

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

2219 White Avenue

April 18, 2018

Application: New construction - infill

District: Woodland in Waverly Historic Preservation Zoning Overlay

Council District: 17

Map and Parcel Number: 10514011900

Applicant: Gina Emmanuel, Centric Architecture

Project Lead: Melissa Sajid, melissa.sajid@nashville.gov

Description of Project: Application is to construct a two-family infill.

Recommendation Summary: Staff recommends approval with the following conditions:

1. The finished floor height be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. A front elevation reflecting the slight cross-slope on the property shall be submitted prior to issuance of the preservation permit;
3. The portion of the porch roof covering the at-grade patio shall be removed;
4. The roof form at the rear of the infill shall meet Section III.B.2.e;
5. An additional window or door opening shall be incorporated on the right side façade near the front;
6. Staff approve the materials for the masonry, trim, porch floors, porch steps, porch posts, railings, windows, doors, driveway, and walkway prior to purchase and installation;
7. Staff approve the color and texture of the shingle roof and the metal roof;
8. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls;
9. Four inch (nominal) wood corner-boards are required at the face of each exposed corner;
10. Paired windows shall have four to six inch (4" – 6") mullions between; and
11. The HVAC units be located behind the house or on either side, beyond the mid-point of the house.

With these conditions, staff finds that the project meets Sections III.B.2. of the Woodland in Waverly Historic Preservation Zoning Overlay design guidelines.

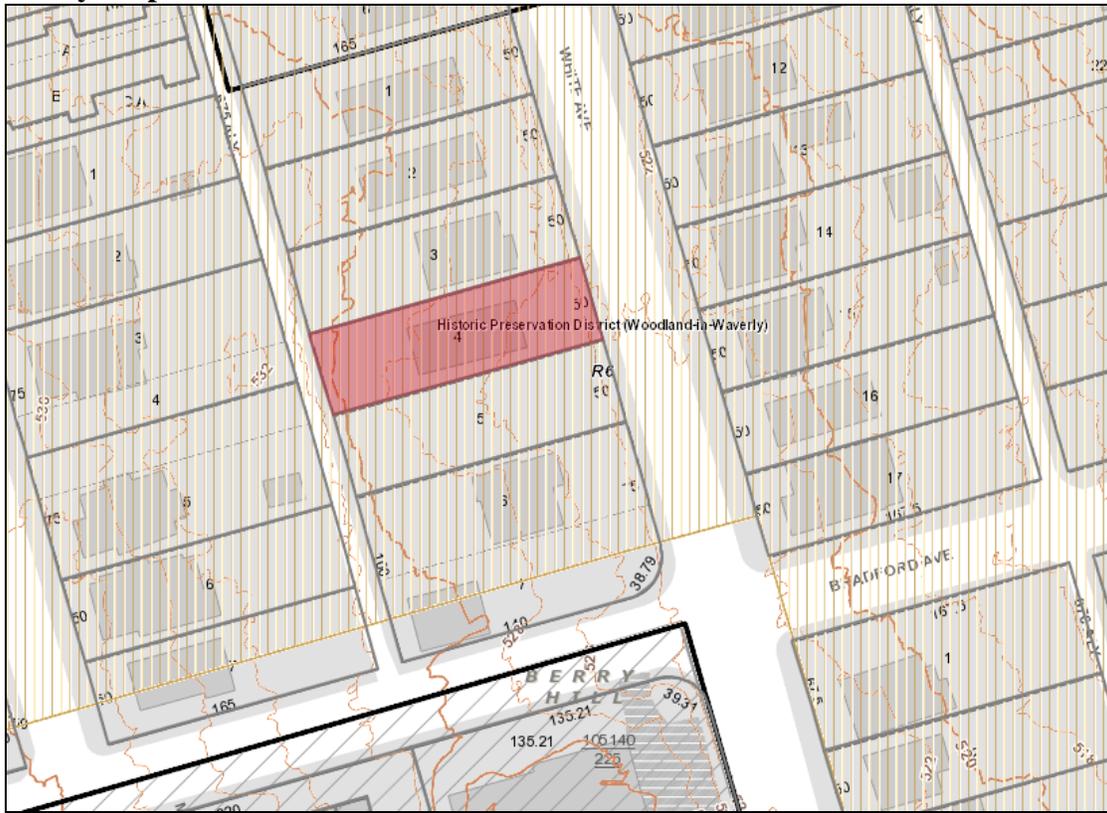
Attachments

A: Photographs

B: Site Plan

C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III. B. NEW CONSTRUCTION AND ADDITIONS TO HISTORIC AND NON-HISTORIC BUILDINGS

