

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

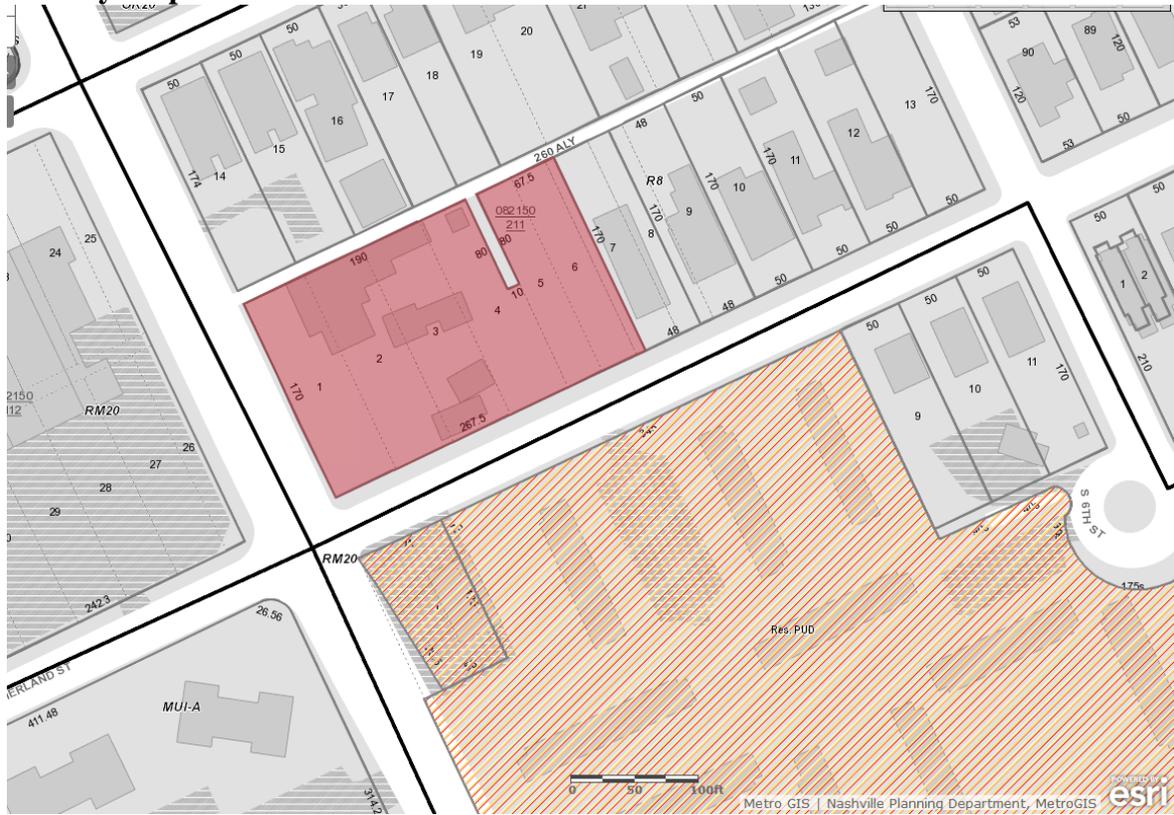
Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 209 South 5th Street April 18, 2018

Application: New construction—infill; Partial demolition; Alteration
District: Edgefield Historic Preservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08215021100
Applicant: Dave Wachtel
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

<p>Description of Project: Application is to remove a portion of a non-historic addition, add a railing to an existing addition, and construct a new infill structure that is attached to the historic house.</p> <p>Recommendation Summary: Staff recommends approval of the project with the following conditions:</p> <ol style="list-style-type: none">1. The finished floor height be consistent with the finished floor heights of the adjacent historic house, to be verified by MHZC staff in the field;2. The gate leading to the front entryway of the infill be largely open in design, to be approved by MHZC staff prior to purchase and installation;3. A walkway be added from the sidewalk to the gate and front entryway of the new infill;4. The railing on top of the infill's one-story addition be removed and this portion of the infill be fully enclosed;5. The finial on top of the infill be removed;6. Staff approve a brick sample;7. Staff approve the materials of all trim and details;8. Staff approve the roof material and color;9. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;10. Staff approve the material and design of all railings and gates; and,11. MHZC approve the location of any new HVAC or other utilities; <p>With these conditions, staff finds that the proposed project meets Sections II.B., III.B., and V.B. of the Edgefield Historic Preservation Zoning Overlay design guidelines for alterations and new construction.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III.B NEW CONSTRUCTION AND ADDITIONS TO HISTORIC AND NON-HISTORIC BUILDINGS

III.B.2 New Construction

a. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings reinforce that rhythm.

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setback reductions will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

b. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

For those lots located within the Corner Commercial Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. An additional story may be added to a building provided that, where it is adjacent to a detached house or a residential subdistrict, it is set back a minimum of 25' from the building wall or 50' from the property line. Three story building height shall not exceed 45'. All front and side buildings walls shall be a minimum of 16' in height and at the build-to line. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor.

c. Building Shape

The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

d. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

e. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Duplexes

Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

Multi-unit Developments

For multi-unit developments, interior dwellings should be subordinate to those that front the street.

Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.

For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.

f. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

g. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

i. Appurtenances Related to New Construction

For information on fences, paving, walls, et cetera, see the Appurtenances section.

