

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
2517 Blair Boulevard
April 18, 2018

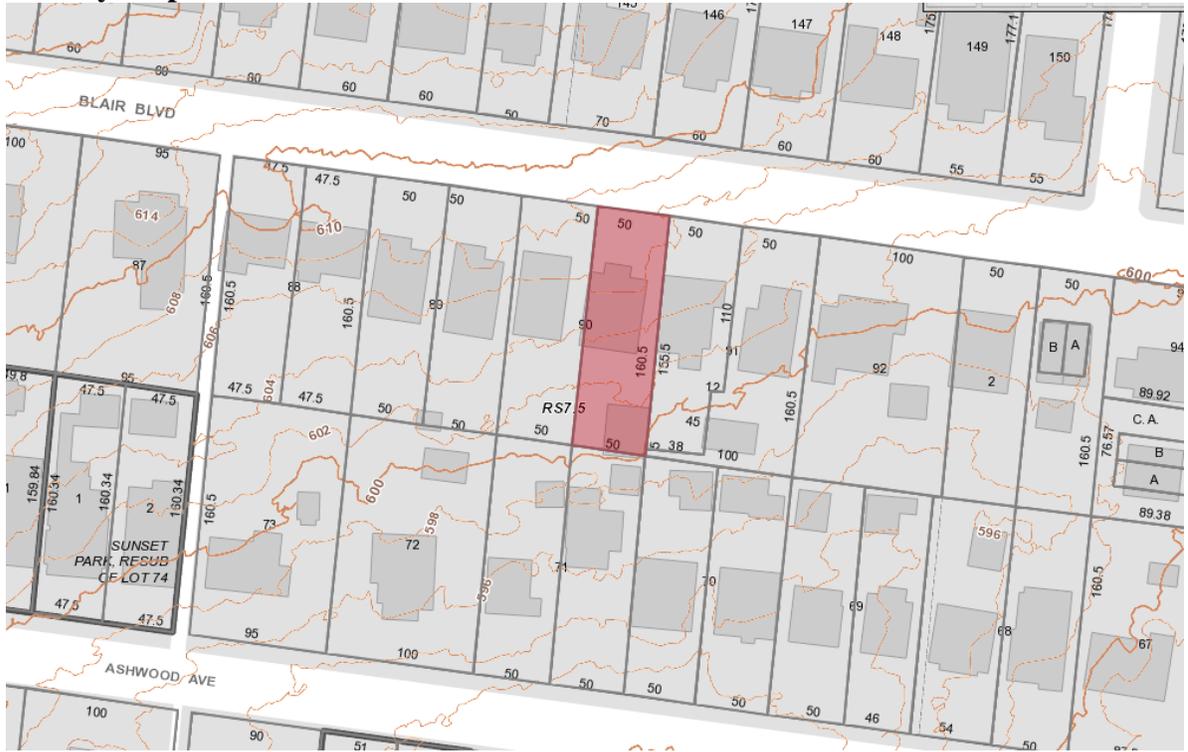
Application: New construction—addition to outbuilding
District: Hillsboro-West End Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 10415002700
Applicant: Blaine Bonadies
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is to construct a second story on top of an existing one-story outbuilding. The existing outbuilding's left facade does not meet the base zoning side setback of five feet (5'). It is between one foot and two feet, eight inches (1' - 2'8") from the left side property line. The outbuilding will not be used as a detached accessory dwelling unit.

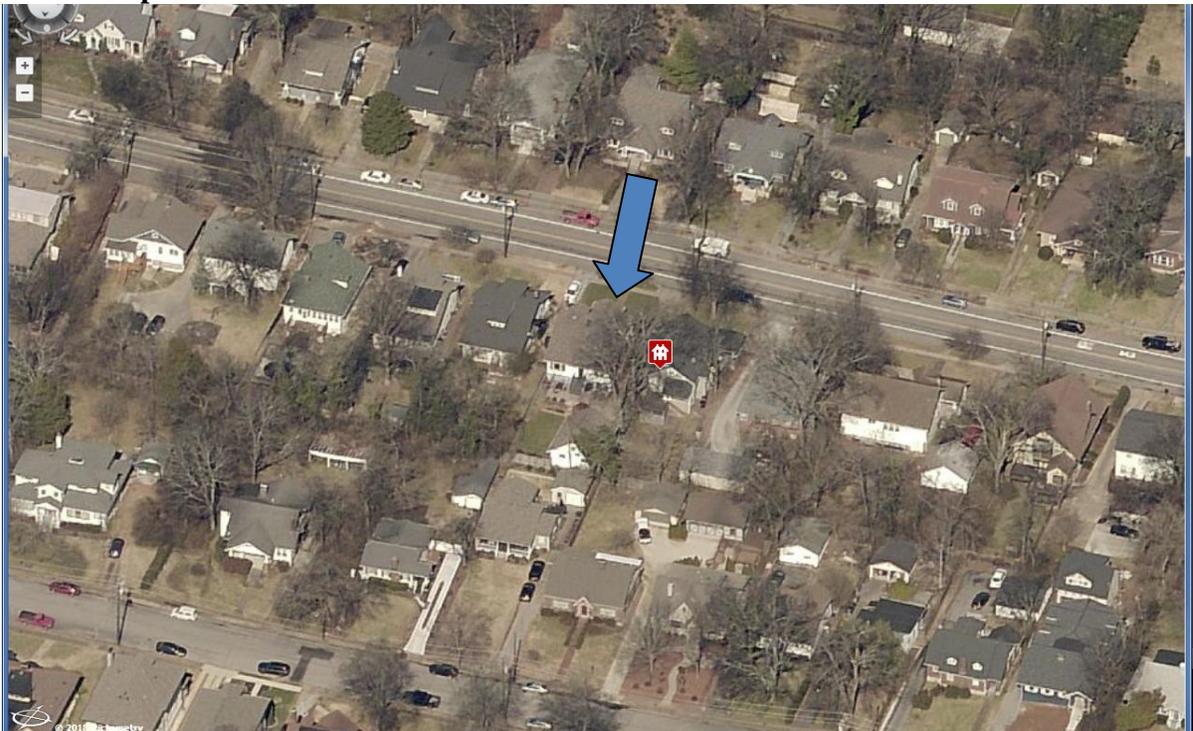
Recommendation Summary: Staff recommends disapproval of the addition to the outbuilding, finding that its height, scale, and setback do not meet Section II.B.h. of the Hillsboro – West End Neighborhood Conservation Zoning Overlay design guidelines