2. NEW CONSTRUCTION

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setback reductions will be determined based on:

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

Appropriate height limitations will be based on:

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- *There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- *The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- *An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Duplexes

Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

Multi-unit Developments

For multi-unit developments, interior dwellings should be subordinate to those that front the street.

Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.

i. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fencing, and walls, shall be compatible, by not contrasting greatly, with the characteristics of the surrounding historic buildings.

J: Multi-unit Detached Developments/ Cottage Developments

Multi-unit detached developments or "cottage" developments are only appropriate where the Planning Commission has agreed that the community plan allows for the density requested and the design guidelines for "new construction" can be met.

The buildings facing the street must follow all the design guidelines for new construction. The interior units need not meet the design guidelines for setbacks and rhythm of spacing on the street.

Interior dwellings should be subordinate to those that front the street. Subordinate generally means the

width and height of the buildings are less than the primary building(s) that face the street. Interior dwellings should be “tucked-in” behind the buildings facing the street. Direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street. Attached garages are only appropriate for rear units along the alley.

IV. APPURTENANCES TO HISTORIC AND NON-HISTORIC BUILDINGS

IV.1 Permanent Landscape Features

- a. For historic buildings, walls, curbs, steps, pavement, gravel, and front walkways should be compatible with the style of the house to which they relate in terms of design, materials, and location. For non-historic buildings, walls, curbs, steps, pavement, gravel, and front walkways should not contrast greatly with such features on surrounding historic buildings.
- b. Existing retaining walls in front and side yards should be retained.
- c. Satellite dishes are not appropriate.
- d. Permanently installed fixtures such as fountains or waterfalls should be based on documentary, physical, or pictorial evidence.

IV.3 Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture, and other work undertaken in public spaces, by any individual, group, or agency, shall be presented to the MHZC for review for compatibility and appropriateness.

IV.4 Fences

- a. New or reclaimed iron fencing may be appropriate for pre-1900 houses. Iron fencing is generally not appropriate for later houses.
 - b. Wood picket fences are appropriate in front or rear yards. Front yard fences can be up to 4' in height.
 - c. Privacy fences are appropriate only around rear yards (see illustrations). Privacy fences can be up to 6' in height.
 - d. Chain link or woven fences are generally inappropriate for front or visible side yards. They may be used in rear yards. If a portion of a rear fence is visible from the street, it should be camouflaged with plantings, or painted black or dark green.
 - e. Rear privacy fences should stop before mid-point on the side facades of a house. It is most appropriate for privacy fences to stop at the rear corners of a house.
- b. if historic, the loss of its architectural and historical integrity in its original location is certain.

Background: The house located at 2219 White Avenue is a c. 1963 one-story residential structure that does not contribute to the historic character of the Woodland-in-Waverly Historic Preservation Zoning Overlay (Figure 1). Its form, style, massing and location on the lot are not similar to the historic context. In April 2018, MHZC staff issued an administrative permit to demolish the structure.



Figure 1. Existing house at 2219 White Avenue.

Analysis and Findings: The request is to construct a two-story duplex infill. The lot appears to have a slight cross slope along the front of the property. Staff recommends that the front elevation reflect this prior to issuance of the preservation permit.

Height & Scale: The proposed infill will be two stories and approximately thirty-three feet, six inches (33'-6") tall from grade. On this block of White Avenue, there is a mix of both contributing and non-contributing structures. Of the eight contributing structures, six are one-and-a-half story structures and two are two-story structures. The two-story structures are both approximately forty-feet (40') tall. The contributing house next door to the proposed infill, 2217 White Avenue, is one of the two-story historic houses on this block (Figure 2).