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

*Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.
Generally, utility connections should be placed no closer to the street than the mid point of the structure.
Power lines should be placed underground if they are carried from the street and not from the rear or an alley.*

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

V.B DEMOLITION GUIDELINES

- 1 . Demolition is not appropriate
 - a. if a building, or major portion of a building, contributes to the architectural or historical significance or character of the district.
- 2 . Demolition is appropriate
 - a. if a building, or major portion of a building, does not contribute to the architectural or historical character or significance of the district; or
 - b. if a building, or major portion of a building, has irretrievably lost its physical integrity to the extent that it no longer contributes to the district's architectural or historical character or significance; or
 - c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420, as amended, of the historic zoning ordinance.

II.B Alterations & Repairs

6. Architectural details

- a. Original architectural details should be retained.
- b. Where replacement is necessary, new architectural details shall match the design, dimension, materials and all other visual characteristics of the originals, based on physical or historical documentation.
- c. Architectural details of a period or style not original to the building should not be introduced.

Changes that have taken place over the course of time are evidence of the history and development of a building and its environment and have sometimes acquired significance in their own right. If so, those changes should be recognized and respected.

For example, as tastes changed in the first quarter of the twentieth century, Victorian Era styles were replaced by Colonial Revival and Bungalow styles. In some instances, an addition or remodel in a new style to an earlier house can add to its historical significance rather than detract from it.

Background: 209 South 5th Street is a c. 1868 brick house that contributes to the historic character of the Edgefield Historic Preservation Zoning Overlay (Figure 1).



Figure 1. 209 South 5th Street

The house has been altered some over the years. Its red brick was painted for the first time in the late 1970s, just prior to the enactment of the preservation overlay (Figure 2). Shortly after the creation of the historic overlay in 1978, MHZC approved a one-story side addition (Figure 2) to the house. Comparing Figure 2 to Figure 4 below, it is evident that the two-story portion on the right side of the house was extended towards the rear during this time. Sometime before 1995, a greenhouse structure was constructed on top of the one-story side addition without a preservation permit (Figure 4).

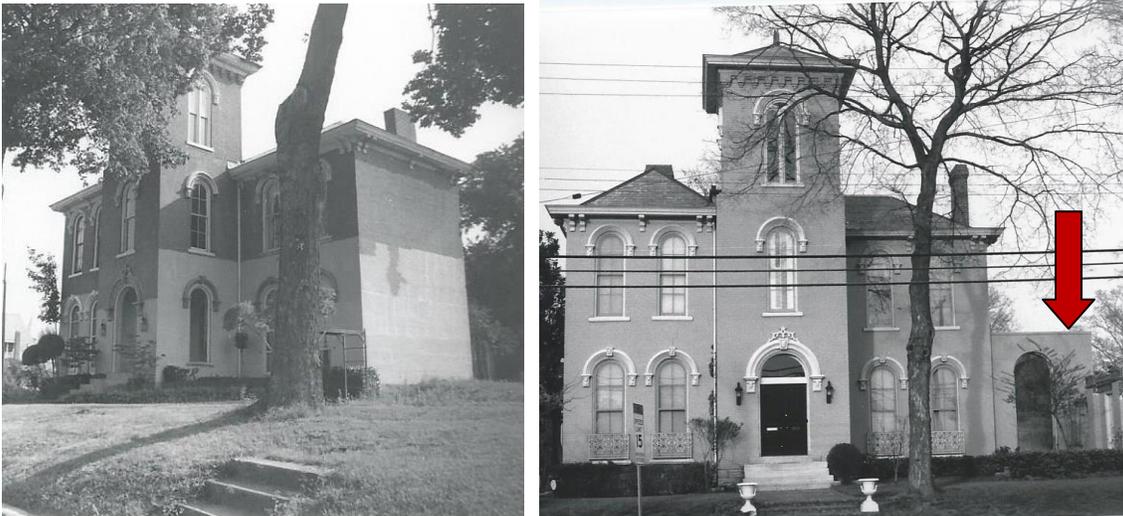
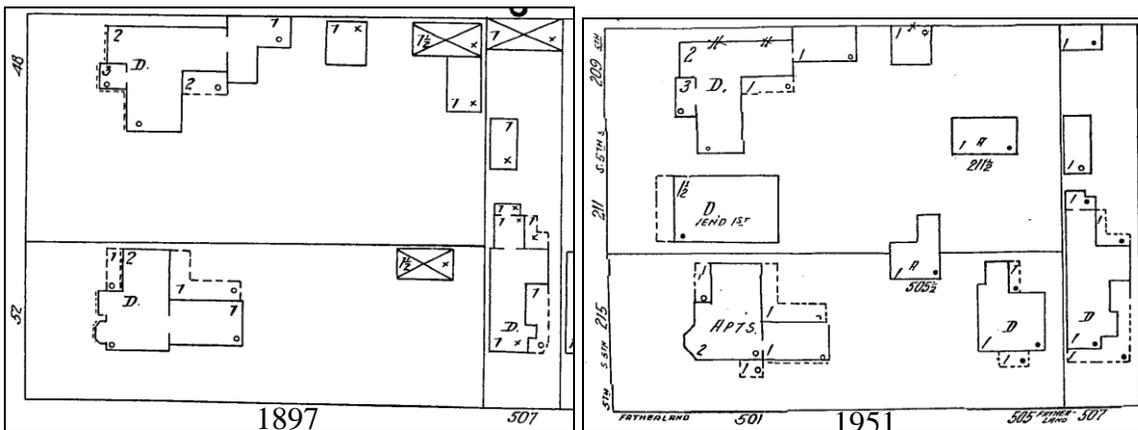


Figure 2 (Left) shows the house in the 1970s being painted. There are no side additions and no wall on the site at this time. Figure 3 (Right) shows the one story side addition prior to the greenhouse structure.



