

DAVID BRILEY  
MAYOR



## METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

### STAFF RECOMMENDATION 1602 17<sup>th</sup> Avenue South May 16, 2018

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**Application:** New construction - outbuilding  
**District:** South Music Row Neighborhood Conservation Zoning Overlay  
**Council District:** 17  
**Map and Parcel Number:** 10408030200  
**Applicant:** Brittney Mount, Allard Ward Architects  
**Project Lead:** Melissa Sajid, [melissa.sajid@nashville.gov](mailto:melissa.sajid@nashville.gov)

**Description of Project:** Application is to construct a new structure in the rear yard. No changes to the historic building are proposed at this time.

**Recommendation Summary:** Staff recommends approval of the application with the following conditions:

1. Staff approve the final foundation, roof color, pedestrian and vehicular doors, and deck material selections prior to purchase and installation; and
2. The HVAC be located behind the house or on either side, beyond the mid-point of the house.

With these conditions, staff finds that the proposed addition and detached structure meet Sections II.B.1. of the *South Music Row Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

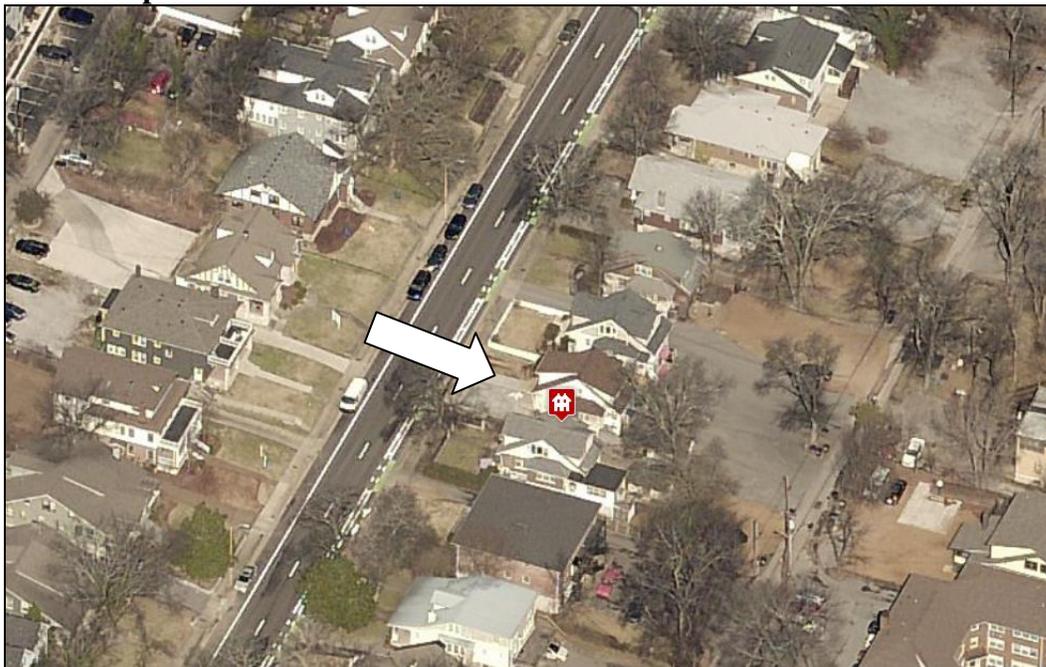
*The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.*

**Attachments**  
**A:** Photographs  
**B:** Site Plan  
**C:** Elevations

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **II.B.1 New Construction**

#### **B. GUIDELINES**

##### **a. Setback and Rhythm of Spacing**

The setbacks for new buildings from front and side property lines shall be compatible by not contrasting greatly with those of surrounding historic buildings.

*The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).*

*Appropriate setbacks will be determined based on:*

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

*Appropriate height limitations will be based on:*

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

*In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:*

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

##### **b. Height**

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

##### **c. Building Shape**

The shape of a new building shall be compatible by not contrasting greatly with those of surrounding historic buildings.

##### **d. Roof Shape**

The roof(s) of a new building shall be visually compatible by not contrasting greatly with the roof shape, orientation, and pitch of surrounding historic buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12*

*and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.*

#### **e. Orientation**

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

##### *Porches*

*New buildings should incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

##### *Parking areas and Driveways*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median.*

*Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

#### **f. Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.*

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

#### **g. Materials, Texture, Details, and Material Color**

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

*Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.*

#### **h. Outbuildings**

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

1) Outbuildings shall be situated on the lot as is historically typical for the neighborhood.

##### *Outbuildings: Height & Scale*

*· On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*

*· On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*

*· The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

##### *Outbuildings: Character, Materials and Details*

*· Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related.*

*Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*

*· DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

*Outbuildings: Roof*

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

*Outbuildings: Windows and Doors*

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

*Outbuildings: Siding and Trim*

- *Brick, weatherboard, and board-and-batten are typical siding materials.*
  - *Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*
  - *Four inch (4" nominal) corner-boards are required at the face of each exposed corner.*
  - *Stud wall lumber and embossed wood grain are prohibited.*
  - *Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.*

- 2) *The design of a new outbuilding shall be compatible by not contrasting greatly with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.*

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

*Setbacks & Site Requirements.*

- *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the*

street. If there is no context, the street setback should be a minimum of 10’.

