet (56') from the rear property line. The front setback will be approximately twenty-five feet, nine inches (25'9") to the front porch and thirty-one feet, nine inches (31'9") to the front wall. This is the approximately location as the existing house, which is appropriate. Staff finds that the proposed setbacks meet Section II.B.3. of the design guidelines.

Materials:

	<b>Proposed</b>	<b>Color/Texture/Make/Manufacturer</b>	<b>Approved Previously or Typical of Neighborhood</b>	<b>Requires Additional Review</b>
<b>Foundation</b>	Concrete Block	Split Face	Yes	No
<b>First Floor Cladding</b>	Brick	Unknown	Yes	Yes
<b>Secondary Cladding</b>	4" cement fiberboard lap siding	Smooth	Yes	No

<b>Roofing</b>	Asphalt Shingles	Unknown	Yes	Yes
<b>Trim</b>	Cement Fiberboard	Smooth faced	Yes	No
<b>Front Porch floor/steps</b>	Concrete	Natural Color	Yes	No
<b>Front Porch Columns</b>	Brick bases with wood columns	Brick TBD, wood typical	Yes	Yes
<b>Front Porch Railing</b>	Wood	Typical	Yes	No
<b>Rear Porch floor/steps</b>	Not indicated	Not indicated	Unknown	Yes
<b>Rear Porch Posts</b>	Not indicated	Not indicated	Unknown	Yes
<b>Rear Porch Railing</b>	Wood	Typical	Yes	No
<b>Windows</b>	Not indicated	Not indicated	Unknown	Yes
<b>Principle Entrance</b>	¼ glass*	Not indicated	No	Yes*
<b>Rear doors</b>	Not indicated	Not indicated	Unknown	Yes
<b>Driveway</b>	Concrete	Typical	Yes	No
<b>Walkway</b>	Not indicated	Not indicated	Unknown	Yes

\*The proposed front doors are drawn as approximately one-fourth glass, but the design guidelines require that the front doors be at least one-half glass. Staff recommends approval of all windows and doors; a brick sample; the roof shingle color and texture; the materials of the rear porch floor, stairs, and columns; and the walkway material. With staff's final approval of all final material choices, staff finds that the materials meet Section II.B.4 of the design guidelines. The project meets section II.B.4.

Roof form: The primary roof form is a hipped roof with at 5/12 slope. The design guidelines require that primary roof forms be a minimum of 6/12. Staff recommends that the primary roof form be a minimum of 6/12. In the revision, the height of the house should not increase and should remain at twenty-nine (29') from approximate grade. The front porch roofs are hipped with a 4/12 pitch, which is appropriate. With the condition that the primary roof slope be increased to 6/12 without increasing the overall height of the house, staff finds that the infill's roof forms to meet Section II.B.5. of the design guidelines.

Orientation: The duplex has two primary entrances oriented to Shelby Avenue, which is appropriate. There are two separate porches for the entrances, and each of the porches is a minimum of six feet (6') deep. The existing central walkway will remain and will be extended to each of the side porches. Vehicular access to the site is via the alley, which is appropriate. Staff finds that the proposed orientation meets Section II.B.6. of the design guidelines.

**Proportion and Rhythm of Openings:** The windows on the proposed infill are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large expanses of wall space without a window or door opening. Staff finds the project’s proportion and rhythm of openings to meet Section II.B.7. of the design guidelines.

**Appurtenances & Utilities:** The existing walkway/stairs from the sidewalk will be retained, and the walkway will be extended to the two front porches. The location of the HVAC and other utilities was not noted. Staff recommends that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house. Other appurtenances include a split face concrete block retaining wall, parallel to the front wall of the house, towards the back of the house, and light wells around the basement window openings. Staff finds these appurtenances to be appropriate. With staff’s approval of the HVAC location, staff finds that the project’s appurtenances meet Section II.B.9. of the design guidelines.

**Outbuildings:** The applicant intends to build a one story outbuilding at the rear of the property. The outbuilding will not contain a dwelling unit.

*Roof Shape:*

Proposed Element	Proposed Form	Typical of district?
Primary form	Hipped	Yes
Primary roof slope	5/12	Yes

Staff finds that the proposed roof form and slope is similar to historic outbuildings and do not contrast greatly with historic house.

**Design Standards:** The outbuilding has a simple, utilitarian design that is appropriate for outbuildings. The roof forms, detailing, and overall form do not contrast greatly with the primary structure. The outbuilding is also in a minimally-visible location at rear of the lot.

*Materials:*

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood	Needs Final Approval
<b>Foundation</b>	Concrete Block	Split Face	Yes	
<b>Cladding</b>	Lap Siding	Smooth, 4” reveal	Yes	
<b>Roofing</b>	Asphalt shingle	Unknown	Yes	X
<b>Trim</b>	Hardie board or wood	Smooth	Yes	
<b>Windows</b>	Not indicated	Not indicated	Unknown	X
<b>Pedestrian</b>	Not indicated	Not indicated	Unknown	X

<b>Door</b>				
<b>Vehicular Doors</b>	Not indicated	Not indicated	Unknown	X

With the staff's final approval of the windows, doors, and roof color, staff finds that the known materials meet the design guidelines.

*General requirements for outbuildings:*

	<b>YES</b>	<b>NO</b>
<b>If there are stairs, are they enclosed?</b>	N/A	
<b>If a corner lot, are the design and materials similar to the principle building?</b>	N/A	
<b>If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?</b>	N/A	
<b>If dormers are used, do they sit back from the wall below by at least 2'?</b>	N/A	
<b>Is the roof pitch at least 4/12?</b>	Yes	
<b>If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?</b>	N/A	
<b>Is the building located towards the rear of the lot?</b>	Yes	

*Site Planning & Setbacks:*

	<b>MINIMUM</b>	<b>PROPOSED</b>
<b>Building located towards rear of lot</b>	n/a	Yes
<b>Space between principal building and DADU/Garage</b>	20'	28'
<b>Rear setback</b>	5'	6'
<b>L side setback**</b>	5'	5'
<b>R side setback**</b>	5'	11'
<b>How is the building accessed?</b>	From the alley or existing curb cut	From alley

The outbuilding meets all setbacks required by zoning and maintains a separation of at least twenty feet (20') between the house and the DADU.

*Massing Planning:*

	<b>Existing conditions (height of historic portion of the home to be measured from finished floor)</b>	<b>Potential maximums (heights to be measured from grade)</b>	<b>Proposed (should be the same or less than the lesser number to the left)</b>
<b>Ridge Height</b>	29'	25'	15'
<b>Eave Height</b>	10'	10'	9'-6"

The proposed is a one-story building on a lot less than 10,000 square feet.

One-story building:

	<b>Lot is less than 10,000 square feet</b>	<b>50% of first floor area of principle structure</b>	<b>Proposed footprint</b>
<b>Maximum Square Footage</b>	750 sq. ft.	1,220 sq. ft.	736 sq. ft.

Staff finds that the height, scale, massing, location, setbacks, roof form, materials, and design meet Section II.B.8. of the design guidelines.

**Recommendation Summary:** Staff recommends approval of the infill and outbuilding with the following conditions:

1. The finished floor height be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. The roof slope be at least 6/12, and the height of the structure remain no taller than twenty-nine feet (29');
3. The front doors be at least half glass, and staff approve the final details, dimensions and materials of windows and doors for buildings prior to purchase and installation;
4. Staff approve a brick sample;
5. Staff approve the materials of the rear porch floor, columns, and steps; and
6. The HVAC be located behind the house or on either side, beyond the mid-point of the house.

With these conditions, staff finds that the proposed infill and outbuilding meet Section II.B. of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

**Context Photos**



Houses to the right/west of 1507 Shelby Avenue



Houses to the left/east of the 1507 Shelby Avenue



Two story structure at 1515 Shelby Avenue



Two-story house at 1518 Shelby Avenue, across the street



Houses across the street from the site



Houses across the street from the site



Houses across the street from the site



Houses across the street from the site

# STUDIO

• ARCHITECTURE • DESIGN •

1507 SHELBY AVE.

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7	FRONT, REAR ELEVATIONS
8	LEFT SIDE ELEVATION
9	RIGHT SIDE ELEVATION

RENDERINGS ARE ARTIST'S PERCEPTION. PRIMARY COLORS, MATERIALS, AND GRADE WILL VARY.