Figure 4. The greenhouse structure was constructed on top of the side addition prior to 1995.

The site for 209 South 5th Street has changed dramatically since it was constructed. A late nineteenth century map shows that on this block of South 5th Street, there were originally two, two-story houses (Figure 5). An 1880s rendering of Nashville shows what the two-story house might have looked like from behind (Figure 6). Sometime between 1914 and 1951, a one-and-a-half story house was constructed in between the two, two-story houses (Figures 7 & 8).



Figures 5 & 7 show the current site in 1897 and in 1951. The entire area shown in these maps is now part of the site for 209 S. 5th St.



Figure 6. An 1880s rendering of Nashville shows what the house next to 209 S. 5th Street may have looked like from behind.



Figure 8. The date of the photo is unknown, but the house formerly at 211 S. 5th St. can be seen.

These two houses next door to 209 South 5th Street are no longer extant; their date of demolition is not known. Two houses that were at the rear of the property, facing Fatherland (505 Fatherland and 507 Fatherland) were approved for demolition by MHZC in 1979 and their lots were incorporated into this lot. C. 1984, a brick wall with attached outbuildings was constructed around the perimeter of the site (Figures 9, 10, 11).



Figure 9. View along S. 5th St.



Figure 10. View of the corner of S. 5th St. and Fatherland St.



Figure 11. Fatherland Street view of the house.

Today, the site for 209 South 5th Street contains several outbuildings and is more than forty-five thousand square feet (45,000) (Figure 12).



Figure 12. An aerial view of the current site at 209 S. 11th Street.

Analysis and Findings: Application is to remove a portion of a non-historic addition, add a railing to an existing addition, and construct a new infill structure that is attached to the historic house.

Demolition: The applicant intends to remove the glass greenhouse-type structure above the one story side addition (See Figure 4). This greenhouse structure is not historic, as it was constructed in the late 1980s or early 1990s. Staff finds that its removal will improve the historic character of the house. Staff therefore finds that the removal of the greenhouse structure meets Section V.B.2 for appropriate demolition and does not meet section V.B.1 for inappropriate demolition.

Alterations: The only change proposed for the existing house is to install a railing on the c. 1978 side addition to the historic house, in the area where the greenhouse addition will be removed. Staff finds that the proposed railing is appropriate because it is on a non-historic part of the house and is appropriately scaled. Staff will want to approve the design and material of the railing prior to purchase and installation. The doorway that accesses the roof area where the railing will be installed is existing. No changes to the side wall of the historic house are proposed. Staff finds that the proposed railing meets Section II.B. of the Edgefield design guidelines.

Orientation: The infill will be connected to the historic house with a one-story connector. Although the Commission does not typically approved attached houses like what is

proposed, this site is unusual in the Edgefield neighborhood. The lot is unusually large at forty-five thousand square feet (45,000 sq. ft.). Although the lot could likely be divided up into separate lots, as it was historically, the site is currently used as an event facility that has a need to have the new structure connected to the main historic structure. The two-story infill form will relate to what was historically on the lot (See Figures 5, 6, and 7). However, the connector is necessary in order to make the space usable for the current owners. The connector is a removable feature, as it connects to a non-historic part of the historic house. If in the future the lots were to be divided, the connector could be demolished without affecting the historic house.

The one-story connector is set back from the front walls of the two structures by a minimum of eighteen feet (18'), and it will be largely open in nature, with three sets of French doors that take up the majority of the facade. Staff finds that the design and scale of the connector will reduce its impact on the historic site and is appropriate because of the peculiarities of this lot.

The new infill is oriented towards South 5th Street, which is appropriate. A new gate will be cut into the existing brick wall to provide pedestrian access from the sidewalk. Staff recommends inclusion of a walkway from the sidewalk to the gate and front entry. Staff further recommends that the gate be largely open in design so as to be appropriately oriented to the street.

Vehicular access to the site will not be altered, and will remain from Fatherland Street.

With the conditions that the gateway be largely open in nature and be approved by MHZC staff prior to purchase and installation and that a walkway be added from the sidewalk to the gate and entryway, staff finds that the proposed infill meets Section III.B.2.e. of the design guidelines.

Height & Scale: The proposed infill is two stories, with an eave height of approximately twenty-six feet (26') and a maximum ridge height of approximately thirty-seven feet (37'). The primary ridge height will be thirty-two feet (32'). Staff finds these heights to be appropriate because they are similar to the heights of the historic house to which it is connected. The new infill's eave height and primary ridge height will match those of the historic house next to it, and its maximum height will be lower than that of the historic house. Staff recommends that finial be removed from the top of the central tower of the infill, as it increases the height of the infill at the front and is not a common feature found in the historic district.

The main two-story portion of the infill has a width of forty-eight feet (48'). This is comparable to the width of the historic house, which is approximately forty-six feet, six inches (46'6") wide. A one-story extension is set back eleven feet (11') from the front wall of the infill and is twelve feet (12') wide. The width of the one-story extension is similar to that of the one-story extension to the historic house, which was approved by MHZC in 1978. Staff finds this width to be appropriate. However, staff finds that the railing on top of this extension and the rooftop patio is not appropriate. The area of the

one-story extension contains a stairway, and because there is no roof to this stairway, it is not fully enclosed, as typically required. As opened stairwells leading to balconies are not found in the Edgefield neighborhood, staff finds that this configuration is not appropriate. Staff recommends that the railing be removed and this portion of the infill be fully enclosed.