The proposed infill is thirty-five feet (35') wide at the front setback and steps back thirteen feet (13') before widening on the left side to a total width of forty feet (40'). This is in keeping with the range of widths on the block. The two-story house at 2223 White Avenue is forty-two feet (42') wide, although it does sit on a wider lot. The two-story house next door at 2217 White Avenue is thirty feet (30') wide (Figure 2); however, it is taller than the proposed infill.

Staff finds that the infill's height and scale



Figures 2. The historic house at 2223 White Ave.

meet Sections III.B.2.a. and III.B.2.b. of the design guidelines.

Setback & Rhythm of Spacing: The proposed infill meets all base zoning setbacks. It will be five feet (5') from each of the side property lines, and fifty-six feet, nine inches (59'-6") from the rear property line. Its front façade will be thirty-eight feet (38') back from the front property line to line up with the historic house next door at 2217 White Avenue. Staff finds that the proposed setbacks and rhythm of spacing meet Section III.B.2.c. of the design guidelines.

Materials, Texture, and Details and Material Color:

	Proposed	Color/Texture/ Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Concrete Block	Split Face	Yes	
Cladding	Board-and-batten	Smooth	Yes	
Secondary Cladding	Hardie board	Smooth face	Yes	
Secondary Cladding	Brick	Needs final approval	Yes	X
Roofing	Asphalt Shingles	Needs final approval	Yes	X
Trim	Not indicated	Needs final approval	Yes	X
Front Porch floor/steps	Not indicated	Needs final approval	Yes	X
Front Porch Posts	Not indicated	Needs final approval	Yes	X
Front Porch Railing	Metal		No	X
Front Porch Roof	Metal	Not indicated	Yes	X
Side Porch Floor/steps	Not indicated	Needs final approval	Yes	X
Side Porch Railing	Metal		No	X
Rear Porch floor/steps	Not indicated	Needs final approval	Unknown	X
Rear Porch Railing	Metal		No	X
Windows	Not indicated	Needs final approval	Unknown	X
Principle	Full light with	Needs final	Unknown	X

Entrance	transoms	approval		
Rear doors	Full light with transoms	Needs final approval	Unknown	X
Driveway	Not indicated	Needs final approval	Unknown	X
Walkway	Not indicated	Needs final approval	Unknown	X

The plans do not appear to incorporate four to six inch (4”-6”) mullions between paired windows, four inch (4”) (nominal) casings around doors and windows, or four inch (4”) corner-boards at the face of each exposed corner. Staff recommends that these elements be included as conditions of approval and also that staff approve the materials of the masonry, roof color, trim, porch floors, porch steps, porch posts, railings, windows, doors, driveway, and walkway. With these conditions, staff finds that the project can meet section III.B.2.d.

Roof form: The proposed primary roof form is a cross-gable with slopes of 13.5/12 and 7.5/12. The plan incorporates a significant amount of flat roofing with a pitch of 0.5/12 on the rear of the structure. The design guidelines state that “roof pitches should be similar to the pitches found in the district” and that “historic roofs are generally between 6/12 and 12/12.” While the Commission has approved some lower pitches, those cases have usually been for porch roofs or connectors for additions on historic homes, which are smaller areas of flat roofing than proposed with this project. Staff finds that the 0.5/12 proposed roof pitch does not meet Section III.B.e. and recommends that the applicant continue to work with staff so that the infill meets this design guideline. With the condition that the roof form at the rear of the infill meet Section III.B.2.e, staff finds that the proposed roof forms could meet Section III.B.2.e. of the design guidelines.

Orientation: The duplex is oriented towards White Avenue with two doorways facing White Avenue. The doorway for the right unit reads as the primary entrance as it is accessed via the front porch. The left unit is accessed via a recessed door and will appear to have more of a stoop. The partial width front porch is approximately ten feet (10’) deep, which meets the design guidelines. While the plan does incorporate a partial width front porch, the porch roof continues the full width of the house at the front and extends six feet (6’) over a patio that appears to be at grade while the front porch is three feet (3’) tall. Staff recommends that this portion of the front porch roof be removed as this is not seen historically. With this condition, staff finds that the duplex’s orientation meets Section III.B.2.f. of the design guidelines.

