

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
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STAFF RECOMMENDATION
2020 10th Avenue South
May 16, 2018

Application: New construction—infill; Setback determination
District: Waverly-Belmont Neighborhood Conservation Zoning Overlay
Council District: 17
Map and Parcel Number: 10509041200
Applicant: William Smallman
Project Lead: Melissa Sajid, melissa.sajid@nashville.gov

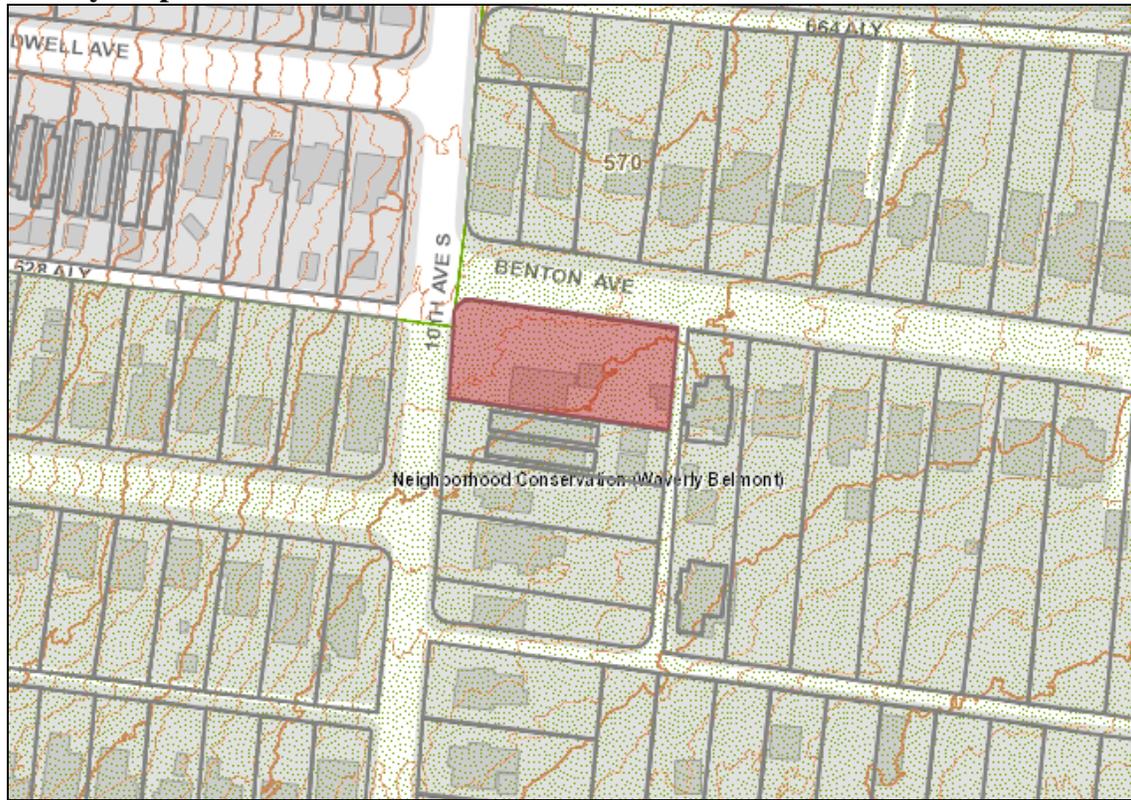
Description of Project: Application is to construct infill on a vacant lot. The request includes a setback determination to reduce the left side setback along Benton Avenue from ten feet (10') to approximately seven feet, eight inches (7'-8").

Recommendation Summary: Staff recommends disapproval of the infill and setback determination, finding that the project does not meet Sections III.A. (Height), III.B. (Scale), III.C. (Setback and Rhythm of Spacing), and III.G. (Proportion and Rhythm of Openings) of the Waverly Belmont Neighborhood Conservation Zoning Overlay design guidelines.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III. New Construction

A. Height

1. The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings. Where there is little historic context, existing construction may be used for context. Generally, a building should not exceed one and one-half stories.

B. Scale

1. The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

C. Setback and Rhythm of Spacing

1. The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.
2. The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. *17.40.410*).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;
- Shape of lot;
- Alley access or lack thereof;
- Proximity of adjoining structures; and
- Property lines.

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity
- Existing or planned slope and grade

3. In most cases, an infill duplex for property that is zoned for duplexes should be one building as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- There is not enough square footage to legally subdivide the lot but there is enough frontage and depth to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.

D. Materials, Texture, Details, and Material Color

1. The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings.
 - a. Inappropriate materials include vinyl and aluminum, T-1-11- type building panels, "permastone", and E.F.I.S. Stud wall lumber and embossed wood grain are prohibited.
 - b. Appropriate materials include: pre-cast stone for foundations, composite materials for trim and decking, cement fiberboard shingle, lap or panel siding.
 - Lap siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.
 - Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").
 - Four inch (4") nominal corner boards are required at the face of each exposed corner.
 - Stone or brick foundations should be of a compatible color and texture to historic foundations.
 - When different materials are used, it is most appropriate to have the change happen at floor lines.
 - Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.
 - Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate for chimneys.
 - Texture and tooling of mortar on new construction should be similar to historic examples.
 - Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.
2. Asphalt shingle and metal are appropriate roof materials for most buildings.