The connector will be one-story in height and will match that of the existing, one-story addition approved by MHZC c. 1978. It will be thirteen feet (13') tall, twenty-feet (20') wide, and nineteen feet (19') deep. Staff finds the height and scale of the connector to be appropriate.

With the conditions that the finial be removed, the railing on the one-story extension be removed, and the extension be fully enclosed, staff finds that the infill meets Sections III.B.2.b. and III.B.2.c. of the design guidelines.

Setback & Rhythm of Spacing: The proposed infill meets all base zoning setbacks. It is approximately twenty-six feet (26') from the right/Fatherland Street property line and approximately one hundred feet (100') from the left side property line. It will be approximately one hundred feet (100') from the rear property line. The historic house on this lot has a front setback that varies due to different wall planes. The infill's front setback will match the setback of the part of the historic house that is nearest to the proposed infill. Staff finds this to be appropriate. Excluding the recessed connector, there is approximately twenty-feet (20') of space in between the historic house and the proposed infill. Staff finds that this distance is in keeping with the historic rhythm of spacing for the Edgefield Historic Preservation Zoning Overlay. Staff finds that the proposed infill meets Section III.B.2.a. of the design guidelines.

Materials, Texture, and Details and Material Color:

	Proposed	Color/Texture/ Make/Manufact urer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Painted Brick to Grade*	Unknown	Yes	Yes
Cladding	Painted Brick*	Unknown	Yes	Yes
Roofing	Not Indicated	Not Indicated	Unknown	Yes
Roof Railing	Not indicated	Not indicated	Unknown	Yes
Windows/ Doors	Not indicated	Not indicated	Unknown	Yes
Trim	Not indicated	Not indicated	Unknown	Yes
Lintels, sills, and other detailing	Not indicated	Not indicated	Unknown	Yes
Front gate	Not indicated	Not indicated	Unknown	Yes

*Although the design guidelines do not permit historic masonry to be painted and discourage the painting of unpainted masonry, staff finds that painted brick to grade is appropriate in this instance because it matches the historic house's painted brick. Staff recommends approval of a brick sample, in case the paint is ever removed and original conditions restored. Staff also recommends approval of the roof material and color; all windows and doors; the front gate material and design; the railing material and design; and the trim and detailing materials. With staff's final approval of all material choices, staff finds that the known materials meet Section III.B.2.g. of the design guidelines.

Roof form & Building Shape: The proposed roof form has various hipped roofs with slopes of 7/12. The roof form and slope is similar to that of the historic house on the site. The building shape is also similar to that of the historic house. Staff finds that the building's shape and roof form meets Sections III.B.2.c. and III.B.2.d of the design guidelines.

Proportion and Rhythm of Openings: The infill's windows are all at least as twice as tall as they are wide, thereby meeting the historic proportion of window openings. The windows on the ground floor are taller than those on the upper floors. There are no large expanses of wall space without a window or door opening. The connector from the historic house to the infill is largely open in nature, with a series of three French doors. Staff finds that the infill's proportion and rhythm of openings meets Section III.B.2.f. of the design guidelines.

Appurtenances & Utilities: Few changes to the sites appurtenances are part of the project. The existing brick wall will remain, but the applicant intends to cut a gate into the wall to provide access to the front door of the infill. The gate's width will match the width of the infill's door opening, which is appropriate. Staff recommends that the gate be largely open in nature, and that staff approve the final gate selection. Staff also recommends the inclusion of a walkway from the sidewalk to the gate and entryway. The location of new HVAC units and other utilities was not indicate, and staff recommends approval of the locations of these utilities. With staff's final approval of the gate design and the location of the HVAC unit and with the inclusion of a walkway from the sidewalk, staff finds that the appurtenances and utilities meet Section III.B.2.i of the design guidelines.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