STREET VIEW



ALTERNATE VIEW - FRONT



ALTERNATE VIEW - FRONT

TODAY'S DATE: 4/9/2018	
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REVISION: 3/21/18	
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HISTORICAL PLANS REV.: 4/9/18	
CONSTRUCTION DRAWINGS:	
DRAWN BY: SANDI ADAMS	

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PREPARED FOR: MR. & MRS. PRESTON & MS. PRESTON

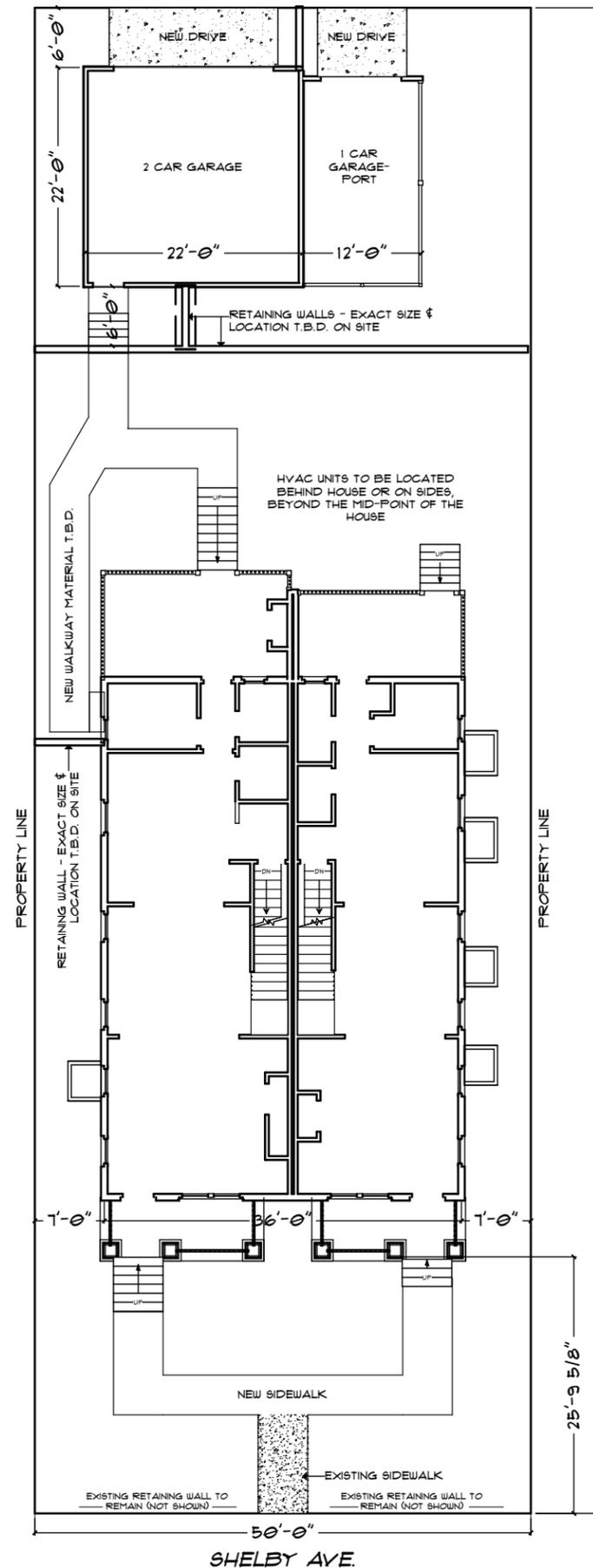
SCALE: 11 X 17 PRINT: 1/8" = 1'-0"  
24 X 36 PRINT: 1/4" = 1'-0"

HOUSE PLAN: CUSTOM HOME  
SITE ADDRESS: 1507 SHELBY AVE



SHEET LABEL:  
COVER

SHEET NO.:  
PAGE #  
1 OF 9



1501 SHELBY AVE. FOOTPRINT DATA

MAIN BUILDING FOOTPRINT:	1872
FRONT PORCH:	204
REAR PORCH DECKS (OPEN BELOW):	361
DET. GARAGE STRUCTURE:	736

PROPOSED SITE PLAN  
SCALE: 1/16" = 1'-0"

TODAY'S DATE:  
4/9/2018

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1/3/18

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1/3/18

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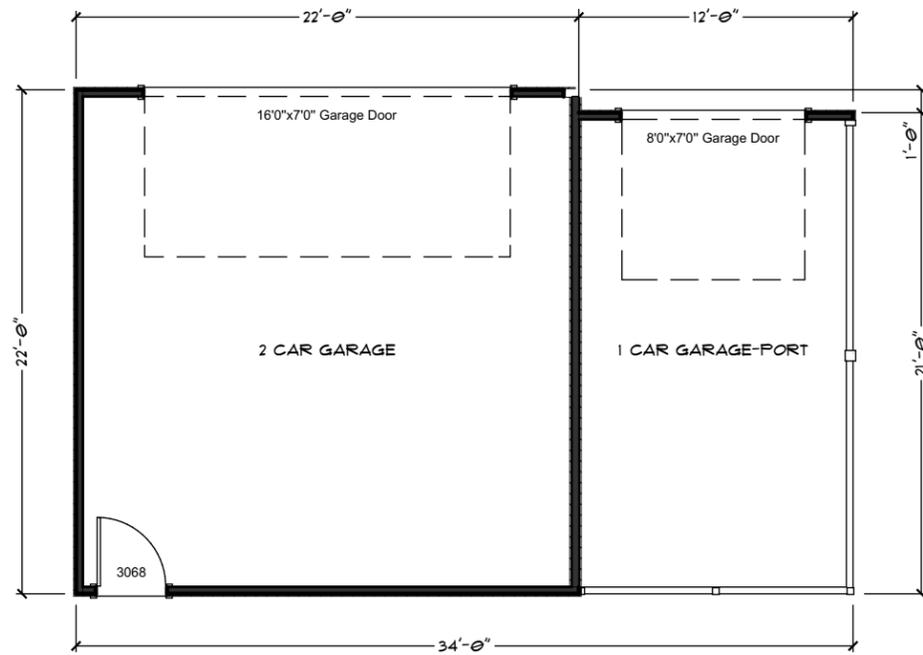
HOUSE PLAN: CUSTOM HOME  
SITE ADDRESS: 1501 SHELBY AVE.



SHEET LABEL:  
PLAN NOTES, SCHEDULES, MISC.