Attachments
A: Site Plan
B: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

h. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- Brick, weatherboard, and board-and-batten are typical siding materials.
 - Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
 - Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
 - Stud wall lumber and embossed wood grain are prohibited.
 - Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

· *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*

· *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*

· *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*

At least one side setback a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

· *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*

· *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

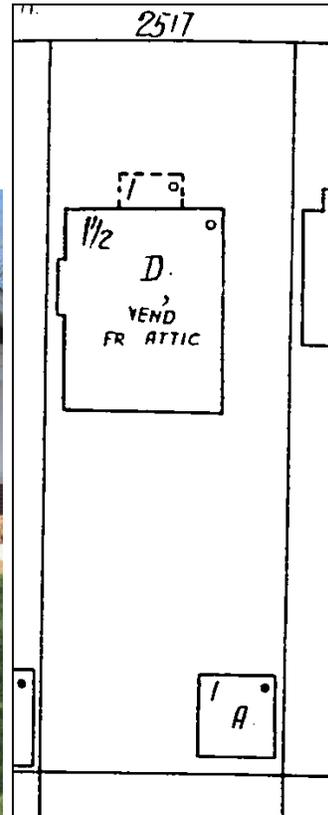
Background: 2517 Blair Boulevard is a c. 1932 brick bungalow. The date of construction of the existing outbuilding is not known, but it could be the same structure that appears in the c. 1932 Sanborn Map (Figures 2-4).



Figure 1: 2517Blair Boulevard



Figure 2. The existing outbuilding



Figures 3 & 4. The 1932 Sanborn Map shows a garage that is the approximate size as the existing garage and in its approximate location.

Analysis and Findings: Application is to construct a second story on top of an existing one-story outbuilding. The existing outbuilding’s left facade does not meet the base zoning side setback of five feet (5’). It is between one foot and two feet, eight inches (1’ - 2’8”) from the left side property line. The outbuilding will not be used as a detached accessory dwelling unit, as the lot is zoned for single-family use.

Roof Shape:

Proposed Element	Proposed Form	Typical of district?
Primary form	Gable	Yes
Primary roof slope	6/12	Yes

Since the form and slopes are similar to historic outbuildings and do not contrast greatly with historic house, staff finds that the project meets Section II.B.h.1. of the design guidelines.

Design Standards: The addition to the outbuilding creates a two-story structure behind a one-story house. The outbuilding is highly visible from the street, and does not meet the

base zoning setbacks. Staff finds that the design of the addition to the outbuilding does not meet Section II.B.h.1 of the Hillsboro-West End Neighborhood Conservation Zoning Overlay design guidelines.

Materials:

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood
Foundation	Concrete slab	Natural	Yes
Cladding	Hardie Plank Lap Siding	4” revewal, smooth	Yes
Roofing	Asphalt shingle	color to match existing	Yes
Trim	Hardie board	Smooth	Yes
Windows	Marvin Windows	Needs final approval	TBD
Pedestrian Door	Not indicated	Needs final approval	TBD
Vehicular Doors	Carriage style garage door.	Needs final approval	TBD

With the staff’s final approval of the windows, doors, and roof color, staff finds that the known materials meet Section II.B.h.1 of the design guidelines.

Appurtenances & Utilities: No new appurtenances are noted on the plans.

General requirements for outbuildings and DADUs: The answer to each of these questions must be “yes” for either an outbuilding or a DADU.

	YES	NO
If there are stairs, are they enclosed?	Yes	
If a corner lot, are the design and materials similar to the principle building?	N/A	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	N/A	
If dormers are used, do they sit back from the wall below by at least 2’?	N/A	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	Yes	

Is the building located towards the rear of the lot?	Yes	
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The garage door is one door but designed to look like two. Since the proposal reuses the existing building, two separate doors are not possible for the existing opening. Staff finds the project to meet the design guidelines.