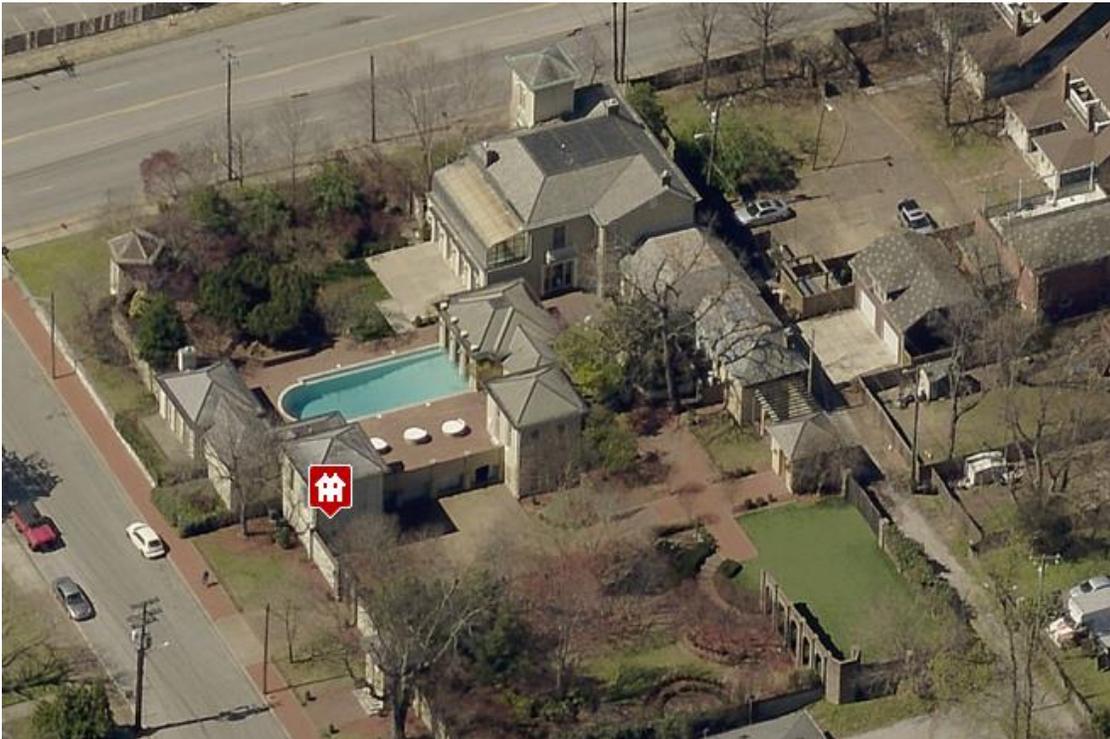
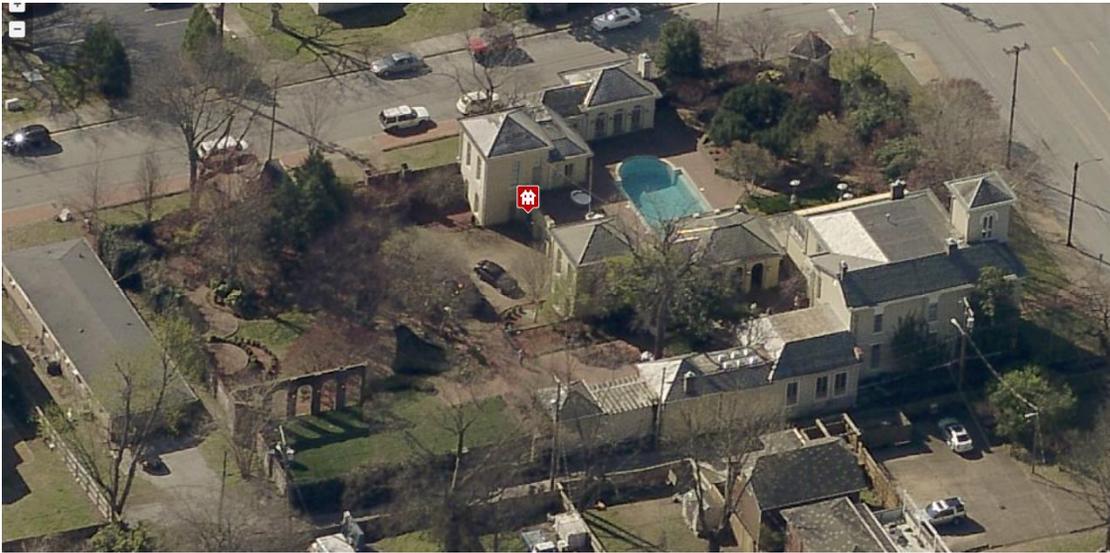
1. The finished floor height be consistent with the finished floor heights of the adjacent historic house, to be verified by MHZC staff in the field;
2. The gate leading to the front entryway of the infill be largely open in design, to be approved by MHZC staff prior to purchase and installation;
3. A walkway be added from the sidewalk to the gate and the front entryway of the new infill;