SHEET NO.:  
PAGE #  
2 OF 9

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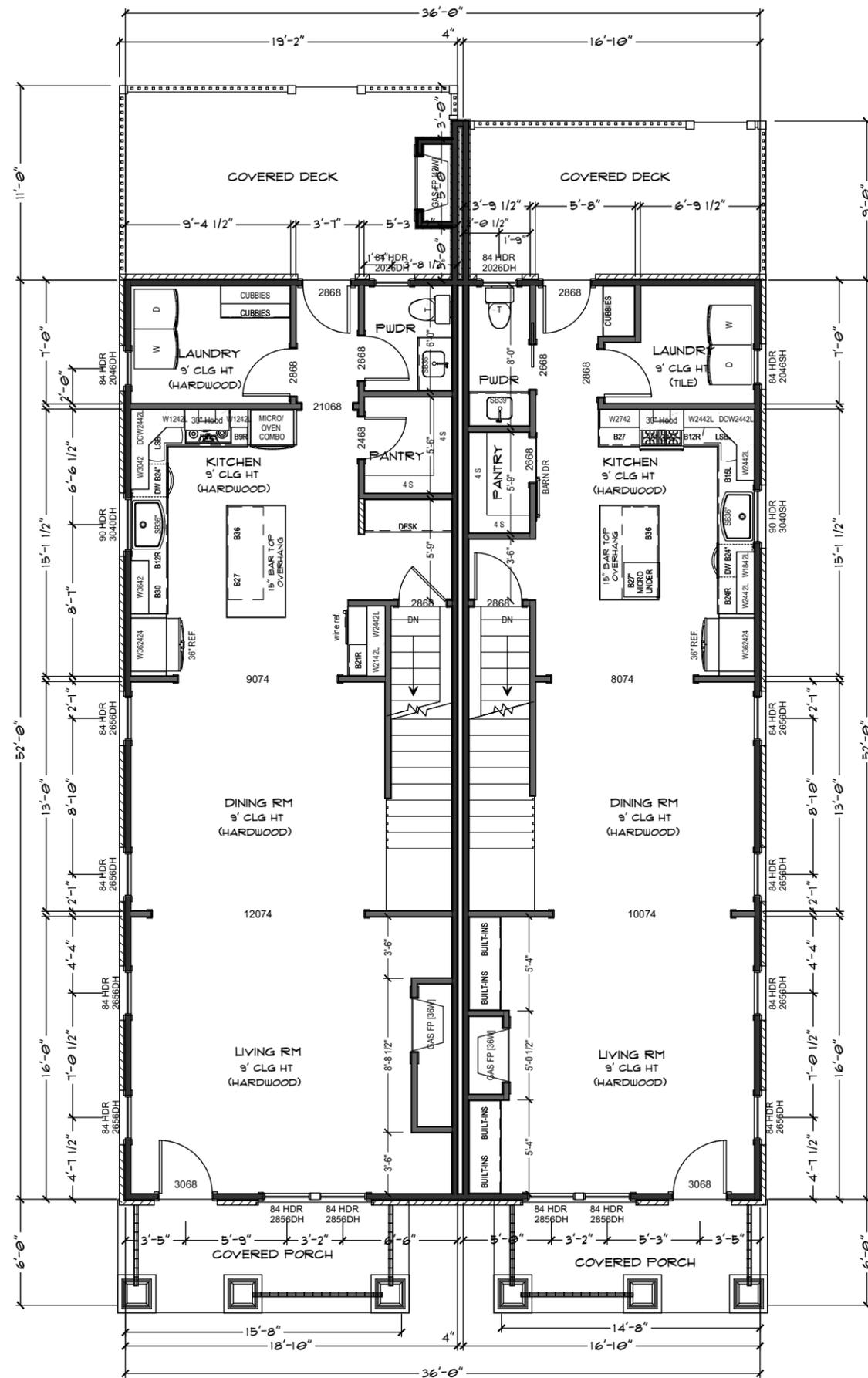
## DETACHED GARAGE & GARAGE-PORT

1507 A SHELBY AVE.

1ST FLOOR:	973
2ND FLOOR:	1162
BASEMENT:	973
TOTAL HEATED S.F.:	3128
FRONT PORCH:	96
REAR PORCH:	211
DETACHED GARAGE:	484
TOTAL UNDER ROOF S.F.:	3911

1507 B SHELBY AVE.

1ST FLOOR:	875
2ND FLOOR:	1001
TOTAL HEATED S.F.:	1876
FRONT PORCH:	90
REAR PORCH:	155
FUTURE BASEMENT:	875
DETACHED GARAGE PORT:	252
TOTAL UNDER ROOF S.F.:	3248



## FIRST FLOOR

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24 X 36 PRINT: 1/4" = 1'-0"

HOUSE PLAN: CUSTOM HOME  
SITE ADDRESS: 1507 SHELBY AVE.

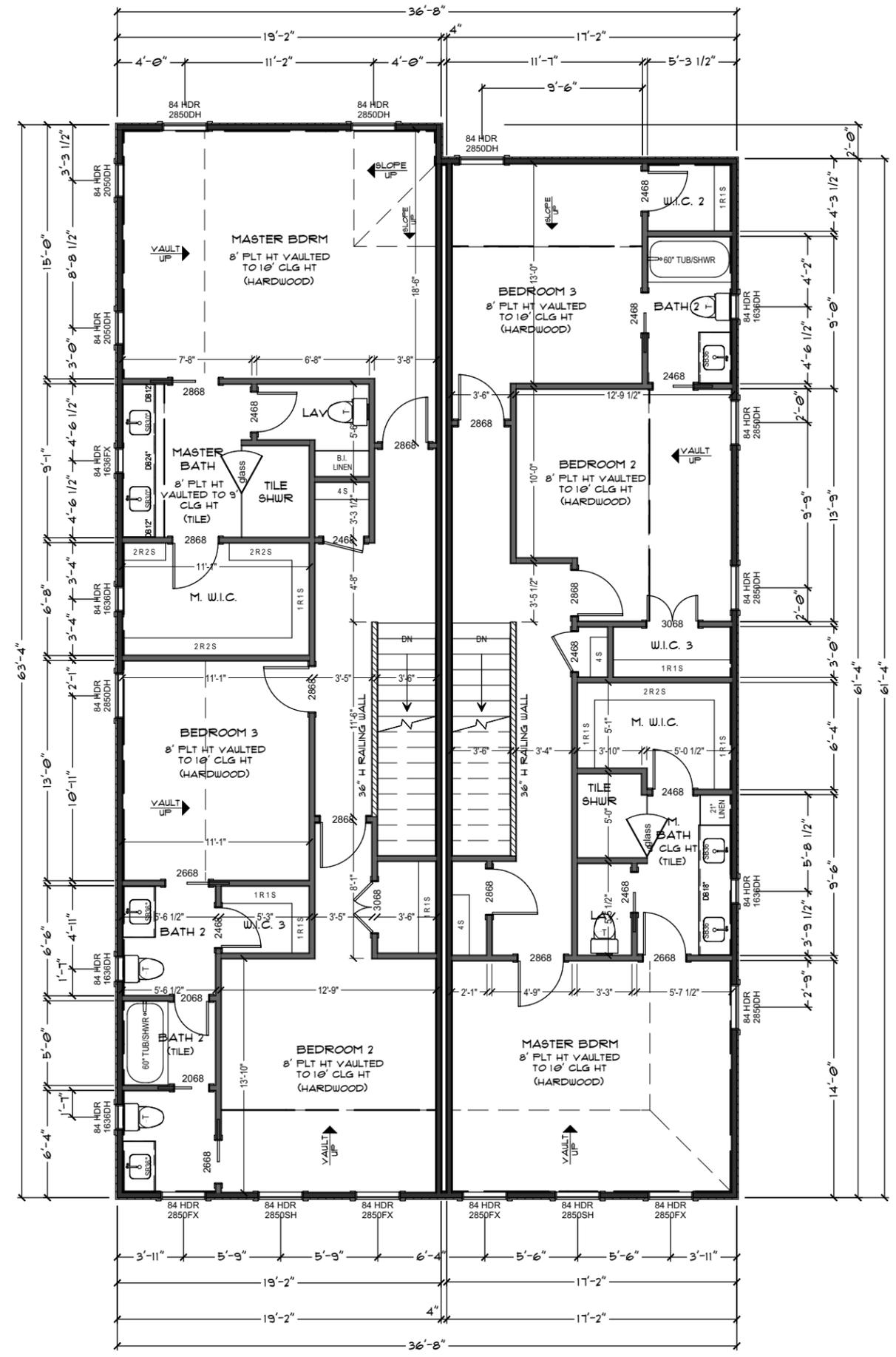


SHEET LABEL:  
FIRST FLOOR PLAN

SHEET NO.:  
PAGE #  
3 OF 9

TODAY'S DATE: 4/9/2018  
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DRAWN BY: SANDI ADAMS