*Driveway Access.*

- On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.
- On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

*Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

**i. Utilities**

*Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.*

*Generally, utility connections should be placed no closer to the street than the mid point of the structure.*

*Power lines should be placed underground if they are carried from the street and not from the rear or an alley.*

**j. Public Spaces**

*Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.*

*Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.*

**Background:** The historic building at 1602 17<sup>th</sup> Avenue South is a stone bungalow that was constructed c. 1925 and contributes to the historic context of the South Music Row Neighborhood Conservation Zoning Overlay (Figure 1).

**Analysis and Findings:** The applicant proposes to construct a detached building. The detached building is neither a garage nor a DADU. This property is zoned OR20, which permits office uses and residential uses up to twenty (20) dwelling units per acre. The Commission does not have the authority to approve the use or the number of units. This recommendation is for the design of the building based on the proposed use and zoning.



Figure 1: 1602 17<sup>th</sup> Ave S

**Outbuilding**

**Height, Scale:** The proposed footprint is approximately seven hundred and ninety square feet (790 sq. ft.), which is smaller than the footprint of the historic building. The two-story detached building is proposed to be wider than the historic structure but will not be

taller. The site slopes down from the street to the rear of the property so that the detached building incorporates basement-level garage while maintaining a ridge height that is two feet (2') below the ridge of historic building. The eave height at the front of the detached building will be approximately seventeen feet (17') above grade; however, it will measure twelve feet (12') from grade at the front of the house, which is similar to the eave height on the historic building. Although the design guidelines specify a ten foot (10') eave, in the past, the Commission has allowed for larger outbuildings because of the unique context of this district. In this case, the proposed eave height does not exceed the eave height of the existing historic building; therefore staff finds it to be appropriate.

In addition, the proposed structure will extend approximately four feet (4') wider than the historic building on the left side and approximately one foot, six inches (1'-6") wider on the right side. While the proposed detached structure is wider than the historic building, staff finds that the additional width could be appropriate since the detached structure is subordinate to the historic building with regard to height and footprint and given that the additional width is minimal and located approximately forty-eight feet (48') behind the front of the historic building. In addition, the South Music Row NCZO context is unique in that the properties in the overlay are characterized by adaptive reuse of residential structures as office buildings with rear yards dedicated to parking. In the past, the Commission has allowed for outbuildings that may be wider and taller than the design guidelines typically allow. For these reasons, staff finds that the project meets Section II.B.1.h.1.

Location, Setback: The detached building will be located towards the middle of the lot with vehicular access and parking from the alley. The structure is located forty-six feet (46') from the rear property line, and five feet (5') from both side property lines; the building meets all setbacks per the Zoning Code. The front wall of the detached building is located approximately ten feet, six inches (10'-6") from the rear wall of the principle structure, but the two structures will be connected by an uncovered deck that will only be accessible from the new building. Although in most residential districts an outbuilding should have at least twenty-feet (20') between it and the principal building and an appropriate location is towards the rear of the lot, this location is appropriate for South Music Row because rear yards are not used for residential use but rather parking areas, as described previously. No changes to the openings of the historic building are proposed. Staff finds the uncovered deck to be appropriate in this case given its location, removability, and the surrounding context. Staff therefore finds that the proposed structure meets Section II.B.1.h.2. of the design guidelines.

Design: The design of the detached building reflects the character of the historic house. The structure incorporates a side-gable as the primary roof form with a pitch that is similar to the historic house. The detached building mainly incorporates a traditional design with regard to the rhythm and proportion of openings but incorporates a modern interpretation for the window openings on the left side façade. Staff finds that the design is compatible with the historic house and that the project meets Section II.B.1.h.1.

**Materials, Roof Shape:** The roof will be side-gabled with a pitch that matches the historic house. The alley elevation includes a second story cantilevered bay, and shed dormers are featured on both the front and alley elevations. Both dormers set in two feet (2') from the wall below as required by the design guidelines.