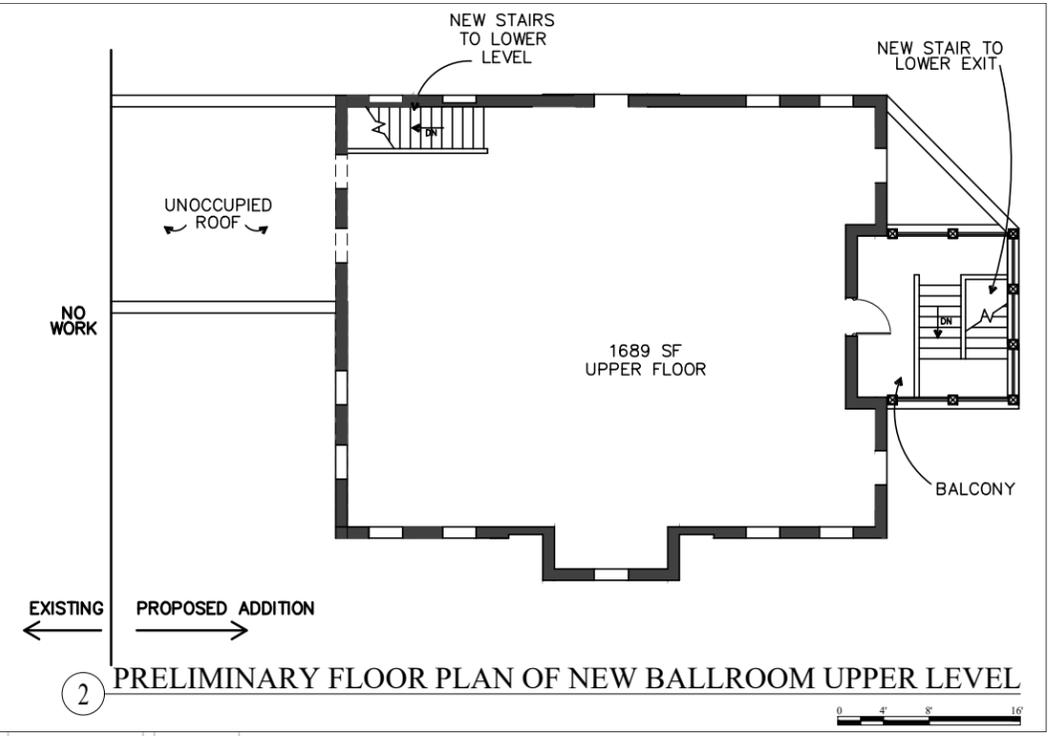
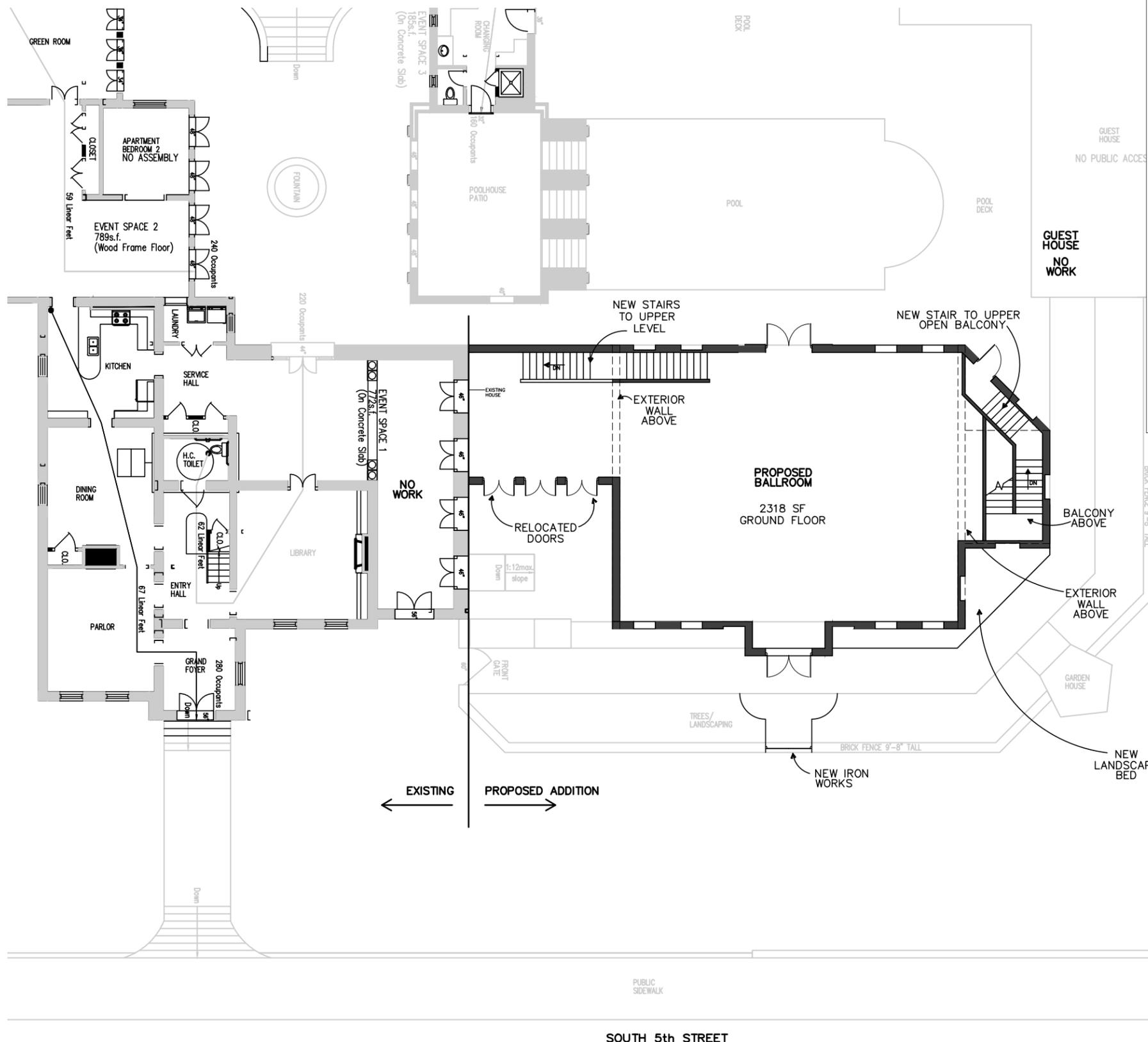
4. The railing on top of the infill's one-story addition be removed and this portion of the infill be fully enclosed;
5. The finial on top of the infill be removed;
6. Staff approve a brick sample;
7. Staff approve the materials of all trim and details;
8. Staff approve the roof material and color;
9. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
10. Staff approve the material and design of all railings and gates; and,
11. MHZC approve the location of any new HVAC or other utilities;

With these conditions, staff finds that the proposed project meets Sections II.B., III.B., and V.B. of the Edgefield Historic Preservation Zoning Overlay design guidelines for alterations and new construction.