Generally, roofing should NOT have: strong simulated shadows in the granule colors which results in a rough, pitted appearance; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; or uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof or a dominant historic example.

E. Roof Shape

1. The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. Common roof forms in the neighborhood include side, front and cross gabled, hipped and pyramidal. Typically roof pitches are between 6/12 and 12/12. Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.
2. Small roof dormers are typical throughout the district. Wall dormers are only appropriate on the rear, as no examples are found historically in the neighborhood.

F. Orientation

1. The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
2. Primary entrances are an important component of most of the historic buildings in the neighborhood and include partial- or full-width porches attached to the main body of the house. Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.
3. Porches should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals. Front, side, wrap-around and cutaway porches are appropriate. Porches are not always necessary and entrances may also be defined by simple hoods or recessed entrances.

4. Generally, curb cuts should not be added. Where a new driveway is appropriate it should be two concrete strips with a central grassy median. Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot. In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.
5. For multi-unit developments, interior dwellings should be subordinate to those that front the street. Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street. For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.

G. Proportion and Rhythm of Openings

1. The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.
2. Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.
3. Double-hung windows should exhibit a height to width ratio of at least 2:1. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.
4. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.
5. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

I. Utilities

1. Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.
2. Generally, utility connections should be placed no closer to the street than the mid-point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

J. Public Spaces

1. Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

2. Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

Background: The subject property is located at the corner of Tenth Avenue South and Benton Avenue (Figure 1). The Metro Planning Commission approved a subdivision in April 2018 that created a new lot from the side yard adjacent to the historic house at 2020 Tenth Avenue South. The subdivision plat has not yet been recorded, and the new lot has not yet been addressed by Public Works. The historic house at 2020 Tenth Avenue South will not be demolished.

The subject property is approximately forty-six (46') wide, which is narrower than most lots in the immediate area. In addition, a ten foot (10') wide public utility and drainage easement runs along the left side property line, which is adjacent to Benton Avenue.



Figure 1. The subject property and the historic house at 2020 10th Avenue South

Analysis and Findings: Application is to construct infill on a vacant lot at the corner of Tenth Avenue South and Benton Avenue. The request includes a setback determination to reduce the left side setback along Benton Avenue from ten feet (10') to approximately seven feet, eight inches (7'-8").

Height & Scale: The proposed house is one-and-a-half stories, with a maximum height of thirty-one feet (31') from grade. To determine the historic context, staff typically looks to the block-face, but in this case, the houses on the opposite side of 10th Avenue South do not orient to that street. Therefore, staff looked at historic houses oriented to 10th Avenue South between Benton Avenue and South Douglas Avenue. Within that

area, there are three one-story historic houses and one historic house that is one and a half stories. The height range of these historic homes is twenty-one feet to twenty-eight feet (21' – 28'). The historic house next door to the infill is single-story with an overall height of approximately twenty-one feet (21'), which is ten feet (10') shorter than the proposed infill.

As proposed, the infill would be between three feet (3') and ten feet (10') taller than the historic homes in the immediate area. Furthermore, the narrowness of the lot and location at the corner will exacerbate the height and scale of the infill. A new building that is both narrower and taller than the historic context will not meet the historic context.

The house will be thirty-two feet (32') wide on a lot that is approximately forty-six feet (46') wide. The width range of historic homes in the immediate area is thirty to thirty-four feet (30' – 34') on lots that are fifty to sixty-eight feet (50' – 68') wide. While the proposed building width falls into this range, staff finds the proposed building width to be inappropriate given the narrowness of the lot. In addition, the building width as proposed would require that the structure encroach into the public utility and drainage easement along the Benton Avenue property line. Water Services has indicated that no structure may be built within the easement.

The house will be approximately seventy feet (70') deep, which includes a six foot, eight inch (6' 8") deep front porch. The footprint of the infill will be approximately two thousand, one hundred and eighty-two square feet (2,182 sq. ft.). Staff finds that while the depth and footprint could be appropriate for infill, the overall height and scale of the infill are too much for the historic context and the lot.

Based on the historic context, a compatible infill would likely have a maximum width of approximately twenty-eight feet (28'), and the overall height should be similar to the historic house next door at 2020 10th Avenue South. This may be a case where a single-story infill may be more appropriate than a one and one-half story infill. Staff finds that the overall height and scale of the proposed infill exceed that of the historic context and that the narrowness of the lot and location at the corner will likely magnify the scale of the infill. For these reasons, staff finds that the proposed infill does not meet Sections III.A and B. of the design guidelines.

Setback & Rhythm of Spacing: The proposed infill meets all base zoning setbacks except for the left side setback, which should be at least ten feet (10') to meet bulk zoning standards and to not encroach in the public utility and drainage easement. The infill will be situated fifty-three feet (53') from the front property line, which is similar to front setback of the historic house next door at 2020 10th Avenue South. The right side setback will be five feet (5'), and the rear setback will be seventy-five feet (75').

The applicant has requested a left side setback determination to reduce the setback along Benton Avenue from ten feet (10') to approximately seven feet, eight inches (7'-8"). Staff finds the reduced left side setback to be inappropriate for several reasons. At approximately forty-six feet (46') wide, the lot is already narrower than other lots with

historic homes along 10th Avenue South. The narrowness of the lot creates a challenge to maintain a rhythm and spacing that is consistent with historic buildings along 10th Avenue South. Staff has advised the applicant that a narrower house would be more appropriate for this narrow lot and that the building width should be reduced so that the infill meets both side setbacks. Furthermore, a ten foot (10') wide public utility and drainage easement exists along the Benton Avenue frontage, and any reduction of the setback along this frontage would result in the infill encroaching into the easement. Water Services has indicated that no structure can be built within the easement.