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**SECOND FLOOR**

1507 A SHELBY AVE.

1ST FLOOR:	973
2ND FLOOR:	1162
BASEMENT:	973
TOTAL HEATED S.F.:	3128
FRONT PORCH:	96
REAR PORCH:	211
DETACHED GARAGE:	484
TOTAL UNDER ROOF S.F.:	3911

1507 B SHELBY AVE.

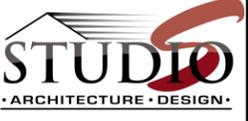
1ST FLOOR:	875
2ND FLOOR:	1021
TOTAL HEATED S.F.:	1896
FRONT PORCH:	90
REAR PORCH:	155
FUTURE BASEMENT:	875
DETACHED GARAGE PORT:	252
TOTAL UNDER ROOF S.F.:	3248

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HOUSE PLAN: CUSTOM HOME  
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SHEET LABEL:  
**SECOND FLOOR PLAN**

SHEET NO.:  
**PAGE # 4 OF 9**

TODAY'S DATE: 4/9/2018

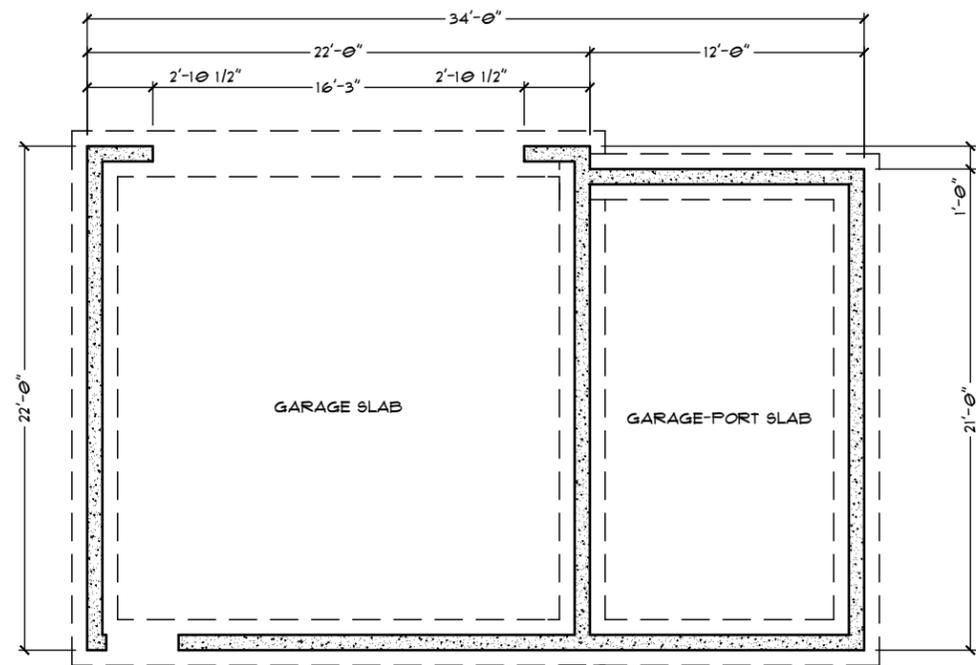
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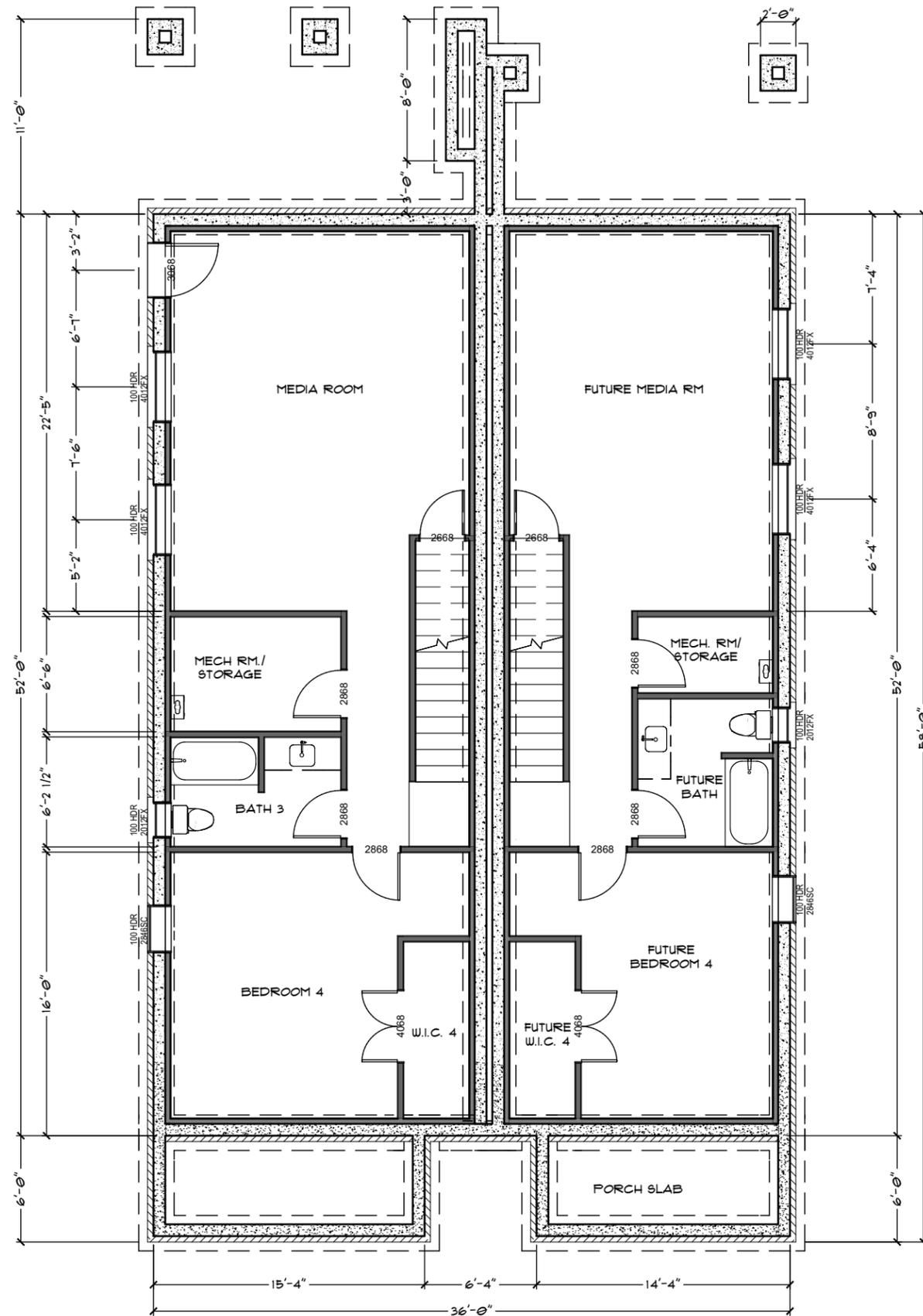
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**DETACHED GARAGE  
FOUNDATION PLAN**



**BASEMENT FOUNDATION PLAN**

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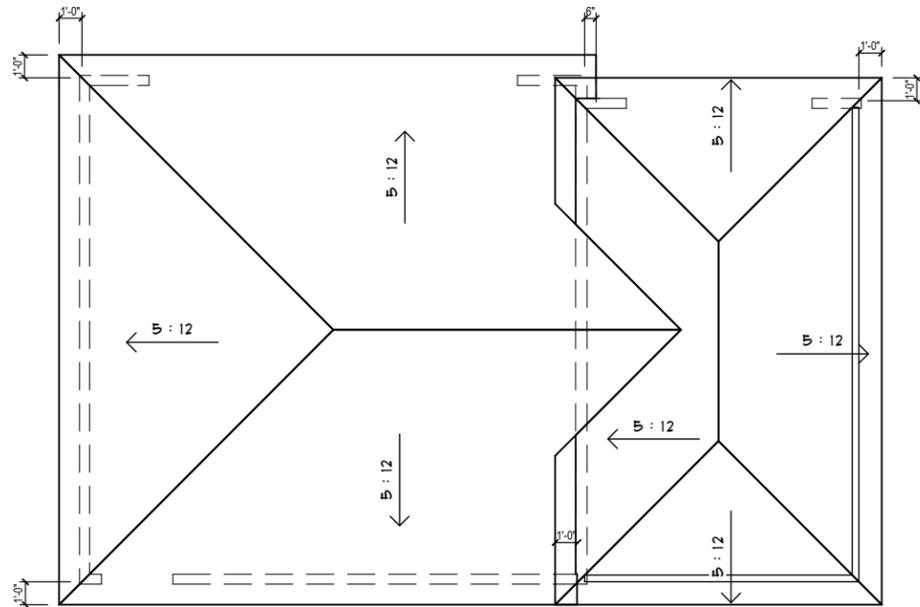
HOUSE PLAN: **CUSTOM HOME**  
SITE ADDRESS: **1501 SHELBY AVE.**