Additional Photos:







1 PRELIMINARY FLOOR PLAN OF NEW BALLROOM WITH UPPER ROOM AND DECK

PRELIMINARY FLOOR PLAN FOR EAST IVY MANSION 5TH AND FATHERLAND, NASHVILLE, TN

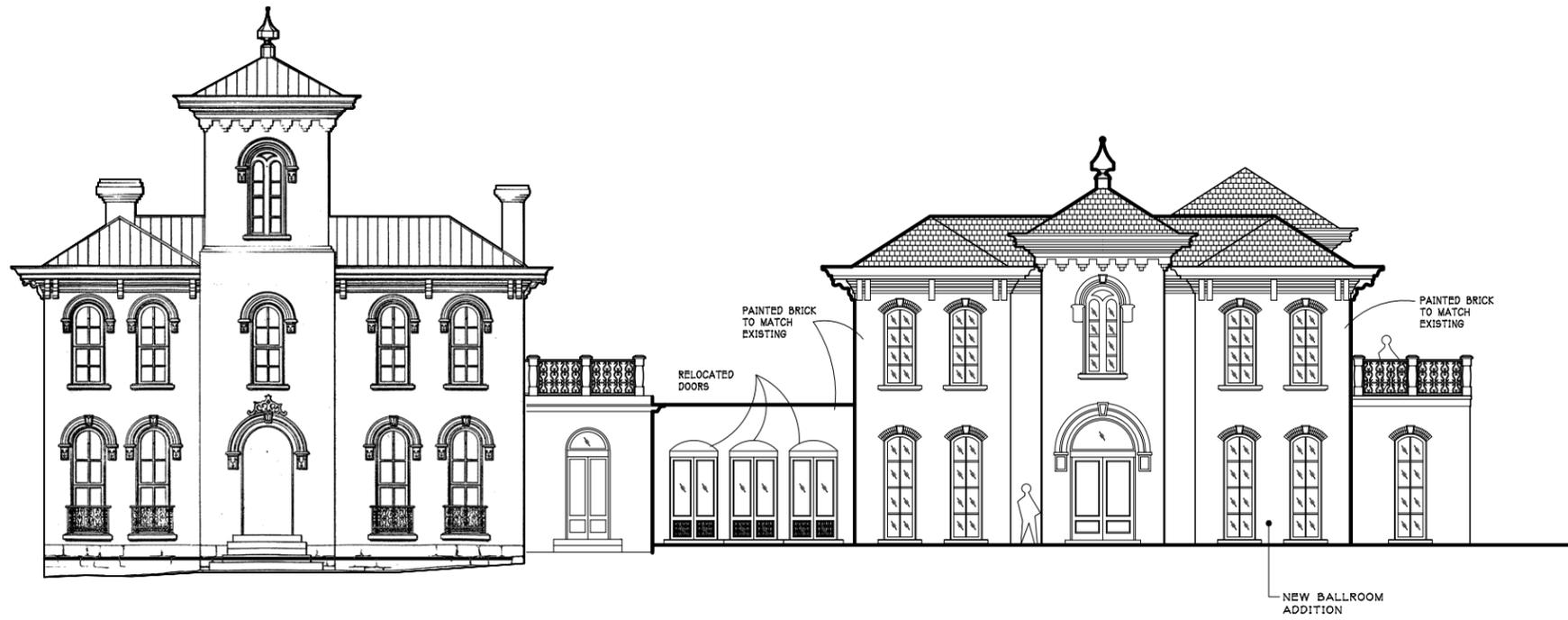
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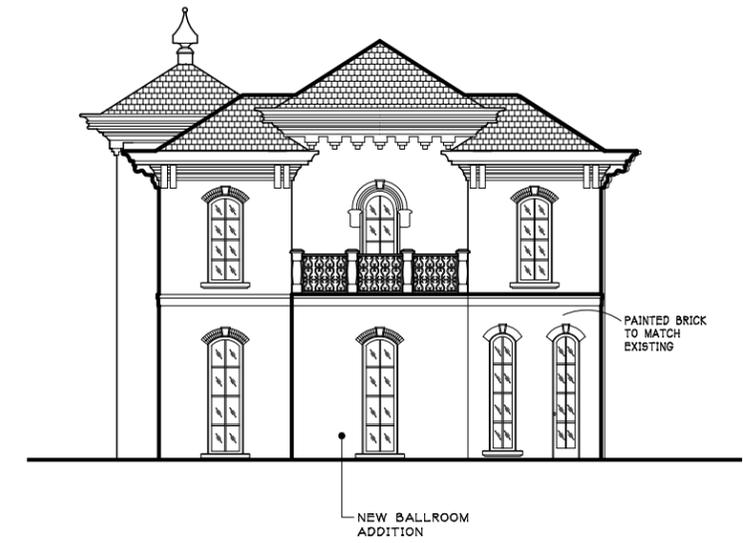
Client Signature _____

Date
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AN ADDITIONAL SERVICE TO THE CONTRACT