Staff finds that the requested left side setback determination to be inappropriate and further finds that the infill's setback and rhythm of spacing do not meet Section III.C. of the design guidelines.

Materials:

	Proposed	Color/Texture/ Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Split face CMU	Natural	Yes	No
Cladding	Hardie siding, 7" reveal	Finish not indicated	No	Yes
Secondary Cladding	Hardie siding, 5" reveal	Finish not indicated	Yes	Yes
Secondary Cladding	Hardie board and batten		Yes	No
Roof	Asphalt shingles	Not indicated	Yes	Yes
Trim	Hardie trim	Finish not indicated	Yes	Yes
Front Porch floor/steps	Not indicated	Needs final review		Yes
Front Porch Posts	Not indicated	Needs final review		Yes
Front Porch Post Base	Brick	Not indicated	Yes	Yes
Front Porch railings	Not indicated	Needs final review		
Windows	Not indicated	Needs final review		Yes
Principle Entrance	2/3 Light with side lights	Needs final review	Yes	Yes
Rear door	Screen door	Not indicated	Yes	Yes
Driveway	Not indicated	Needs final		Yes

		review		
Walkway	Not indicated	Needs final review		Yes

The design guidelines require that the Hardie siding have a maximum reveal of five inches (5”) and that the siding and trim both have a smooth finish. The applicant has agreed to this. In order for the materials to meet Section III.D. of the design guidelines, staff would need to approve a brick sample, the roof color, all windows and doors, the porch floor/steps, the porch railings, the front porch posts and bases, and the walkway and driveway materials.

Roof form: The primary roof form is a side gable with a large dual gabled dormer on the front façade. The side gable will have a slope of 8/12, and the dormers on the front gable will have slopes of 10/12. The rear of the infill includes a shed dormer with a pitch of 5/12 and a single-story wing with a rear facing gable that has a pitch of 8/12. Staff finds that the proposed roof form could meet Section III.E. of the design guidelines.

Orientation: The house is oriented towards 10th Avenue South, which is appropriate. The entrance faces the street and is located behind a six foot, eight inch (6’-8”) deep front porch. Vehicular access to the site will be via a rear alley, which is appropriate. Staff recommends that a front walkway, leading from the front porch to the sidewalk, be included on the site plan. Staff finds that the infill’s orientation meets Section III.F. of the design guidelines.

Proportion and Rhythm of Openings: Not all of the windows on the infill are generally twice as tall as they are wide, thereby meeting the historic proportions of openings. The side façades include a number of horizontal windows that will likely be visible. There is also a twenty-six foot (26’) expanse of wall space on the first-level of the right side façade that does not include a window or door opening. The design guidelines state that “in most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet”. The applicant has indicated that he is willing to work with staff so that the project meets the design guidelines for the rhythm and proportion of openings; however, staff’s concerns about the height and scale of the infill would cannot be addressed via conditions of approval as a redesign of the project would be needed. Therefore, staff finds the project’s proportion and rhythm of openings does not meet Section III.G. of the design guidelines.

Appurtenances & Utilities: The location of the HVAC and other utilities was also not noted. An appropriate location for the HVAC is on the rear façade, or on a side façade beyond the midpoint of the house.

Recommendation Summary: Staff recommends disapproval of the infill and setback determination, finding that the project does not meet Sections III.A. (Height), III.B. (Scale), III.C. (Setback and Rhythm of Spacing), and III.G. (Proportion and Rhythm of Openings) of the Waverly Belmont Neighborhood Conservation Zoning Overlay design guidelines.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

Context Photos:



2020 10th Avenue South (contributing) – located next door, to the right of subject property