Proportion and Rhythm of Openings: The windows on the duplex are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There is an expanse of wall on the left side elevation that is approximately eleven feet (11’) without a window or door opening. The design guidelines state that “in most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet.” Staff recommends incorporating an opening within this wall space since it is near the front of the house and will be visible from the street. With this condition, staff

finds the project's proportion and rhythm of openings to meet Section III.B.2.g. of the design guidelines.

Appurtenances & Utilities: The location of the HVAC units and other utilities was not noted. Staff recommends that the HVAC units be located on the rear façade, or on a side façade beyond the midpoint of the house. Parking will be located at the rear of the site. The site plan notes covered parking, but plans for covered parking were not submitted with this application and so is not part of the staff recommendation. A sidewalk will connect the duplex to the sidewalk along White Avenue. Staff finds the known appurtenances and landscape features to meet Section IV.B.1. of the design guidelines.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. The finished floor height be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. A front elevation reflecting the slight cross-slope on the property shall be submitted prior to issuance of the preservation permit;
3. The portion of the porch roof covering the at-grade patio shall be removed;
4. The roof form at the rear of the infill shall meet Section III.B.2.e;
5. An additional window or door opening shall be incorporated on the right side façade near the front;
6. Staff approve the materials for the masonry, trim, porch floors, porch steps, porch posts, railings, windows, doors, driveway, and walkway prior to purchase and installation;
7. Staff approve the color and texture of the shingle roof and the metal roof;
8. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls;
9. Four inch (nominal) wood corner-boards are required at the face of each exposed corner;
10. Paired windows shall have four to six inch (4" – 6") mullions between; and
11. The HVAC units be located behind the house or on either side, beyond the midpoint of the house.

With these conditions, staff finds that the project meets Sections III.B.2. of the Woodland in Waverly Historic Preservation Zoning Overlay design guidelines.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

Context Photos:



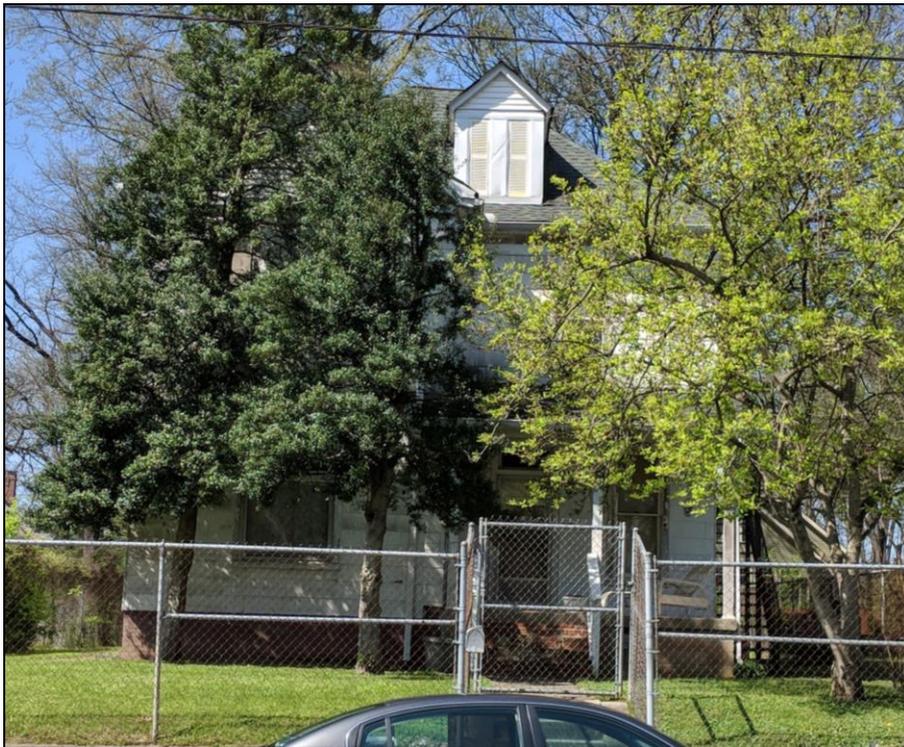
2223 White Avenue (contributing) – located to the left of site, at the corner of White Avenue and Bradford Avenue