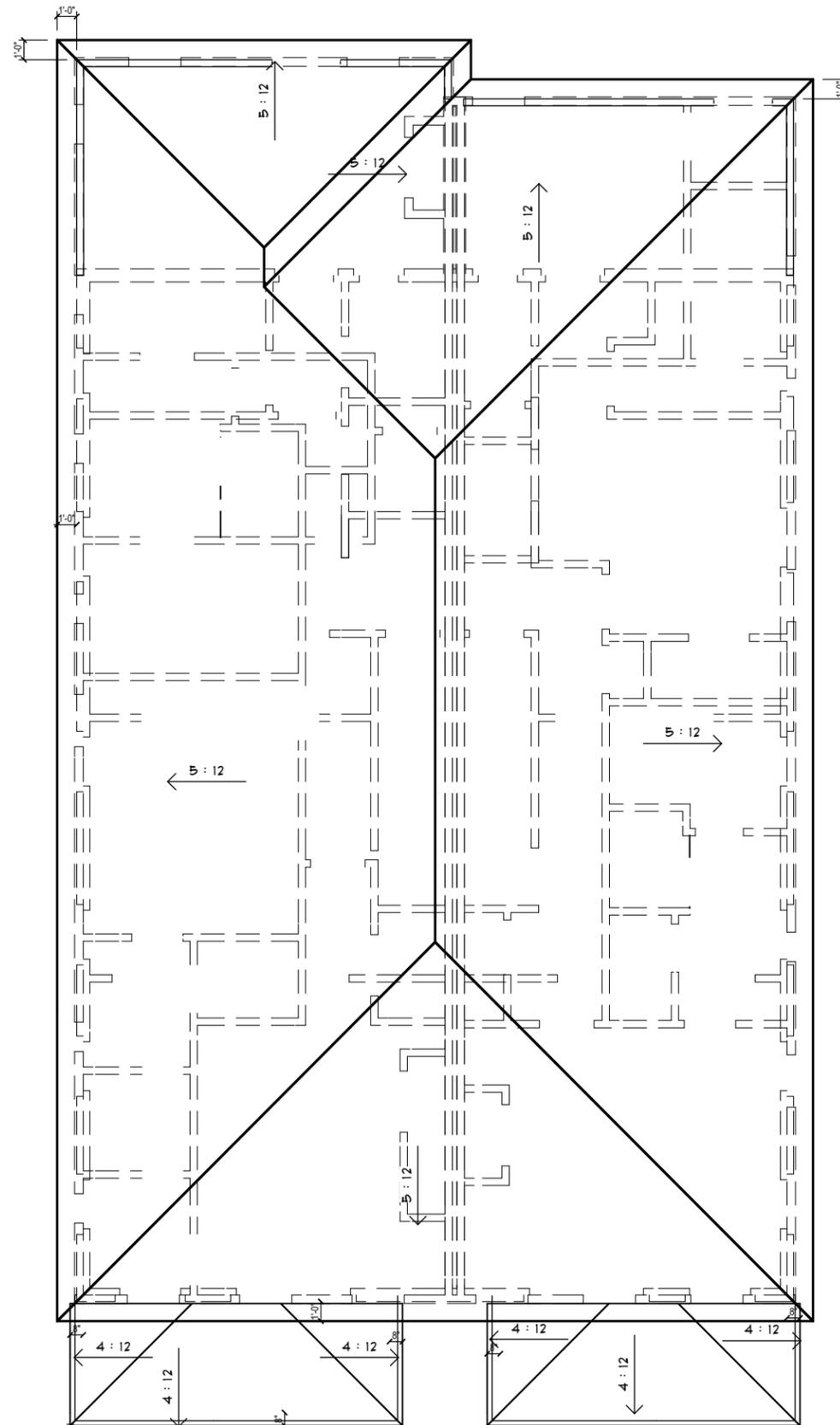
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**FOUNDATION PLAN**

SHEET NO.:  
**PAGE # 5 OF 9**

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**GARAGE ROOF PLAN**



**HOUSE ROOF PLAN**

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4/9/2018

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1/3/18

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HISTORICAL  
PLANS:  
3/29/18

HISTORICAL  
PLANS REV.:  
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HOUSE PLAN: **CUSTOM HOME**  
SITE ADDRESS: **1501 SHELBY AVE.**



SHEET LABEL:  
**ROOF PLAN**

SHEET NO.:  
**PAGE #**  
**6 OF 9**

**HISTORICAL HOME ELEVATION NOTES**

1. ROOF MATERIAL TO BE ASPHALT SHINGLES; MHZC TO APPROVE COLOR PRIOR TO PURCHASE AND INSTALLATION.
2. VENT ROOF WITH RIDGE VENTS.
3. FASCIA BOARDS TO BE 1" X 8" W 5" GUTTERS & DOWNSPOUTS.
4. CORNER BOARDS TO BE 4" X 3/4" UNLESS OTHERWISE NOTED.
5. 8" X 3/4" TRIM BAND AROUND HOUSE, LOCATIONS PER ELEVATIONS.
6. WINDOW MANUFACTURER AND TYPE TO BE DETERMINED BY BUILDER. IF USING MULTI-LIGHT SASHES, MUNTINS SHOULD BE FULLY SIMULATED AND BONDED TO THE GLASS, AND EXHIBIT AN INTERIOR BAR, EXTERIOR BAR, AS WELL AS A SPACER BETWEEN GLASS PANES.
7. WINDOWS TO BE TRIMMED IN 3/4" WINDOW WRAP
8. WINDOW HEADER HEIGHTS TO BE 84" UNLESS OTHERWISE NOTED.
9. FOUR INCH (NOMINAL) CASINGS ARE REQUIRED AROUND DOORS, WINDOWS AND VENTS ON NON-MASONRY BUILDINGS. TRIM SHOULD BE THICK ENOUGH TO EXTEND BEYOND THE CLAPBOARD. DOUBLE OR TRIPLE WINDOW UNITS NOT RECOMMENDED, BUT WHEN USED MUST HAVE 4" TO 6" MULLION IN BETWEEN. BRICK MOLDING IS REQUIRED AROUND DOORS, WINDOWS AND VENTS WITHIN MASONRY WALLS.
10. WINDOW SHUTTERS, WHEN APPLIED, TO BE FUNCTIONING WITH HARDWARE.
11. FOUNDATION TO BE 8" SPLIT FACE BLOCK BELOW HARDIE SIDED EXTERIOR WALLS AND 12" SPLIT FACE BLOCK BELOW BRICK SIDED EXTERIOR WALLS.
12. FRONT AND REAR PORCH FLOOR MATERIAL WILL VARY, SEE FLOOR PLAN OR FOUNDATION PLAN TO VERIFY.
13. ALL FRONT PORCHES CONSTRUCTED W 12" PORCH RACKS. PORCH RACK TO BE CENTERED OVER COLUMNS BELOW.
14. HANDRAILS ON FRONT AND BACK PORCHES TO BE PAINTED WOOD.
15. CEILING HEIGHTS ARE 9' ON FIRST FLOOR, 8' ON SECOND FLOOR. IF APPLICABLE, SECOND FLOOR VAULT LOCATIONS NOTED ON PLAN.
16. ACTUAL FRONT DOOR STYLE MAY VARY. DOOR STYLE TO BE SELECTED BY BUILDER. MHZC TO APPROVE THE FINAL DETAILS, DIMENSIONS AND MATERIALS OF DOORS PRIOR TO PURCHASE AND INSTALLATION.
17. WHEN APPLICABLE, STANDARD OVERHEAD GARAGE DOOR SIZE IS 16' X 7'.
18. NUMBER OF EXTERIOR CORBELS AND LOCATIONS, PER ELEVATION.
19. GRADE IS APPROXIMATE AND MAY NOT ACCOUNT FOR FINAL BACKFILL.
20. FINISHED FLOOR HEIGHT TO BE CONSISTENT W THE F.F.H. OF THE ADJACENT HISTORIC HOUSES, TO BE VERIFIED BY MHZC IN THE FIELD.
21. MHZC STAFF TO APPROVE THE FINAL DETAILS, DIMENSIONS AND MATERIALS OF TRIM, WINDOWS, DOORS, GARAGE DOOR, WALKWAY, AND DRIVEWAY PRIOR TO PURCHASE AND INSTALLATION.
22. HVAC UNIT TO BE LOCATED BEHIND HOUSE OR ON EITHER SIDE, BEYOND THE MID-POINT OF THE HOUSE.
23. ADDITIONAL NOTES MAY APPLY. REFER TO MHZC'S STAFF RECOMMENDATION FOR THIS PROPERTY BEFORE CONSTRUCTION.