	<b>Proposed</b>	<b>Color/Texture/Make/Manufacturer</b>	<b>Approved Previously or Typical of Neighborhood</b>	<b>Requires Additional Review</b>
<b>Foundation</b>	Not indicated	Needs final approval		X
<b>Cladding</b>	5" cementitious lap siding	Smooth	Yes	
<b>Secondary Cladding</b>	Cedar shake	Painted	Yes	
<b>Roofing</b>	Architectural Shingles	Color unknown	Yes	X
<b>Trim</b>	Paulownia wood	Smooth	Yes	X
<b>Deck</b>	Not indicated	Needs final approval		X
<b>Windows</b>	Not indicated	Needs final approval		X
<b>Doors</b>	Not indicated	Needs final approval		X
<b>Garage door</b>	Not indicated	Needs final approval		X

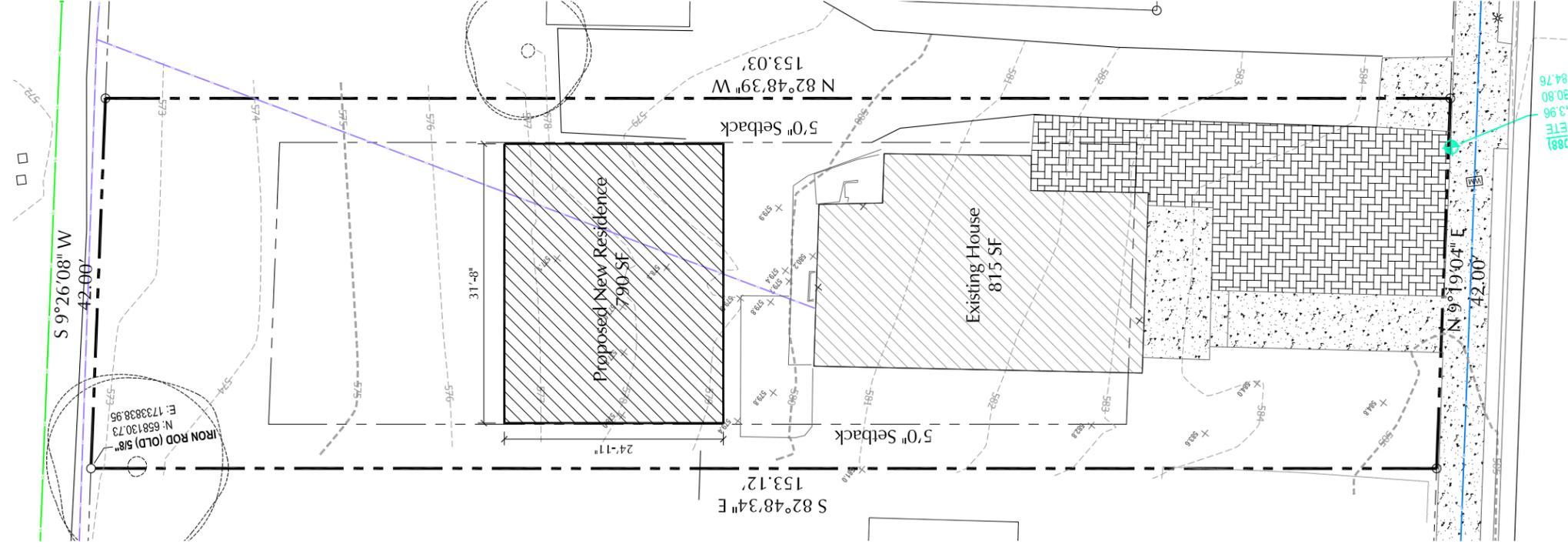
The materials for the foundation, roof color, windows, pedestrian and vehicular doors, and deck material are unknown. Staff recommends that staff approve the final foundation, roof color, pedestrian and vehicular doors, and deck material selections prior to purchase and installation. With this condition, staff finds that the proposed materials can be consistent with the design guidelines and appropriate for the context, staff finds that, the project meets Section II. B.1.h.1.

**Recommendation:** Staff recommends approval of the application with the following conditions:

1. Staff approve the final foundation, roof color, pedestrian and vehicular doors, and deck material selections prior to purchase and installation; and
2. The HVAC be located behind the house or on either side, beyond the mid-point of the house.

With these conditions, staff finds that the proposed addition and detached structure meet Sections II.B.1. of the *South Music Row Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