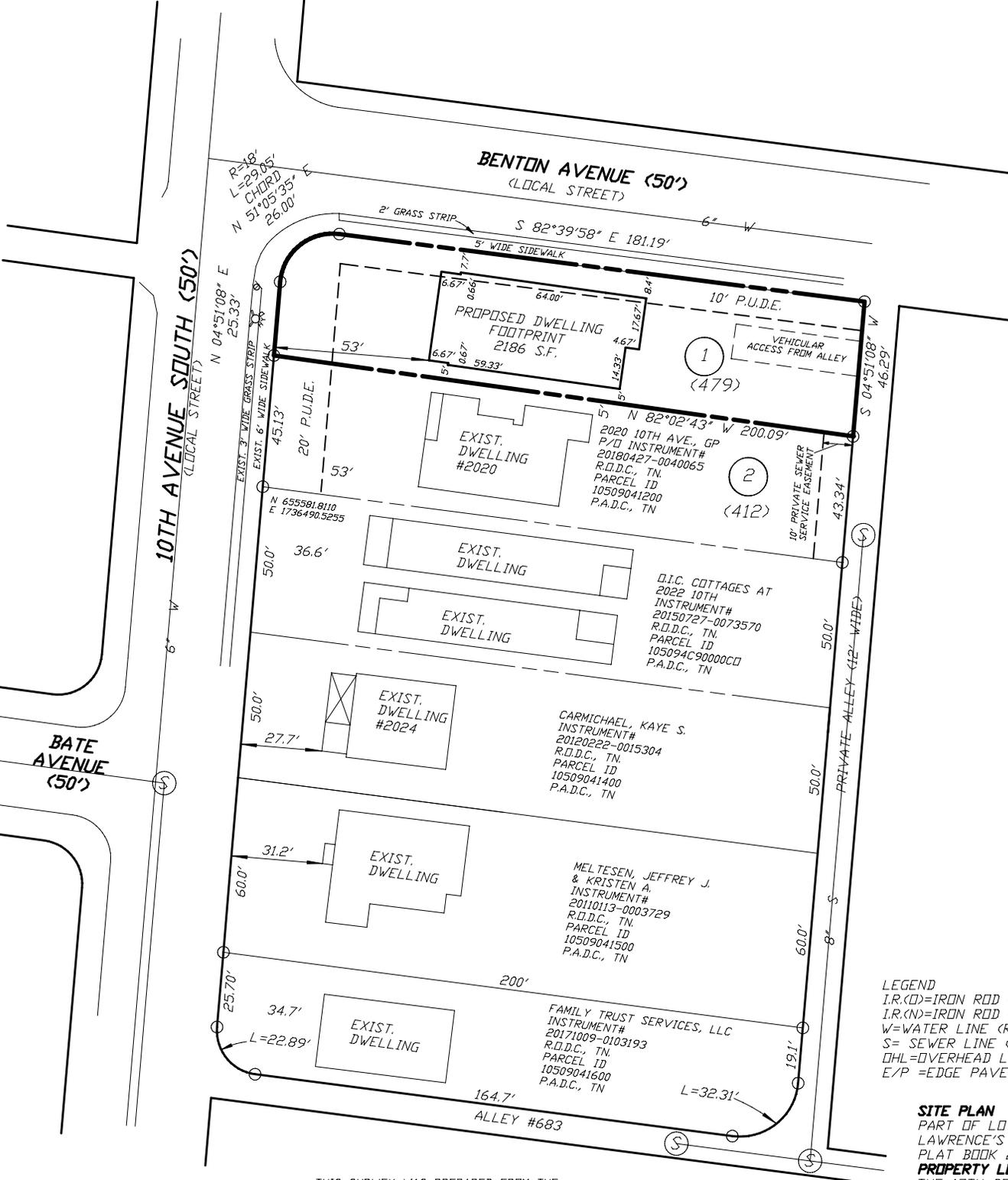
2024 10th Avenue South (contributing) – located three houses down, to the right of subject property



2030 10th Avenue South (contributing) – located mid-block to the right of subject property



2032 10th Avenue South (contributing) – located mid-block to the right of the subject property



LEGEND
 I.R.(D)=IRON ROD (OLD)
 I.R.(N)=IRON ROD (NEW)
 W=WATER LINE (RECORD)
 S=SEWER LINE (RECORD)
 DHL=OVERHEAD LINES
 E/P =EDGE PAVEMENT

SITE PLAN
 PART OF LOT 12 OF W.L.B. LAWRENCE'S PLAN OF LOTS. PLAT BOOK 21, PAGE 148
PROPERTY LOCATED IN
 THE 17TH COUNCIL DISTRICT OF NASHVILLE, DAVIDSON COUNTY TENNESSEE ON THE EASTERLY MARGIN OF 10TH AVENUE SOUTH, SOUTH OF BENTON AVENUE.
PROPERTY ADDRESS:
 2018 10TH AVENUE SOUTH NASHVILLE, TENNESSEE 37204
DEED REFERENCE:
 P/D INSTRUMENT# 20180427-0040065
 R.D.D.C., TN
PARCEL ID:
 10509047900
 P.A.D.C., TN
DATE: 2-2-2018
SCALE: 1" = 50'
PREPARED FOR:
 2020 10TH AVE., GP

ACCORDING TO METRO GIS MAPS PROPERTY IS ZONED R8 SETBACKS FOR R8 ZONING TAKEN FROM DISTRICT BULK TABLES TITLE 17 "ZONING" CHAPTER 17.12

FRONT = STREET AVERAGE SIDES = 5'
 REAR = 20'
 VERIFY SETBACKS WITH CODES BEFORE DESIGN OR CONSTRUCTION DECISIONS ARE MADE.

BY GRAPHIC SCALING FROM THE LATEST F.E.M.A. / FLOOD INSURANCE RATE MAP THIS PROPERTY IS NOT LOCATED IN A F.E.M.A. / F.I.R.M. SPECIAL FLOOD HAZARD AREA PROPERTY IS LOCATED IN ZONE "X" UNSHADED MAP 47037C PANEL 0249 "H" EFFECTIVE DATE = 4-5-2017

THIS SURVEY WAS PREPARED FROM THE LATEST RECORDED DEED DESCRIPTION. THIS SURVEY IS SUBJECT TO THE FINDINGS OF A CURRENT TITLE EXAMINATION. NO TITLE REPORT WAS PROVIDED TO SURVEYOR