Site Planning & Setbacks:

	MINIMUM	PROPOSED
Building located towards rear of lot	n/a	Yes
Space between principal building and DADU/Garage	20'	35'
Rear setback	3'	3'
L side setback**	5'	1' *
R side setback**	5'	23'
How is the building accessed?	From the alley or existing curb cut	Existing curb cut

* Base zoning requires a five foot (5') side setback when the outbuilding's footprint is larger than seven hundred and square feet (700 sq. ft.) like this one. The existing outbuilding is seven hundred and eighteen square feet (718 sq. f.t). It does not meet base zoning setback on the left side. The existing structure is just one foot (1') from the left side property towards the front and is approximately two feet, eight inches (2'8") from the side property line at its rear. Staff finds that increasing the height of the outbuilding from one-story to two-stories and from approximately sixteen feet (16') tall to twenty-four feet, nine inches (24'9") tall increases the non-conformity of the setbacks and is not appropriate. Staff therefore finds that the project does not meet Section II.B.h.2 of the design guidelines.

Massing Planning:

	Existing conditions (height of historic portion of the home to be measured from finished floor)	Potential maximums (heights to be measured from grade)	Proposed (should be the same or less than the lesser number to the left)
Ridge Height	22'	25'	24'9"***
Eave Height	10'	10'	15'10"***

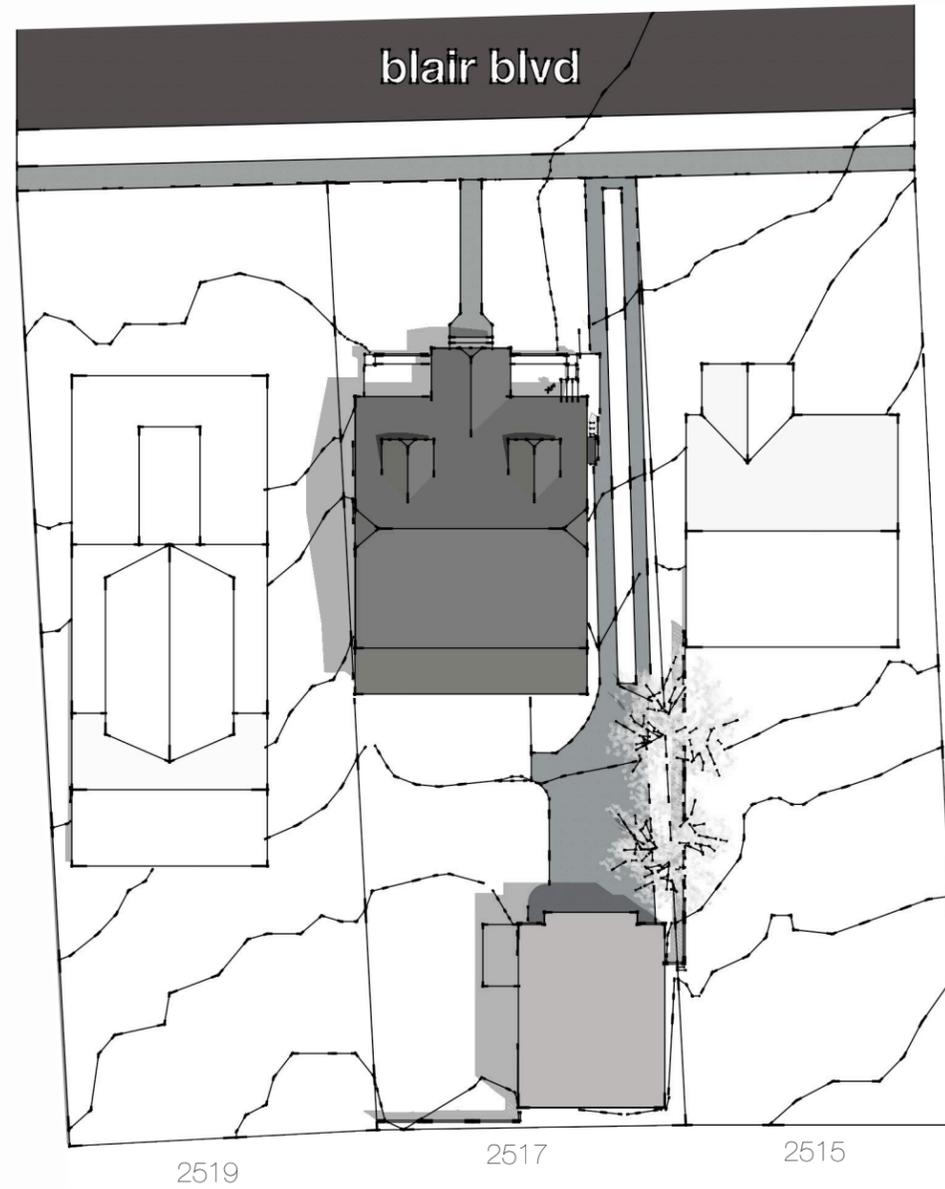
** The proposed addition to the existing outbuilding will create a two-story structure behind an existing one-and-half story historic house. As such, its ridge and eave heights are significantly taller than the historic house and do not meet the design guidelines. The ridge height of the house, from foundation line, is approximately twenty-two feet (22') and its eave height, from foundation line, is approximately ten feet (10'). The average eave height from grade is approximately twelve feet, six inches (12'6"). By contrast, the

proposed addition to the outbuilding will have a ridge height of twenty-four feet, nine inches (24'9") and an eave height of fifteen feet, ten inches (15'10"). The site does slope down from the front of the lot to the rear, but even taking the average eave of the house from grade, the eave height is taller on the outbuilding than on the historic house. Because the proposed eave and ridge heights of the outbuilding are taller than the eave and ridge heights of the historic house, staff finds that the outbuilding's height and scale do not meet Section II.B.1.h. of the design guidelines

	Lot is less than 10,000 square feet	50% of first floor area of principle structure	Proposed footprint
Maximum Square Footage	750 sq. ft.	883 sq. ft.	748 sq. ft.