*The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.*



1

Site Plan



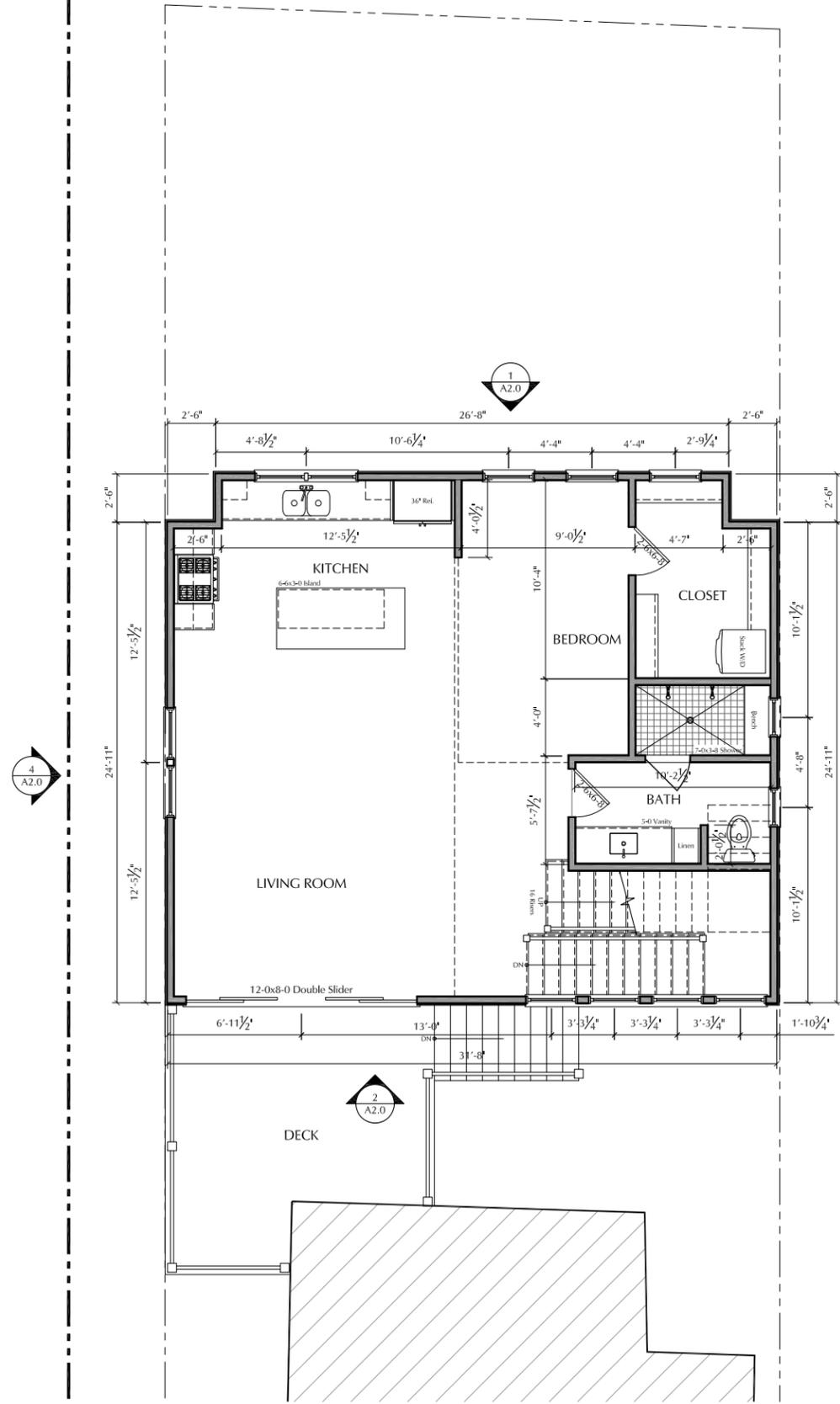
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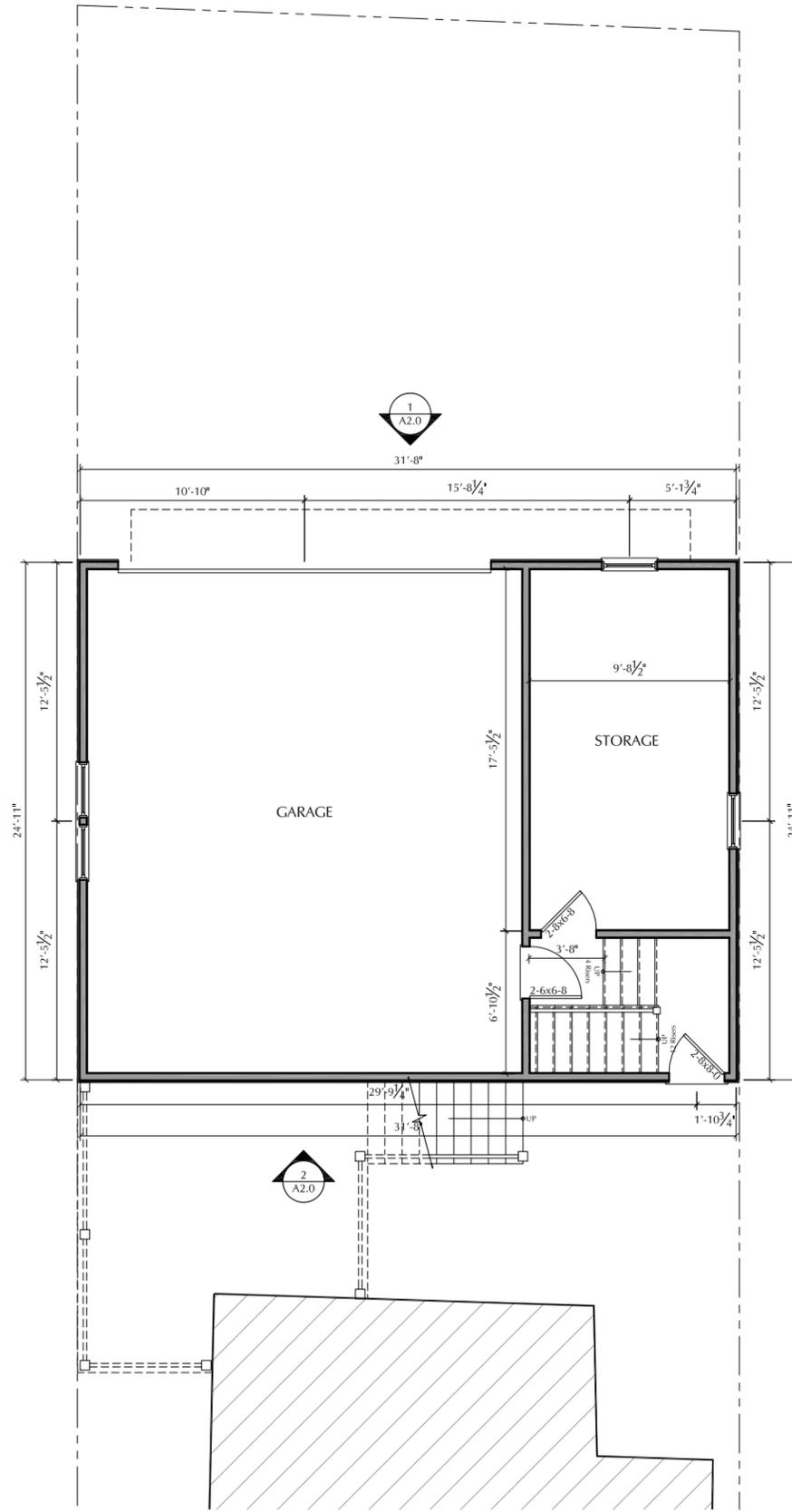
Drawings:  
Site Plan  
Date: 04.30.18