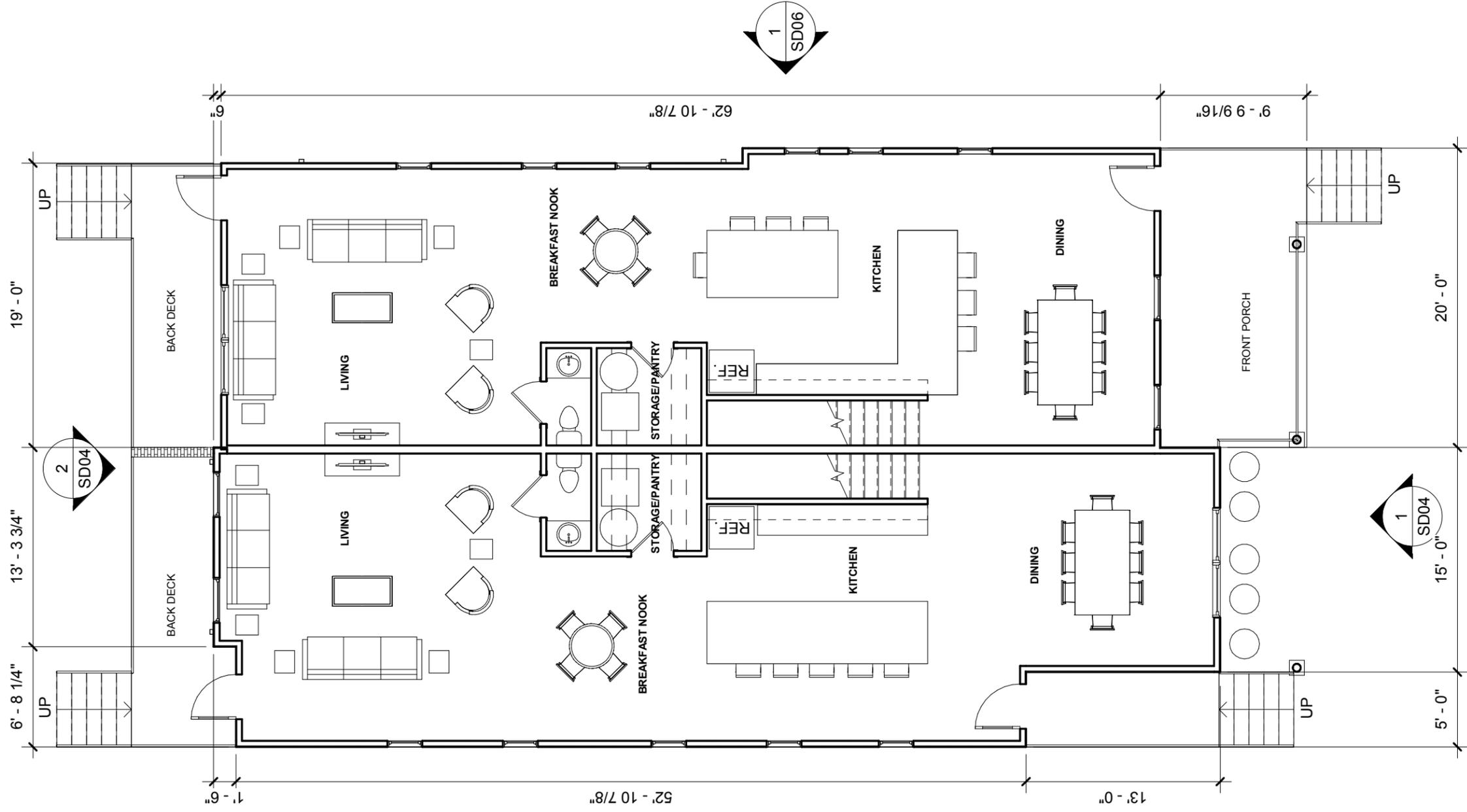
2216 and 2218 White Avenue (contributing) – located across the street