Staff finds that the proposed footprint meets Section II.B.h.1 of the Hillsboro-West End Neighborhood Conservation Zoning Overlay design guidelines.

Recommendation Summary: Staff recommends disapproval of the addition to the outbuilding, finding that its height, scale, and setback do not meet Section II.B.h. of the Hillsboro – West End Neighborhood Conservation Zoning Overlay design guidelines

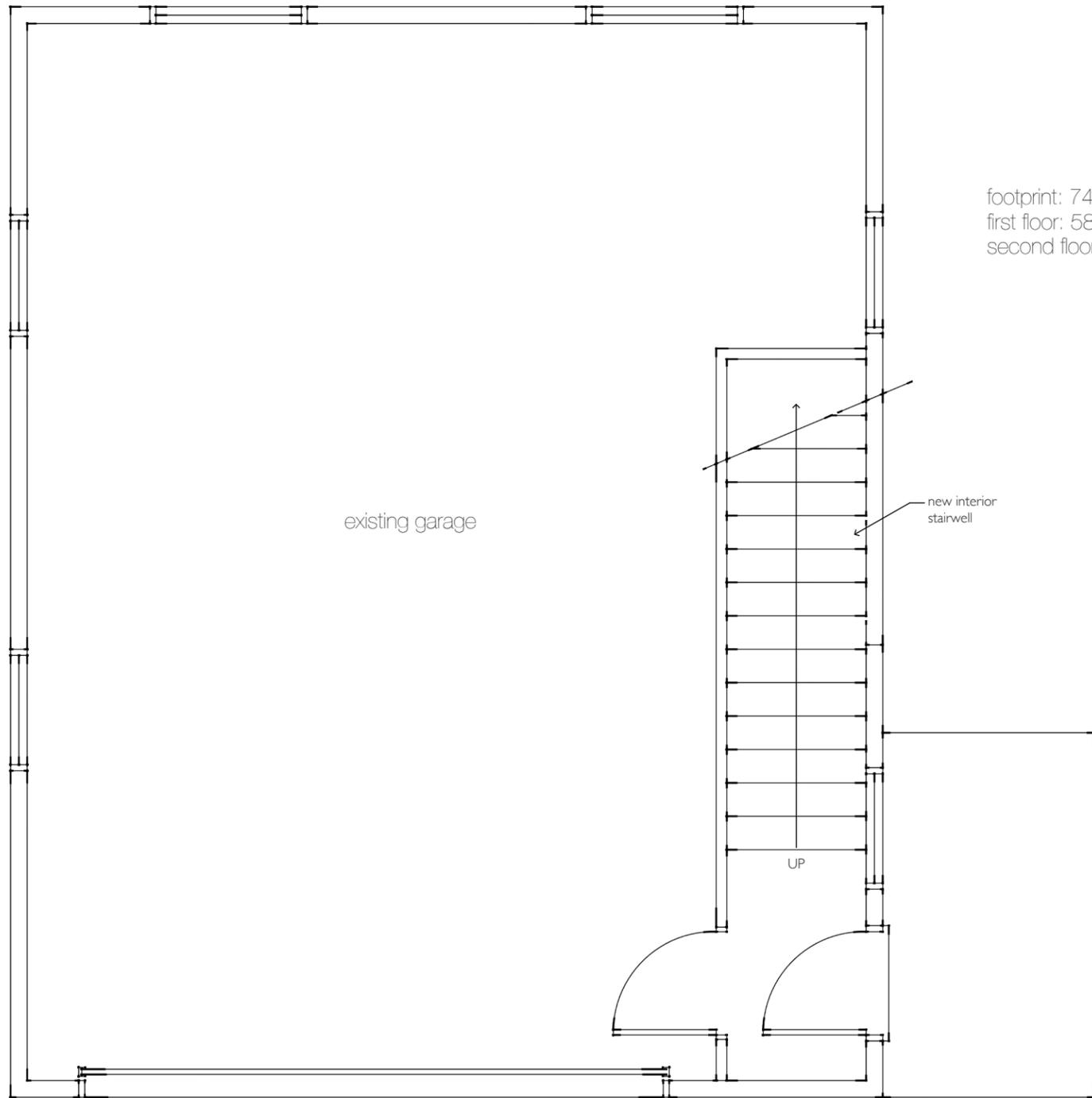


blair blvd

2519

2517

2515



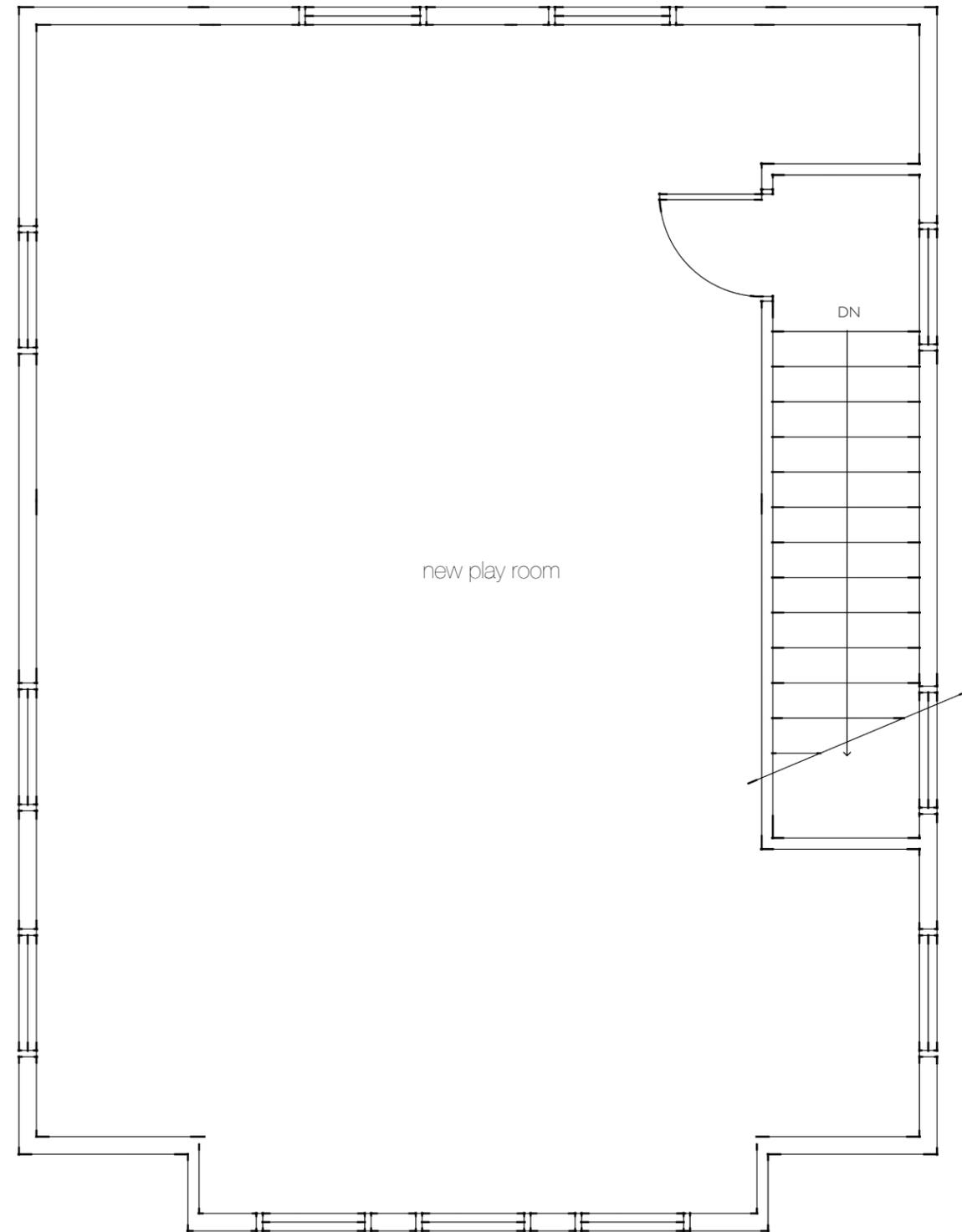
footprint: 748 sq ft.
 first floor: 587 sq ft.
 second floor: 624 sq ft.