**ALLARD WARD**  
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1618 Sixteenth Avenue South  
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Tel: 615.345.1010  
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A Detached Residential Building for:  
**Suzanne Strickland**  
1602 17th Avenue South  
Nashville, Tennessee 37212



2 Second Floor Plan  
 Scale: 1/8"=1'-0"



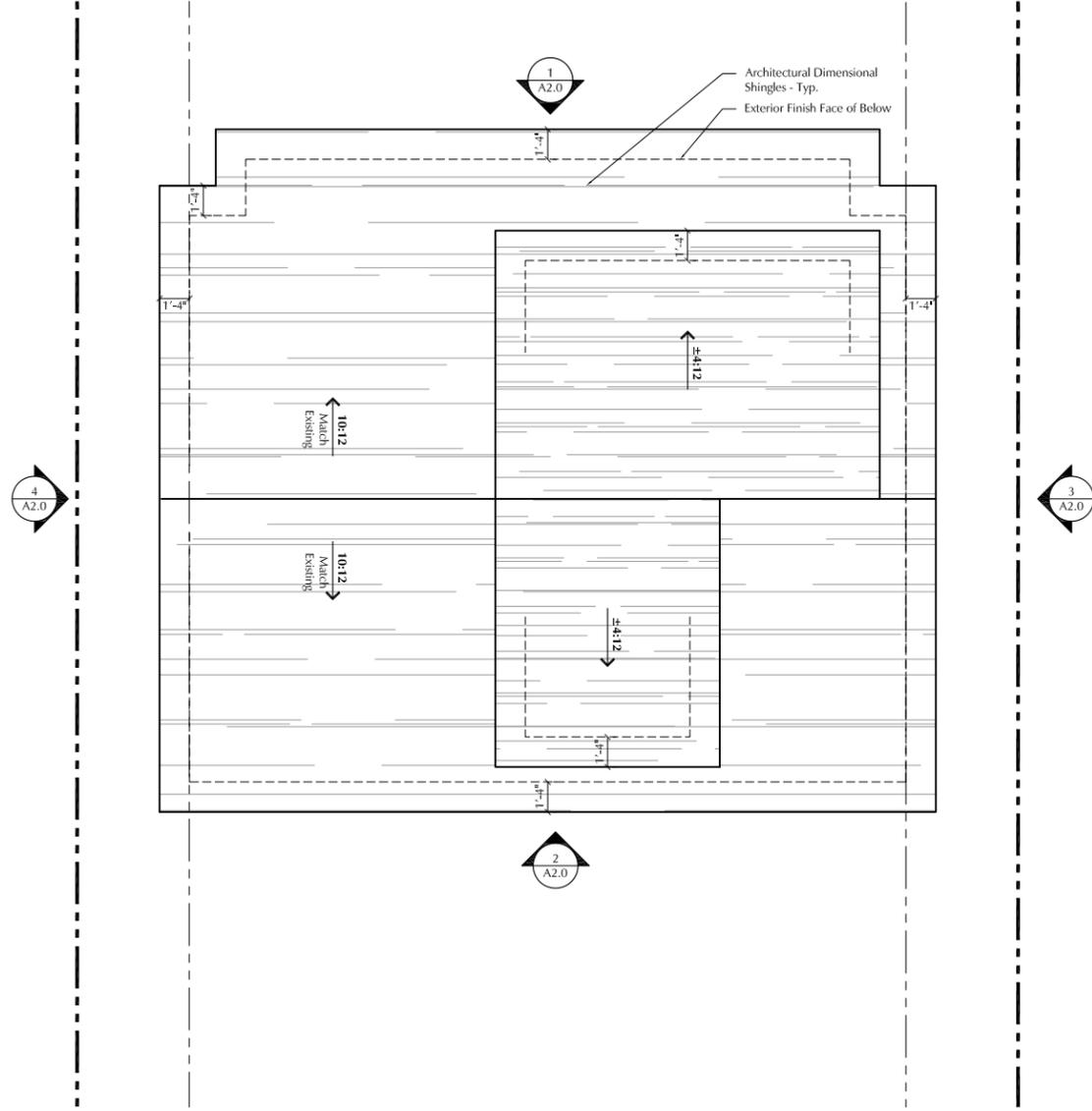
1 First Floor Plan  
 Scale: 1/8"=1'-0"