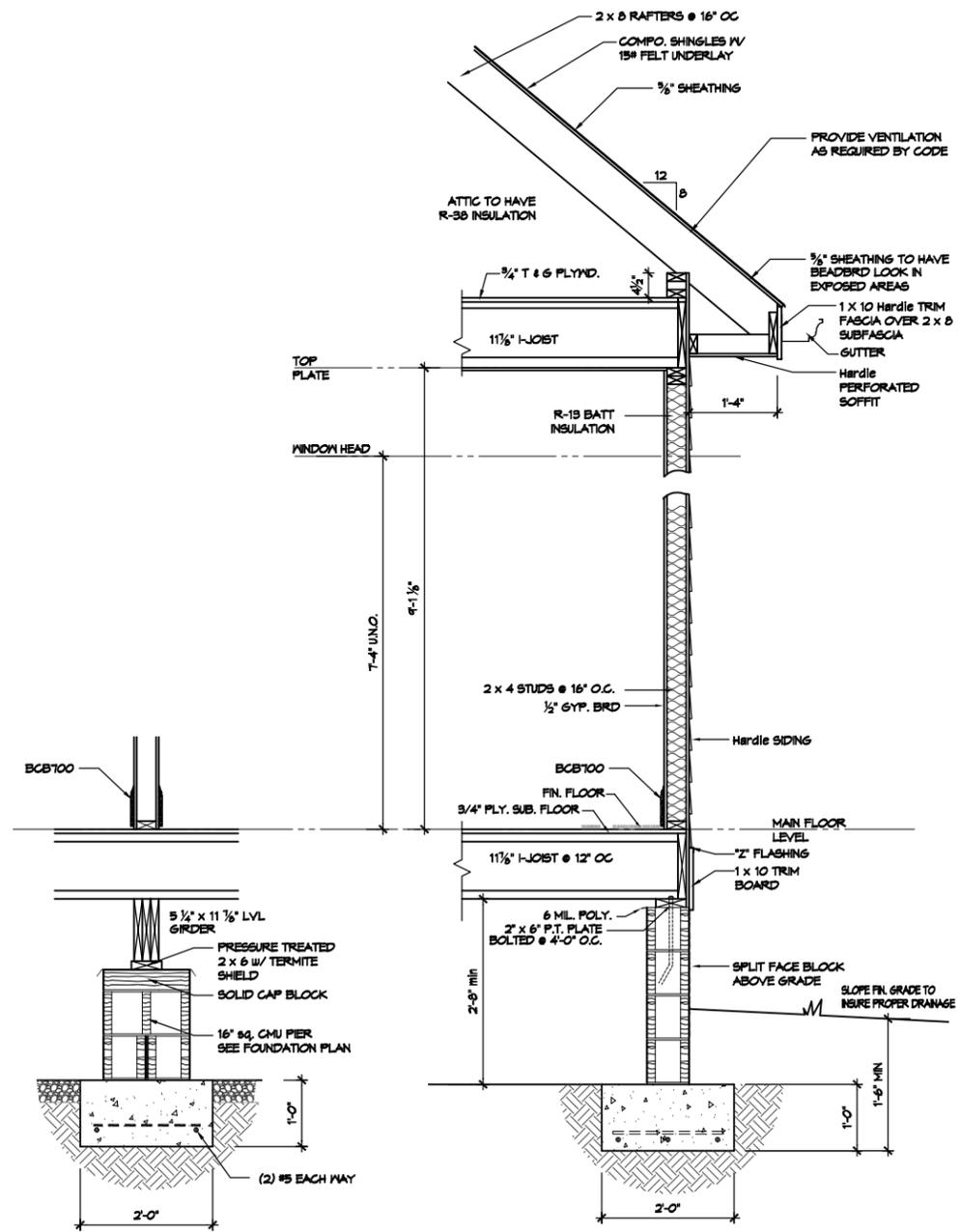
UTILITIES SHOWN WERE TAKEN FROM PUBLIC AS-BUILT RECORDS & FIELD LOCATION. THERE MAY BE UTILITIES OR EASEMENTS PRESENT THAT ARE NOT SHOWN ON THIS EXHIBIT. CONTACT THE TENNESSEE ONE CALL SYSTEM PRIOR TO ANY CONSTRUCTION OR DIGGING.

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY WITH THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY BEING 1: 18,000. THIS SURVEY WAS DONE IN COMPLIANCE WITH THE CURRENT STANDARDS OF PRACTICE ADOPTED BY THE TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS.