ASPHALT SHINGLES -  
COLOR SELECTION BY OWNER  
MHZC TO APPROVE ROOF  
COLOR PRIOR TO  
PURCHASE AND  
INSTALLATION.

SEE NOTE #6 & #9  
4" REVEAL SMOOTH  
HARDIE-PLANK SIDING

SEE NOTE #13  
BRICK SIDING

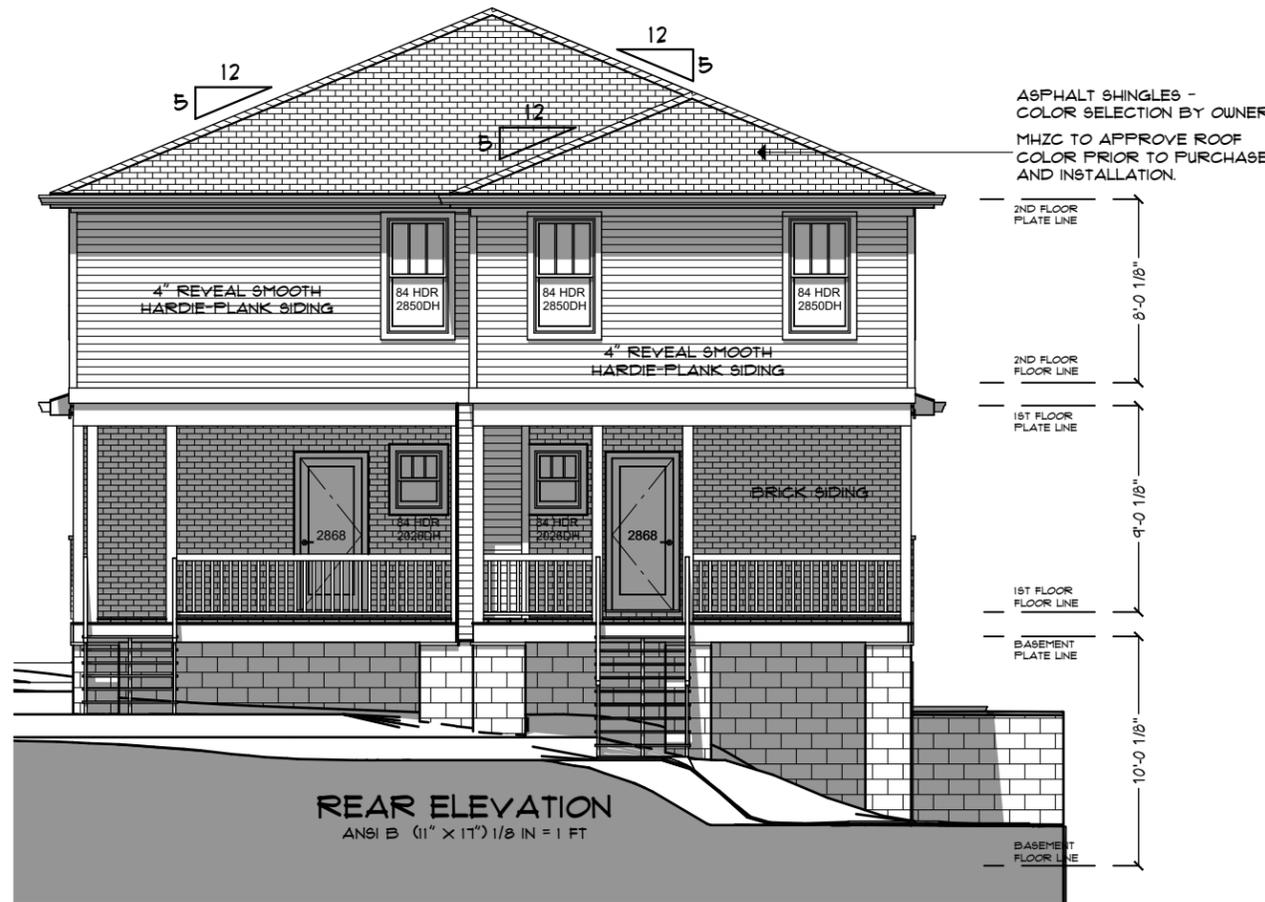
(5) 24" X 24" X 36" BRICK  
COLUMN BASE W/ MASONRY  
CAP & CRAFTSMAN WOOD  
COLUMNS ABOVE