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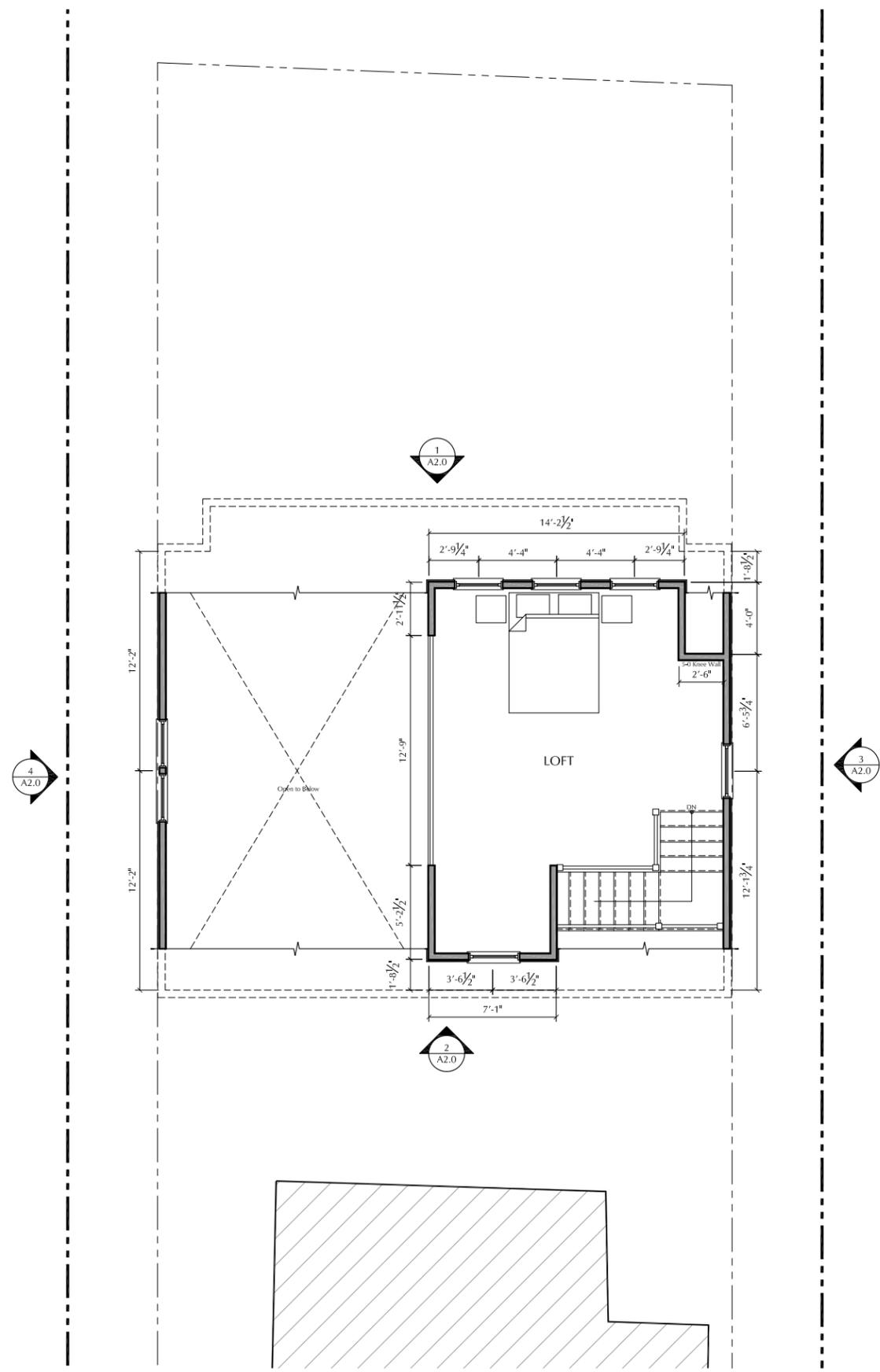
Drawings:  
 First Floor Plan  
 Second Floor Plan  
 Date:  
 04.30.18