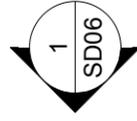
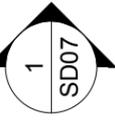
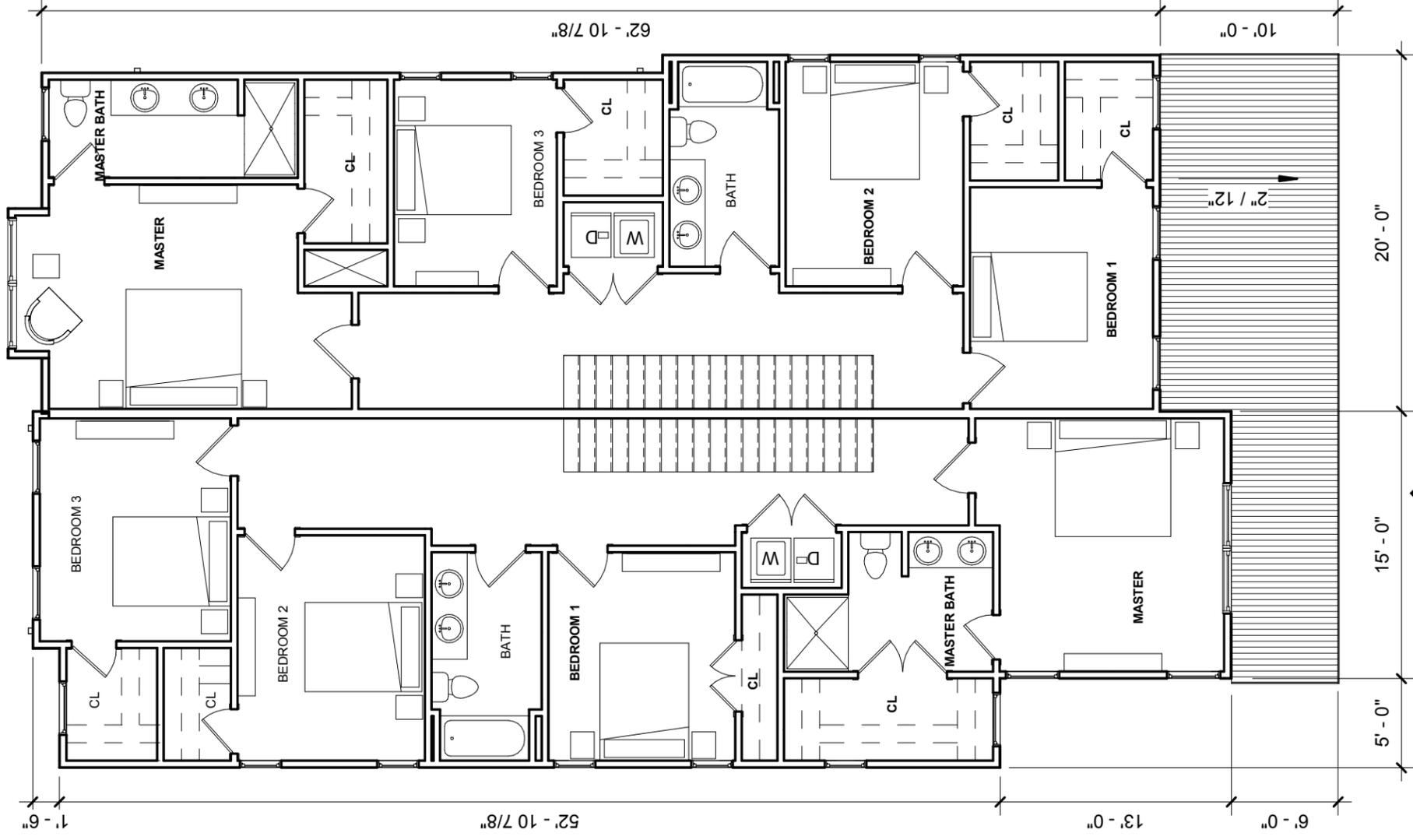


2222 White Avenue (contributing) – located across the street, at the corner of White Avenue and Bradford Avenue



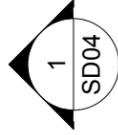
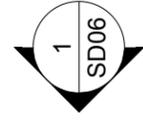
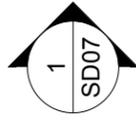
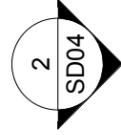
2217 White Avenue (contributing) – located next door, to the right of the site