BRUSHED CONCRETE  
PORCH FLOOR - W/ SPLIT  
FACE FOUNDATION WALLS  
BELOW

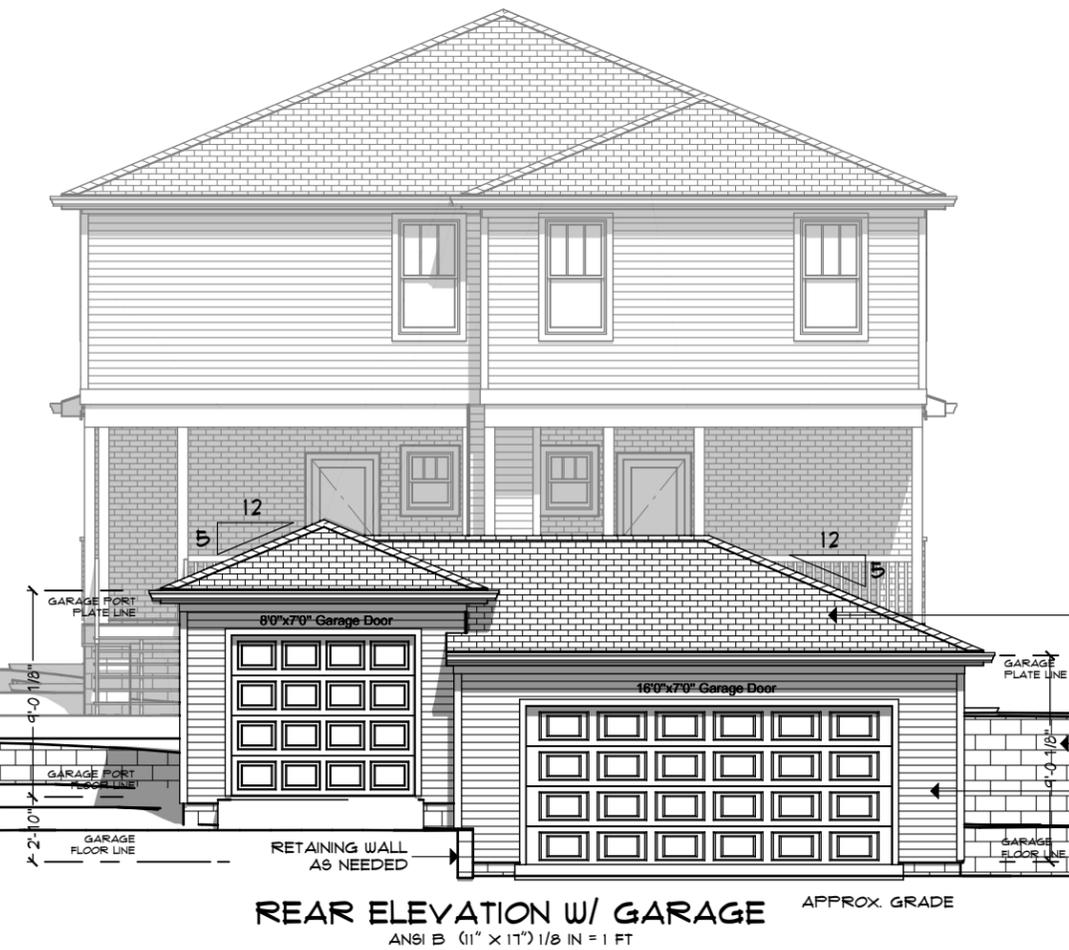
CONC. STEPS



EXISTING FRONT RETAINING WALL TO REMAIN (NOT SHOWN) **FRONT ELEVATION** ANSI B (11" X 17") 1/8 IN = 1 FT EXISTING FRONT RETAINING WALL TO REMAIN (NOT SHOWN)



**REAR ELEVATION** ANSI B (11" X 17") 1/8 IN = 1 FT



**REAR ELEVATION W/ GARAGE** APPROX. GRADE ANSI B (11" X 17") 1/8 IN = 1 FT

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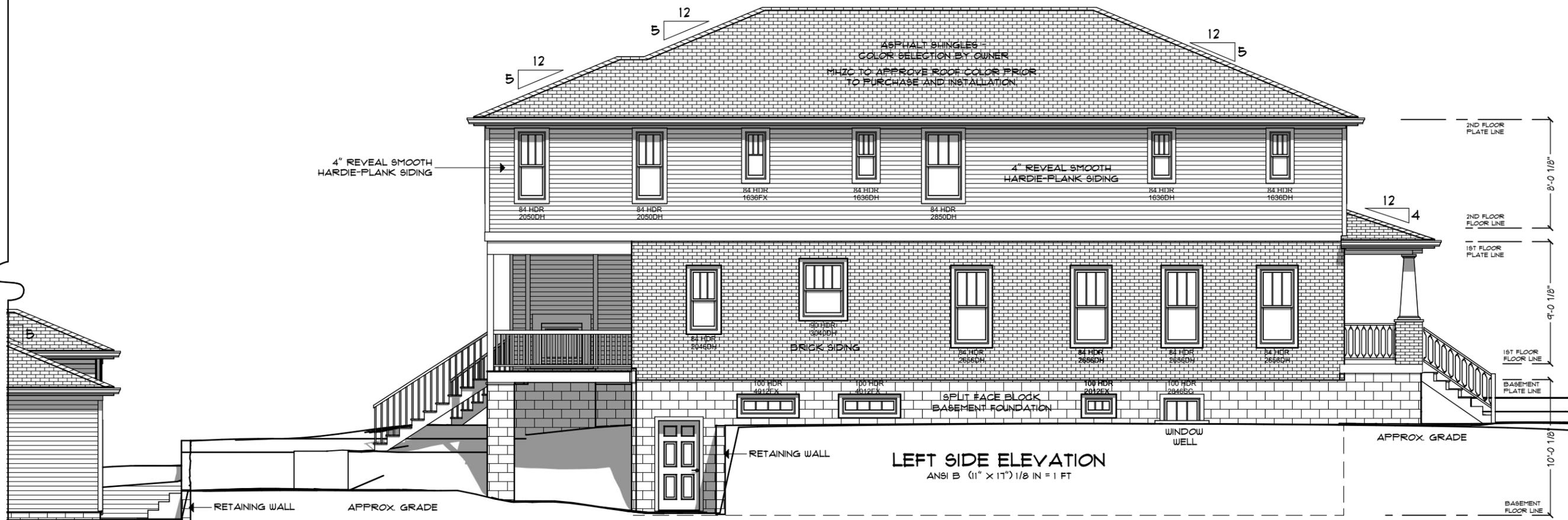
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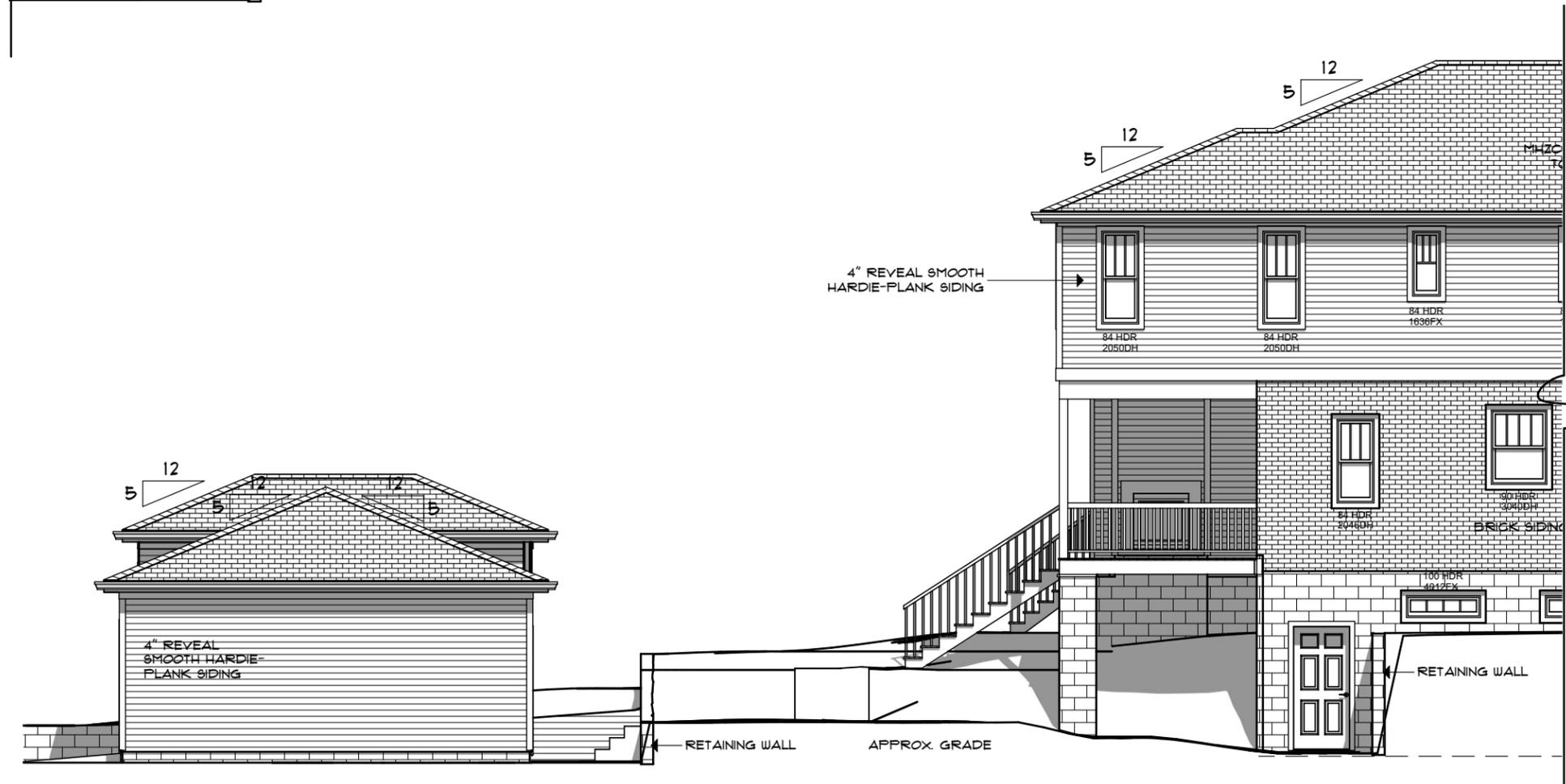