**A1.0**

A Detached Residential Building for:  
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 1602 17th Avenue South  
 Nashville, Tennessee 37212




2
**Roof Plan**  
 Scale: 1/8"=1'-0"



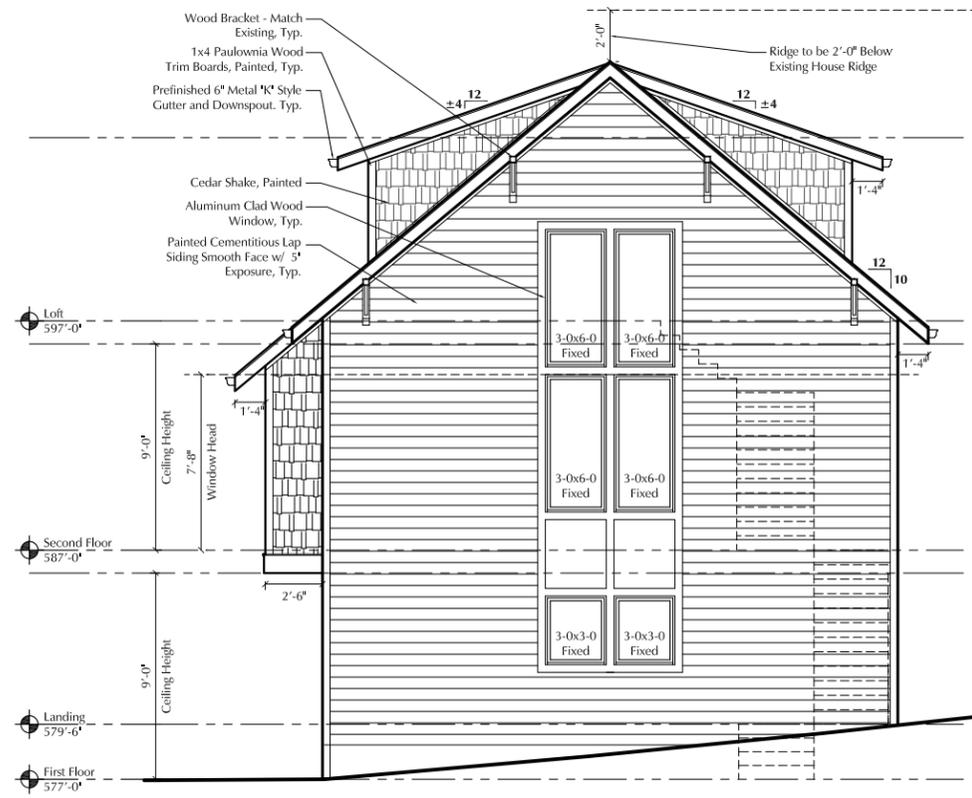

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**Third Floor Plan**  
 Scale: 1/8"=1'-0"