existing garage

new interior stairwell

UP

first floor



new play room

DN

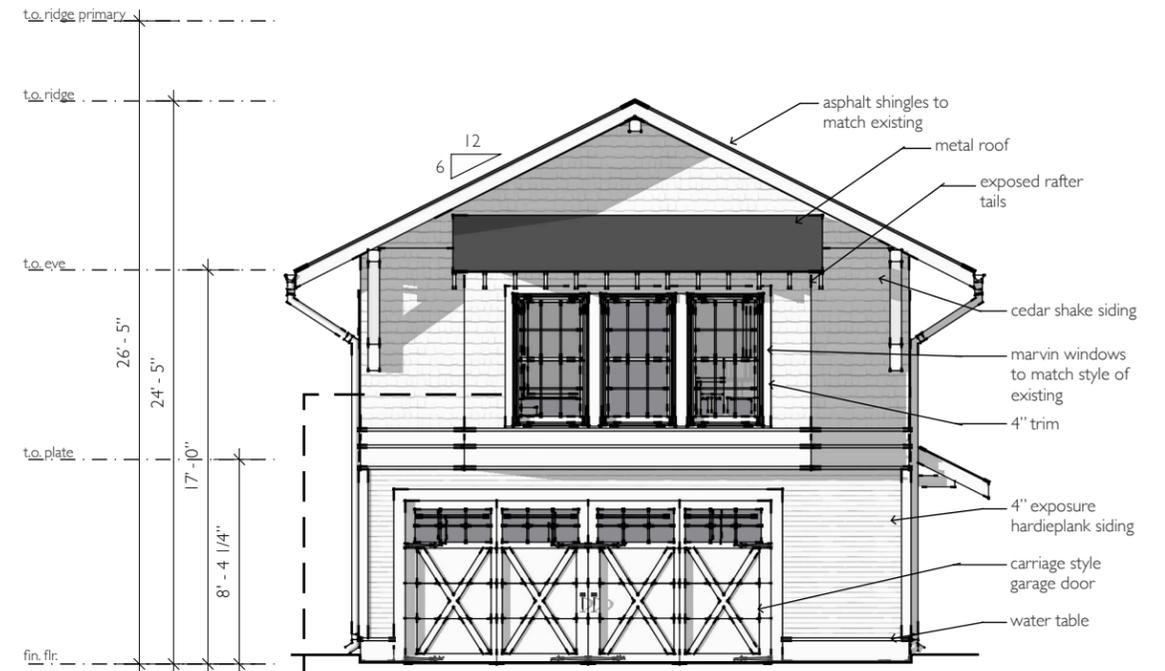
second floor



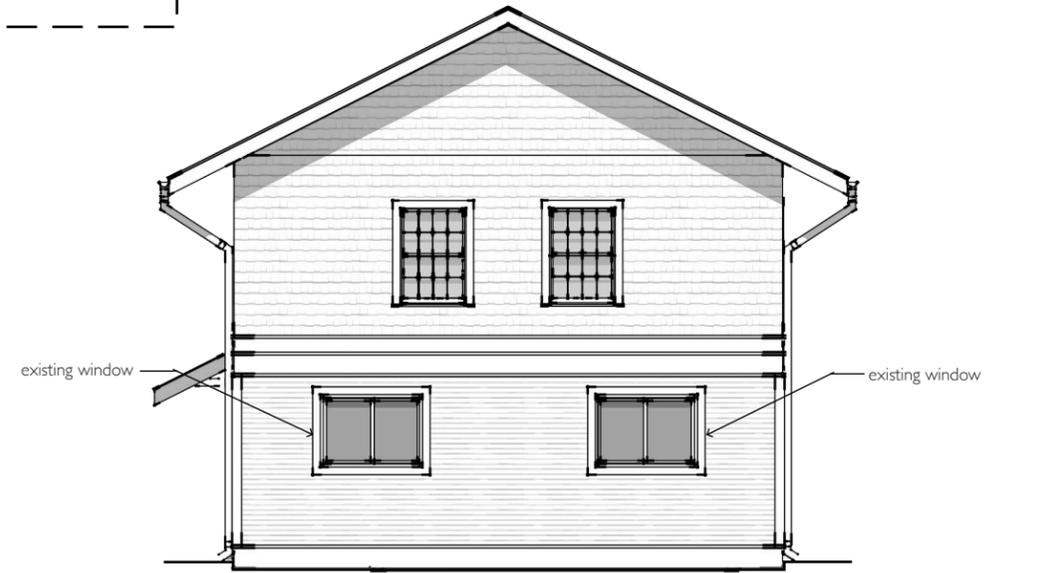
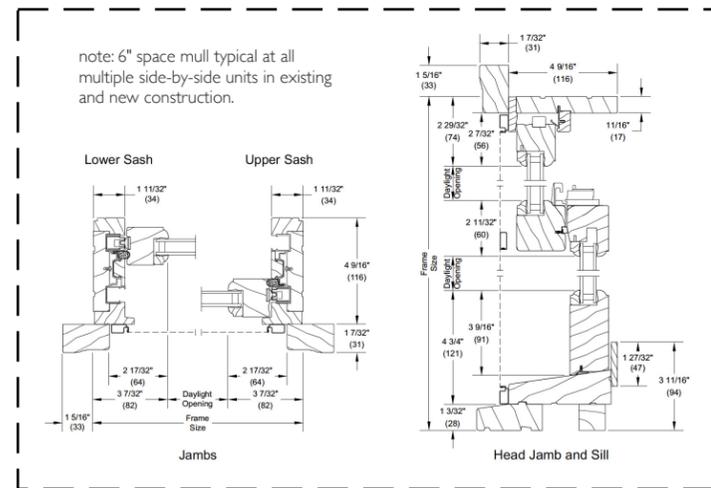
right elevation