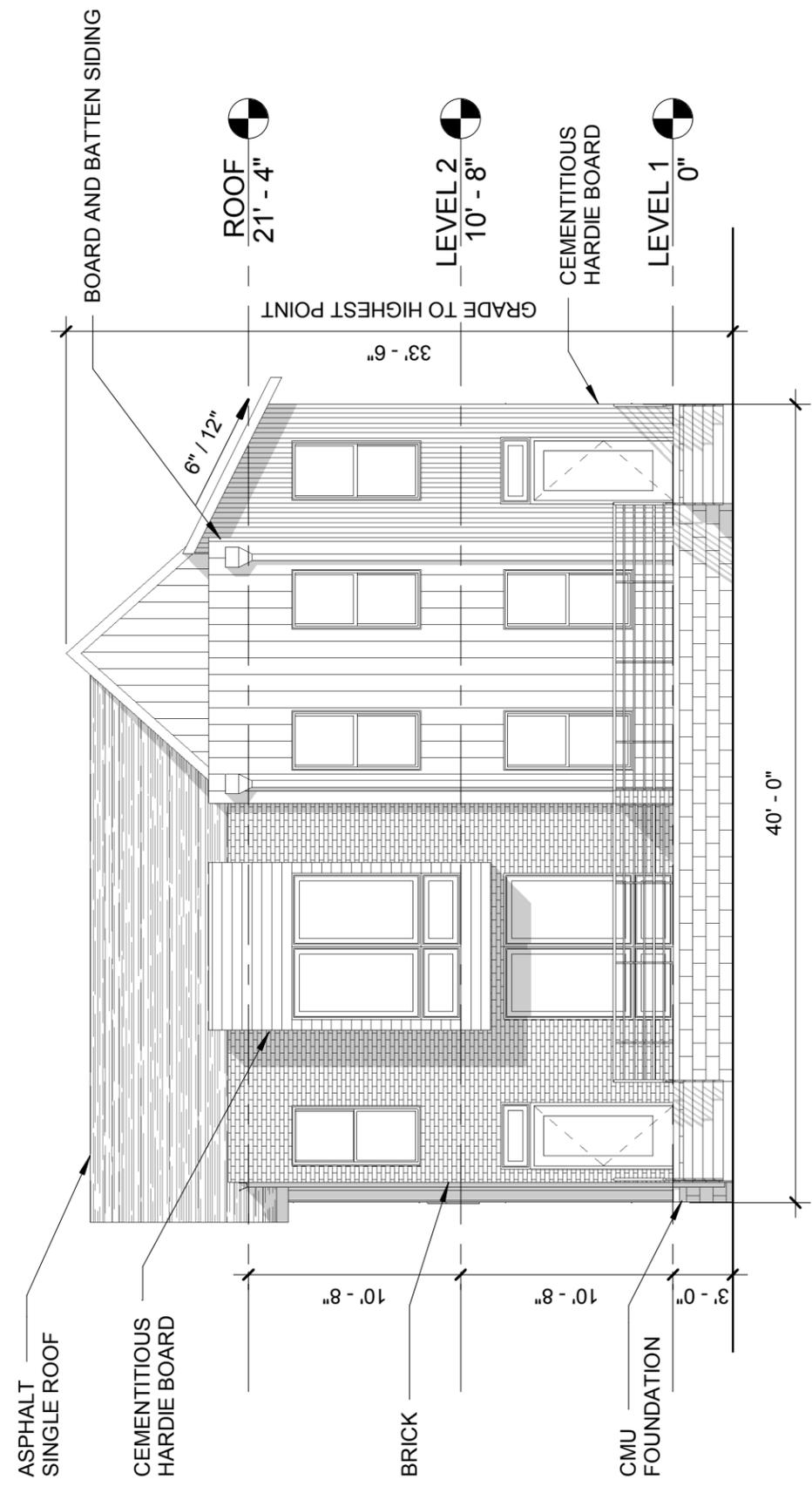
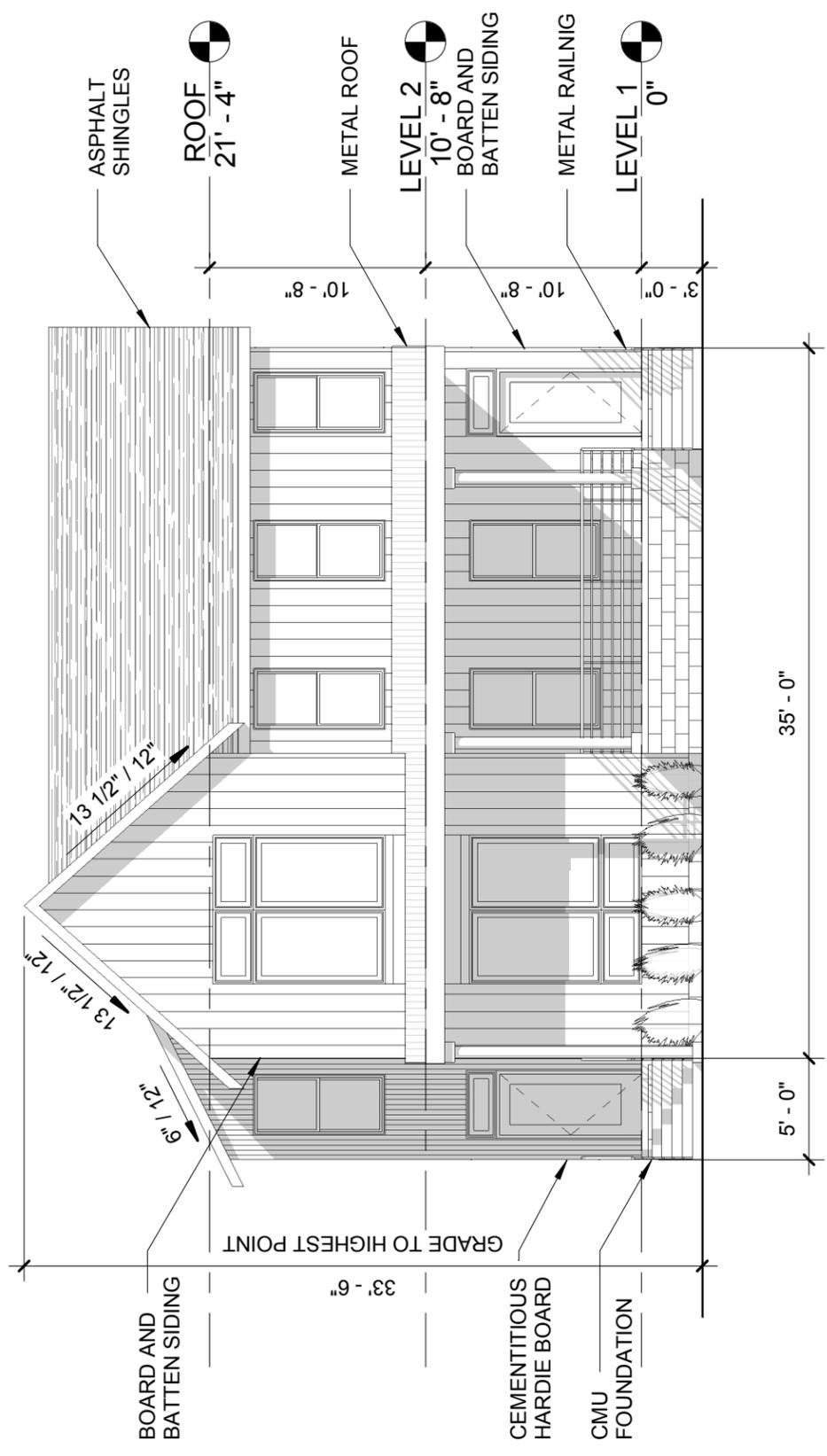
2219 WHITE AVE
LEVEL 2 PLAN





2219 WHITE AVE
ROOF PLAN





2219 WHITE AVE
 FRONT + REAR ELEVATION
 0' 4' 8' 16'



2219 WHITE AVE
SIDE A ELEVATION





2219 WHITE AVE
SIDE B ELEVATION