Drawings:  
 Third Floor Plan  
 Roof Plan  
 Date: 04.30.18

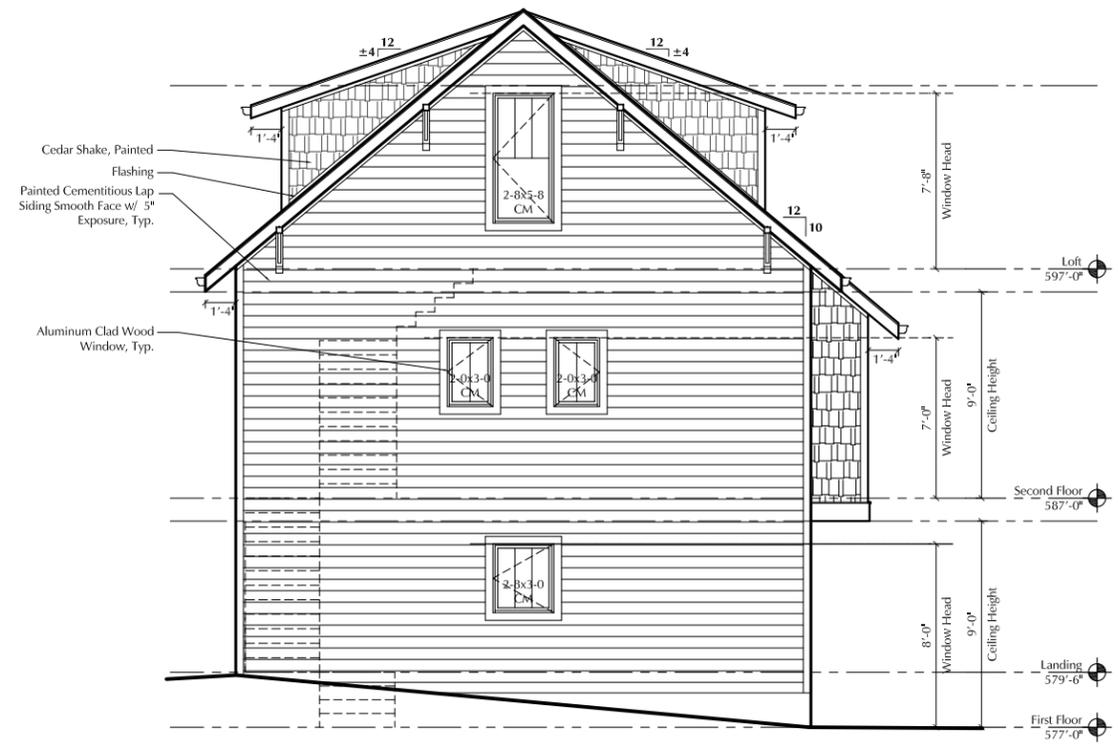
  
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A Detached Residential Building for:  
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A1.1



4 North Elevation  
 Scale: 1/8"=1'-0"



3 South Elevation  
 Scale: 1/8"=1'-0"



2 West Elevation  
 Scale: 1/8"=1'-0"



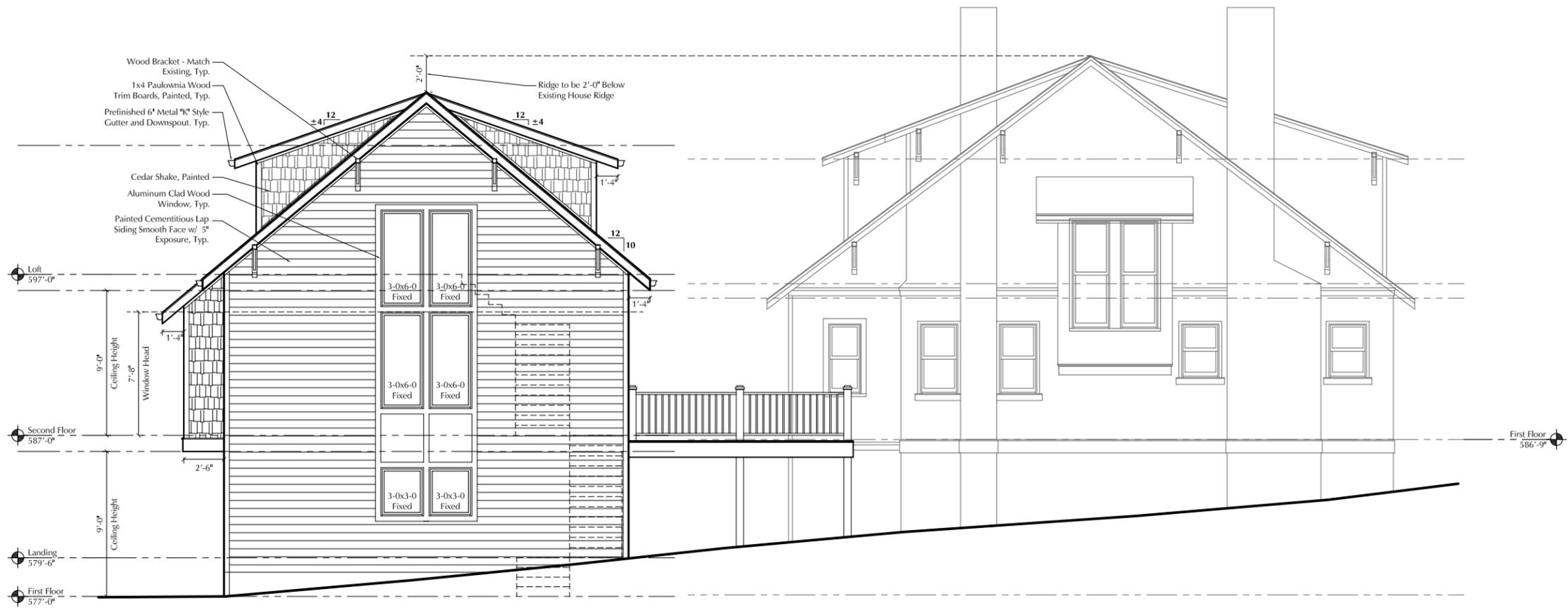
1 East Elevation  
 Scale: 1/8"=1'-0"

A Detached Residential Building for:  
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Drawings:  
 Exterior Elevations  
 Date:  
 04.30.18

**A2.0**



2 North Elevation  
 Scale: 1/8"=1'-0"  
 2' 1' 0" 2' 4' 6' 8' 12'



1 Front Elevation  
 Scale: 1/8"=1'-0"  
 2' 1' 0" 2' 4' 6' 8' 12'