left elevation



front elevation



rear elevation

existing condition

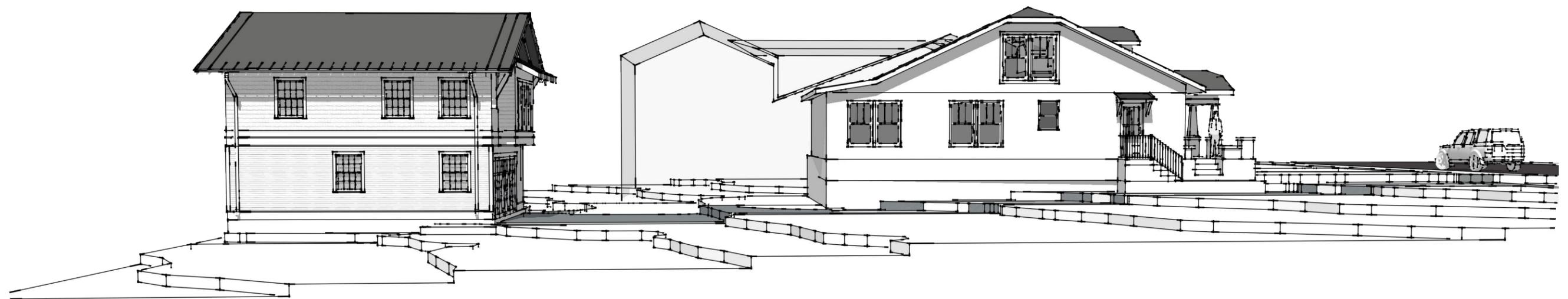


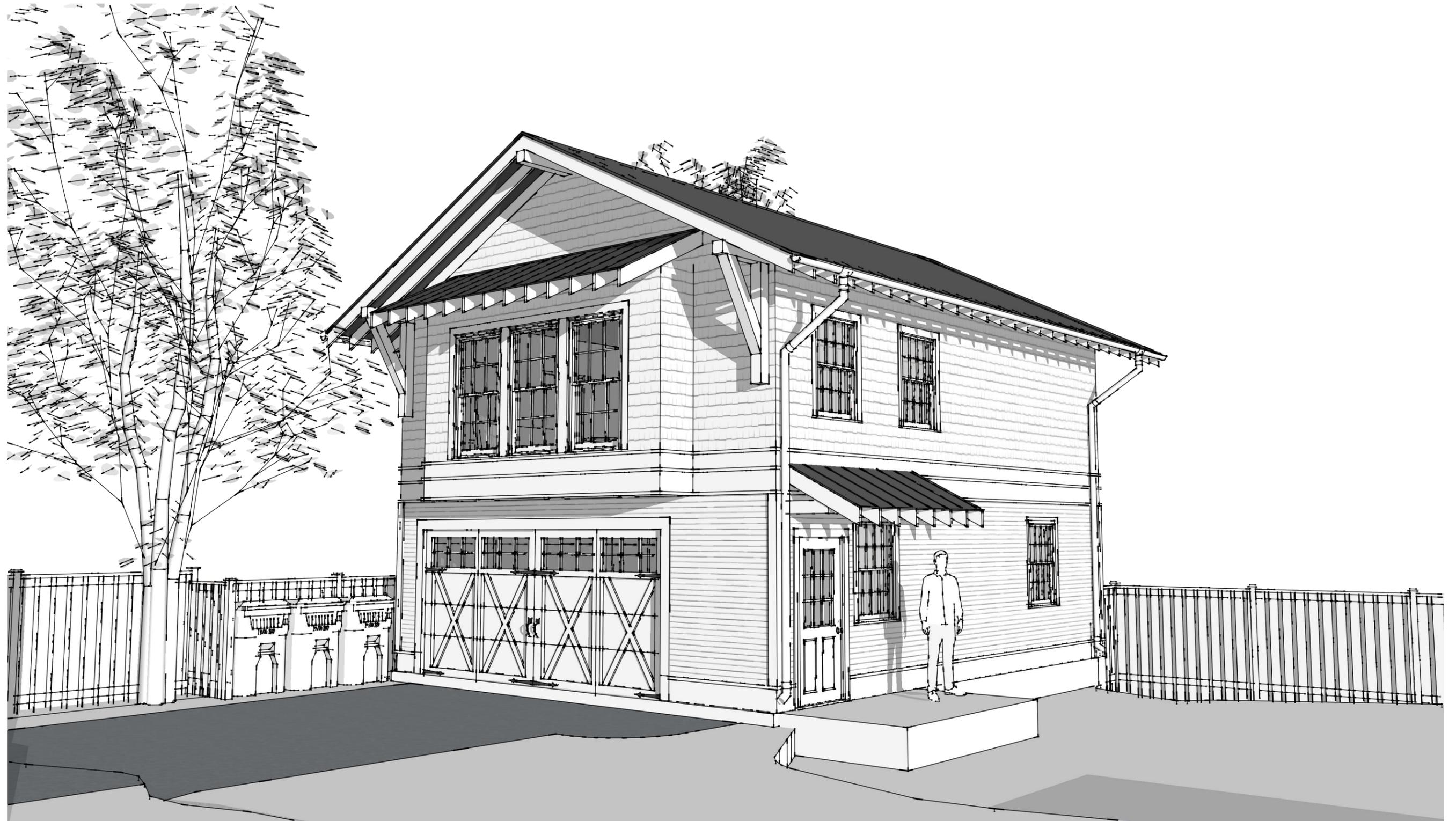
2515

2519



proposed





Metropolitan zoning code Title 17

17.12.04 zone: RS7.5
single family district with minimum lot
size of 7,500 square feet.

Neighborhood Conservation Zoning Overlay: Belmont - Hillsboro

II.B.C "On lots less than 10,000 square feet, the footprint of an outbuilding shall not exceed 750 square feet or fifty percent of the first floor area of the principal

II.B.C "the outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 17' for two-story outbuildings. The roof ridge height of the outbuilding must be less than the principal building and shall not exceed 25' feet in height."

II.B.C "the commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

appropriate setbacks will be determined based on:

the existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;

setbacks of like structures historically found on the site as determined by historic maps

shape of lot;
alley access or lack thereof;
proximity of adjoining structures;
and property lines.

appropriate height limitations will be based on:
heights of historic buildings in the immediate vicinity
existing slope and grade

the proposed outbuilding addition is in compliance with:

lot square footage: 7,760 sq ft

the proposed outbuilding addition is in compliance with:

primary structure footprint: 1767 square feet
existing outbuilding footprint: 718 square feet

the proposed outbuilding addition is in compliance with:

17' eave for 2 story outbuilding.