PREPARED BY:
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JOHN ALAN HOOD
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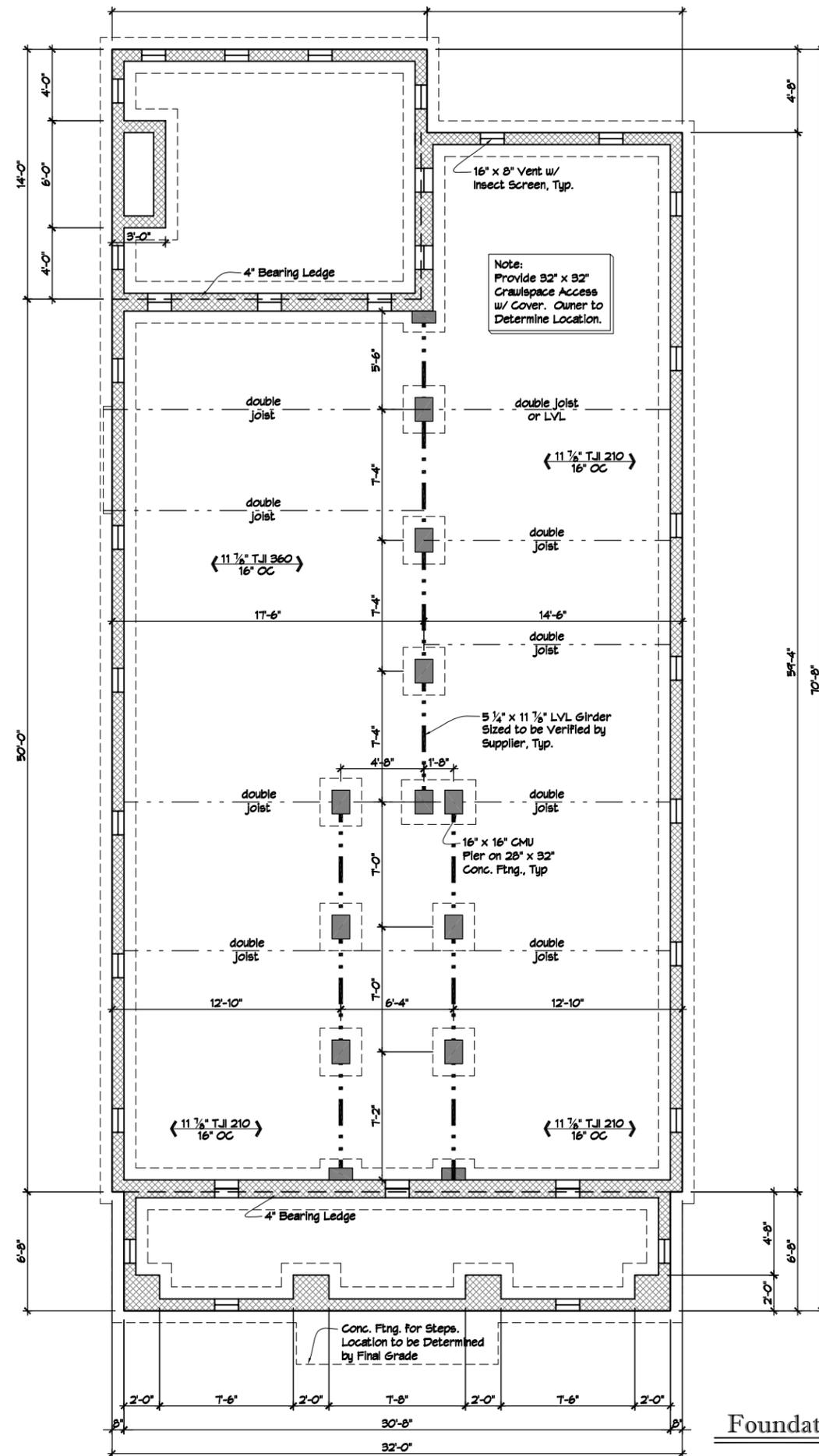


Pier Detail

3/4" = 1'-0"

Wall Section

3/4" = 1'-0"