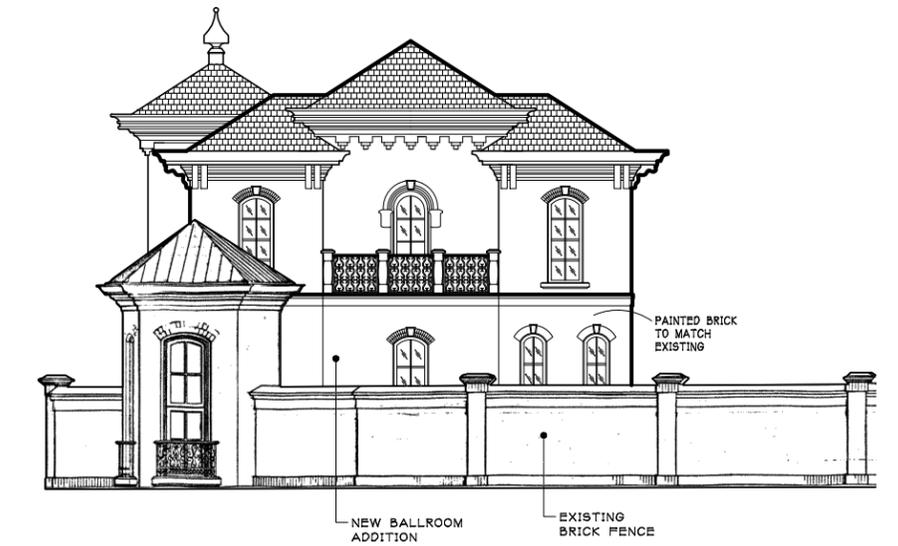
3 5TH STREET ELEVATION 0 4' 8' 16'



4 FATHERLAND ELEVATION 0 4' 8' 16'



1 5TH STREET ELEVATION WITH EXISTING FENCE 0 4' 8' 16'



2 FATHERLAND ELEVATION W/ EXIST'G FENCE 0 4' 8' 16'

PRELIMINARY ELEVATIONS FOR EAST IVY MANSION
5TH AND FATHERLAND, NASHVILLE, TN

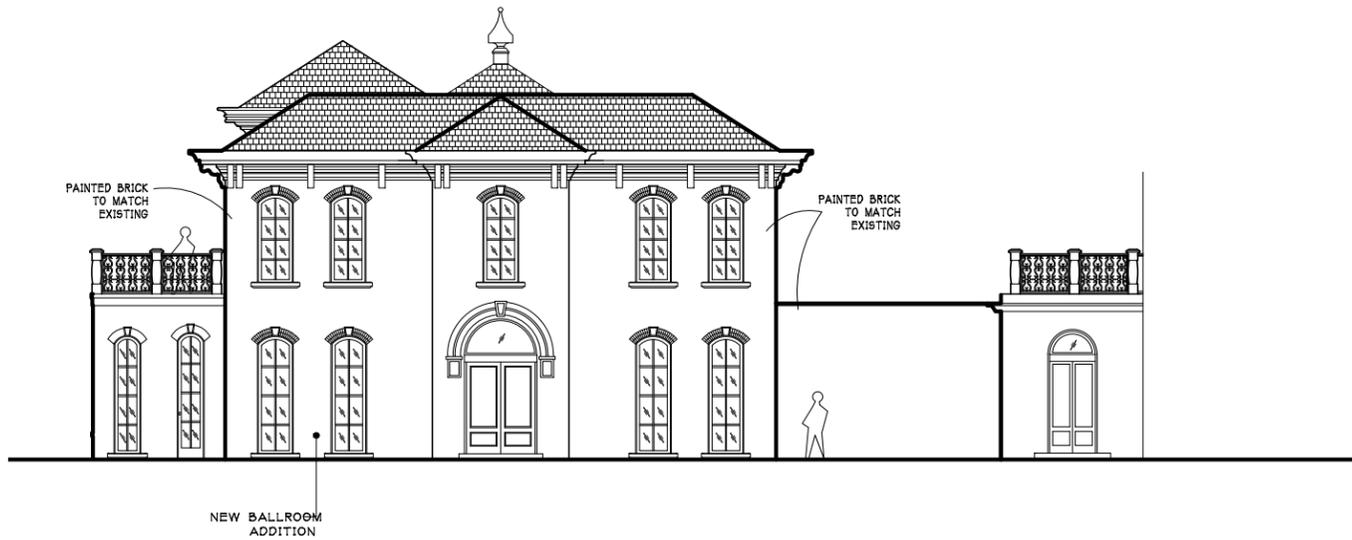
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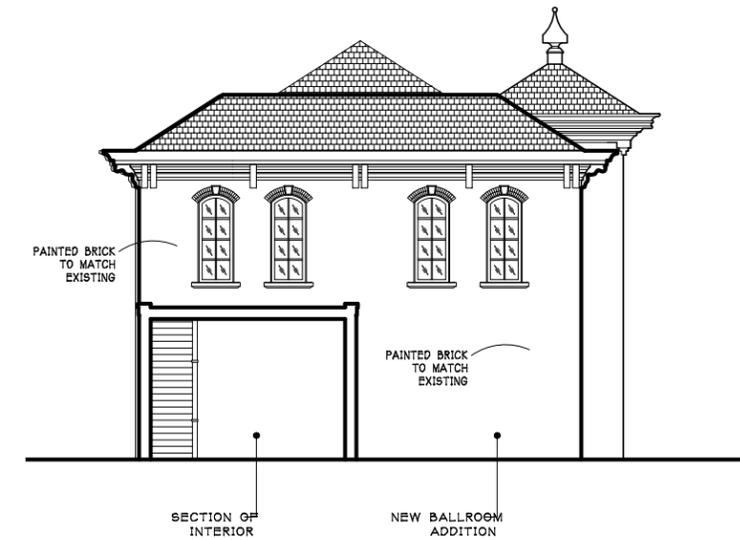
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5 REAR ELEVATION 0 4' 8' 16'



6 ELEVATION FROM EXISTING HOUSE 0 4' 8' 16'

PRELIMINARY ELEVATIONS FOR EAST IVY MANSION
5TH AND FATHERLAND, NASHVILLE, TN

03/28/18

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