SHEET LABEL:  
**FRONT, REAR ELEVATIONS**

SHEET NO.:  
**PAGE # 1 OF 9**



**LEFT SIDE ELEVATION**  
ANSI B (11" x 17") 1/8 IN = 1 FT



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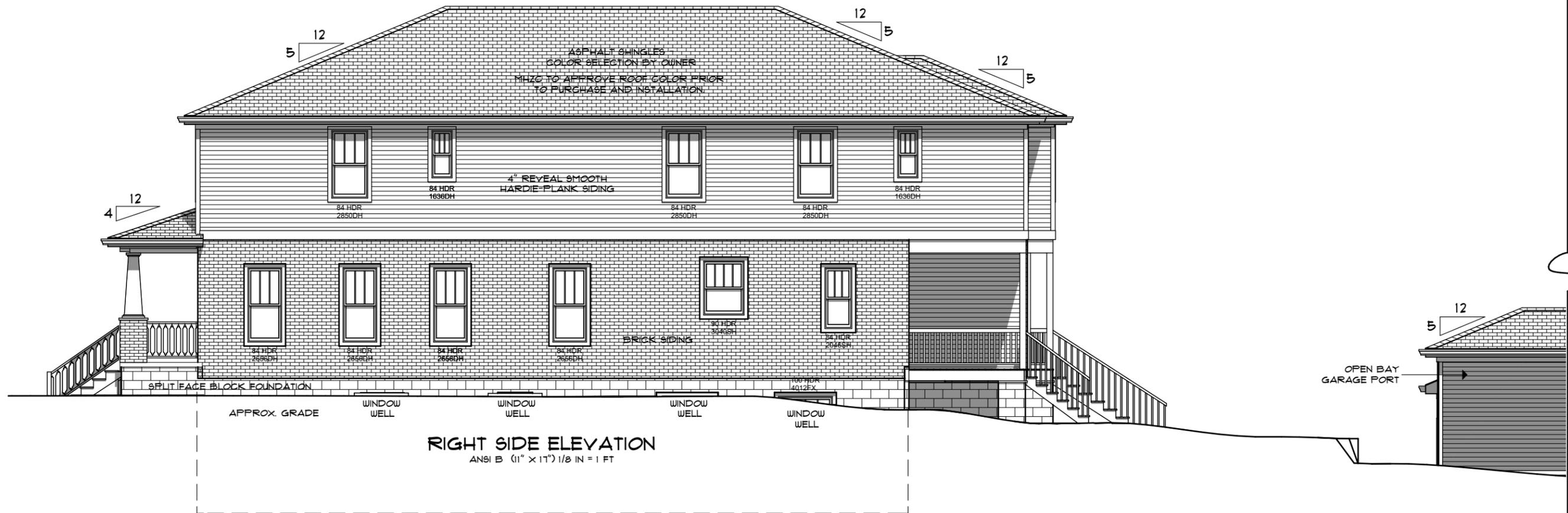
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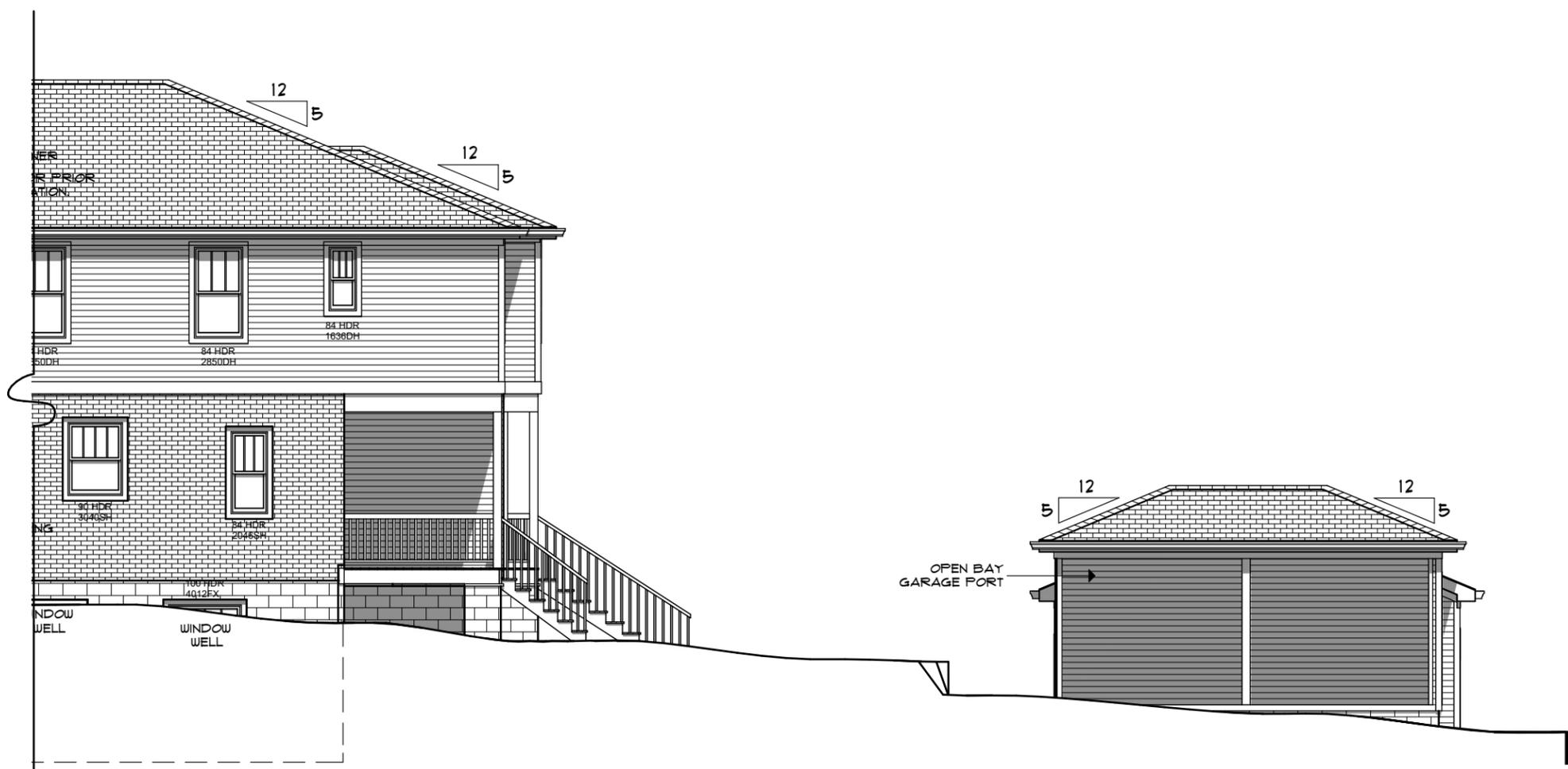


SHEET LABEL:  
**LEFT SIDE ELEVATION**

SHEET NO.:  
**PAGE # 8 OF 9**



**RIGHT SIDE ELEVATION**  
ANSI B (11" X 17") 1/8 IN = 1 FT



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HOUSE PLAN: **CUSTOM HOME**

SITE ADDRESS: **1501 SHELBY AVE.**

**STUDIO**  
ARCHITECTURE • DESIGN

SHEET LABEL:  
**RIGHT SIDE ELEVATION**

SHEET NO.:  
**PAGE # 9 OF 9**

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