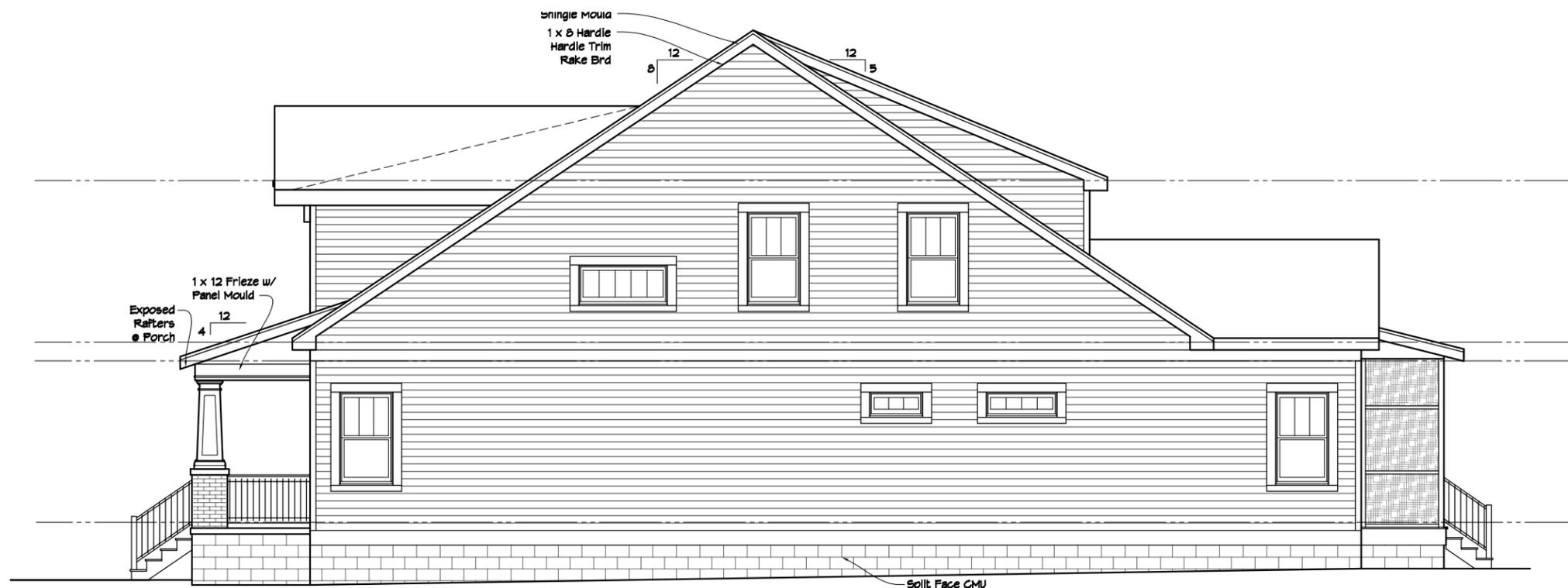


Foundation Plan

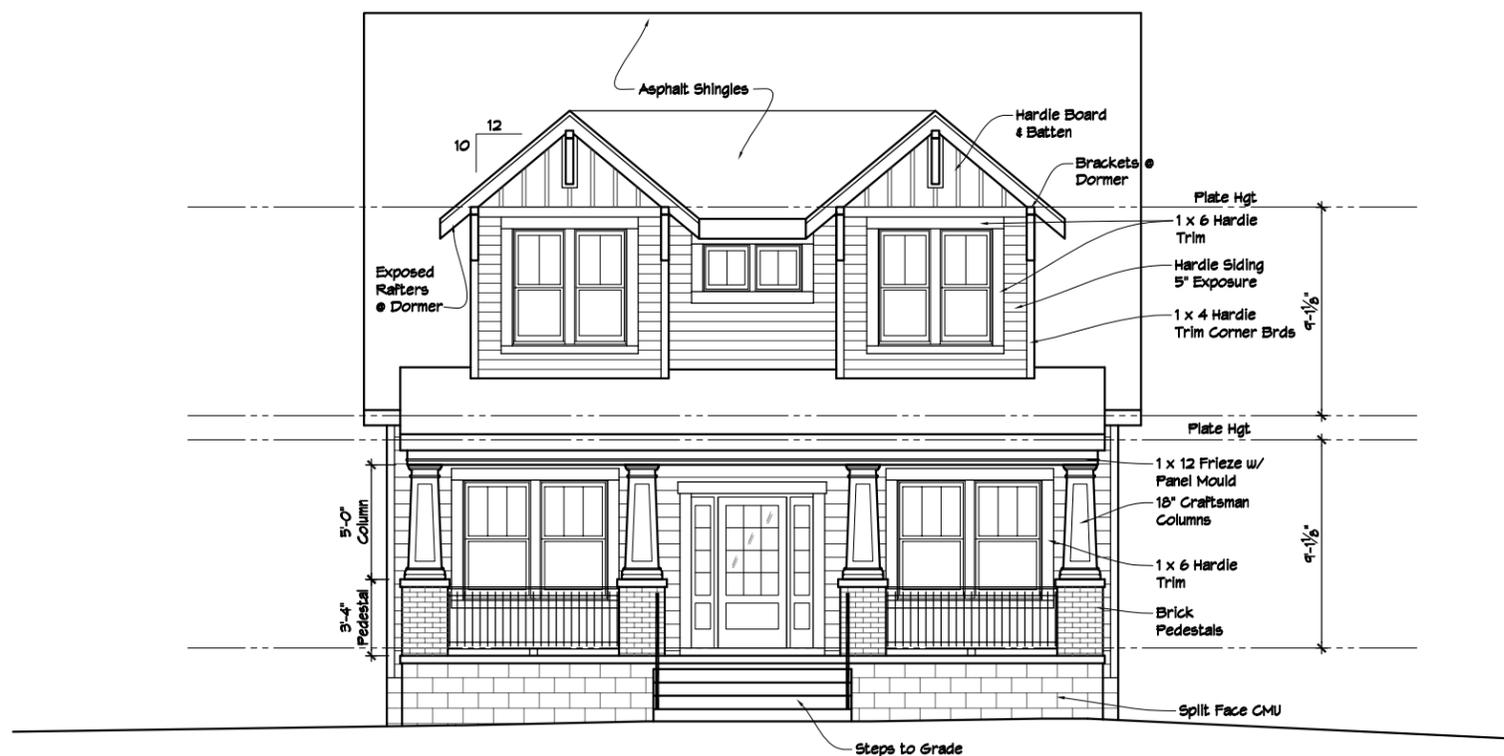
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Magness Development
 2020 10th Ave South
 Nashville, Tennessee

revisions
drawn by D.O
project number
date May 1, 2018
scale 3/16" = 1'-0"
sheet title Floor Plans



Right Side Elevation



Front Elevation



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Magness Development
2020 10th Ave South
Nashville, Tennessee