25' maximum height, and lower than the principle structure as required by the code.

the proposed outbuilding addition is in compliance with:

setbacks shown on sandborn map show like structures.

there is no alley access, therefore, a reduced rear setback is compliant.

the existing grade slopes to the rear of the lot, therefore, the visual height of the outbuilding is reduced.

the outbuilding is lower than historic buildings in the immediate vicinity

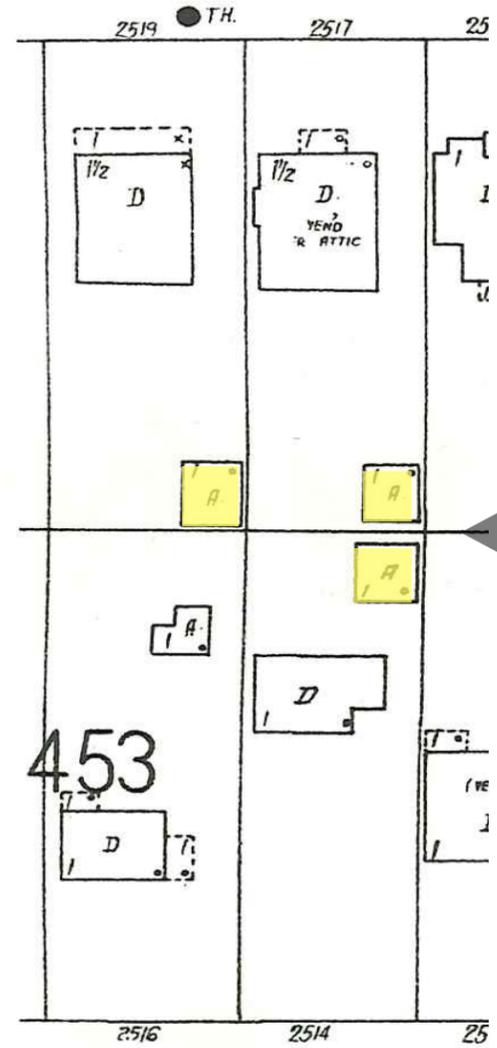
the finish floor of the outbuilding is below the finish floor of the house by 6'-6".



sandborn map / vicinity

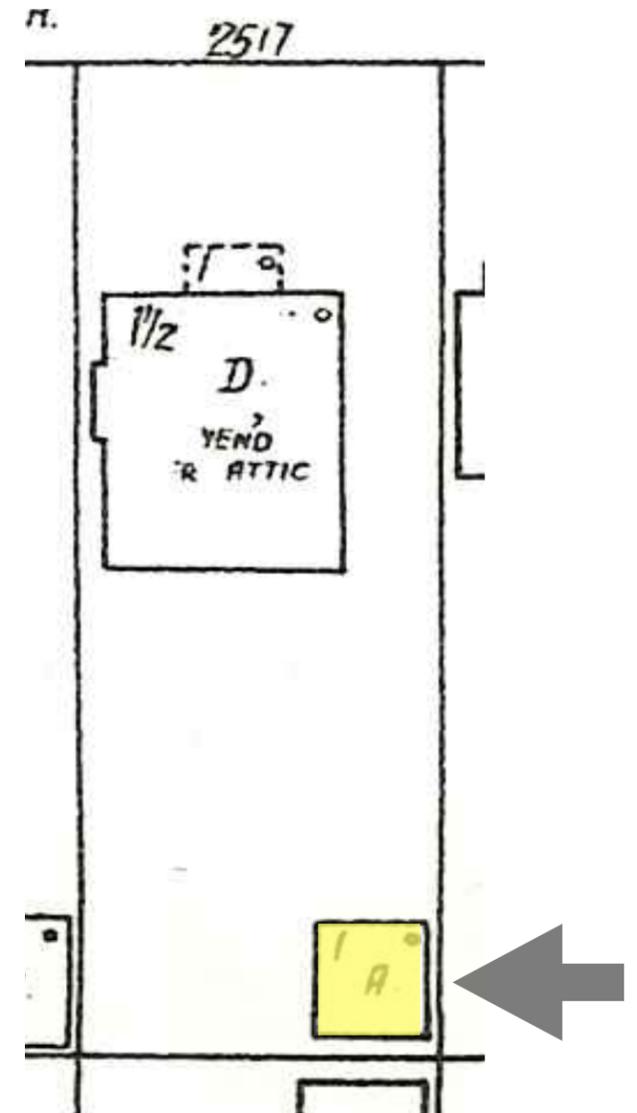
Neighborhood Conservation Zoning Overlay: Belmont - Hillsboro

II.B.C “generally new outbuildings should be placed in rear yards, close to the rear property line, or in the original location of a historic accessory structure.”



sandborn map / immediate vicinity

II.B.C “the appropriate location is one that matches the neighborhood or can be documented by historic maps.”



the proposed outbuilding addition exists in the original location of a historic accessory structure.

II.B.C “setback requirements didn’t exist when our historic districts developed so existing conditions sometimes require a little leeway in setbacks required by codes to help new construction fit in with the neighborhood.”