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D_O

project number

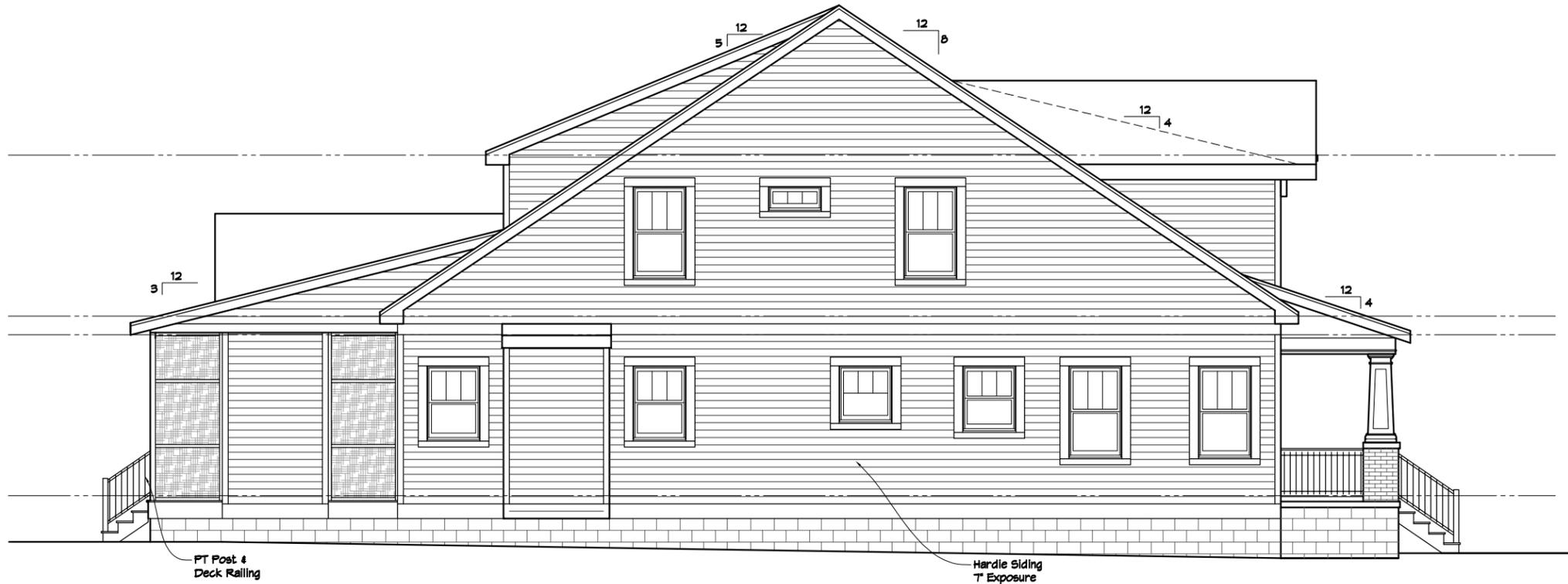
date
May 1, 2018

scale
1/4" = 1'-0"

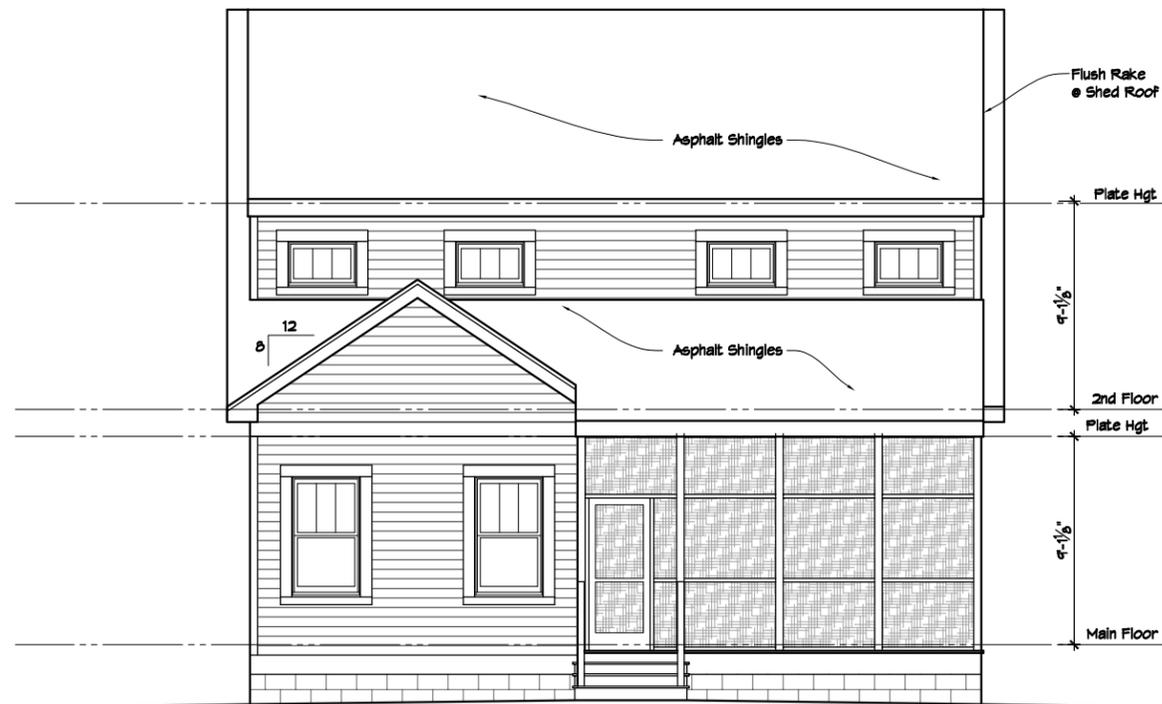
sheet title
Elevations

sheet

A2.1



Left Side Elevation



Rear Elevation



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2020 10th Ave South
Nashville, Tennessee

revisions

drawn by
D_O

project number

date
May 1, 2018

scale
1/4" = 1'-0"

sheet title
Elevations

sheet

A2.2