

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

2406 Barton Avenue

May 16, 2018

Application: New construction – addition

District: Hillsboro-West End Neighborhood Conservation Zoning Overlay

Council District: 18

Map and Parcel Number: 10411017400

Applicant: Brian Layton, Developer

Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant is requesting approval after-the-fact of an addition as it has been constructed, having deviated from plans approved by the MHZC and Staff.

Recommendation Summary: Staff recommends disapproval after-the-fact of the revision to the addition at 2406 Barton Avenue as it has been built, finding that the height and visibility are not compatible and that it does not meet section II.B.1.a and II.B.1.b of the design guidelines for additions to historic houses in Hillsboro-West End Neighborhood Conservation Zoning Overlay.

If the revisions after-the-fact are not approved, the applicant could submit plans for another revision to be reviewed by the MHZC at the next meeting, or they could alter what has been constructed to extend back fifteen feet (15') before going higher at a 5:12 pitch to make a new ridge two feet (2') higher, as the addition was approved.

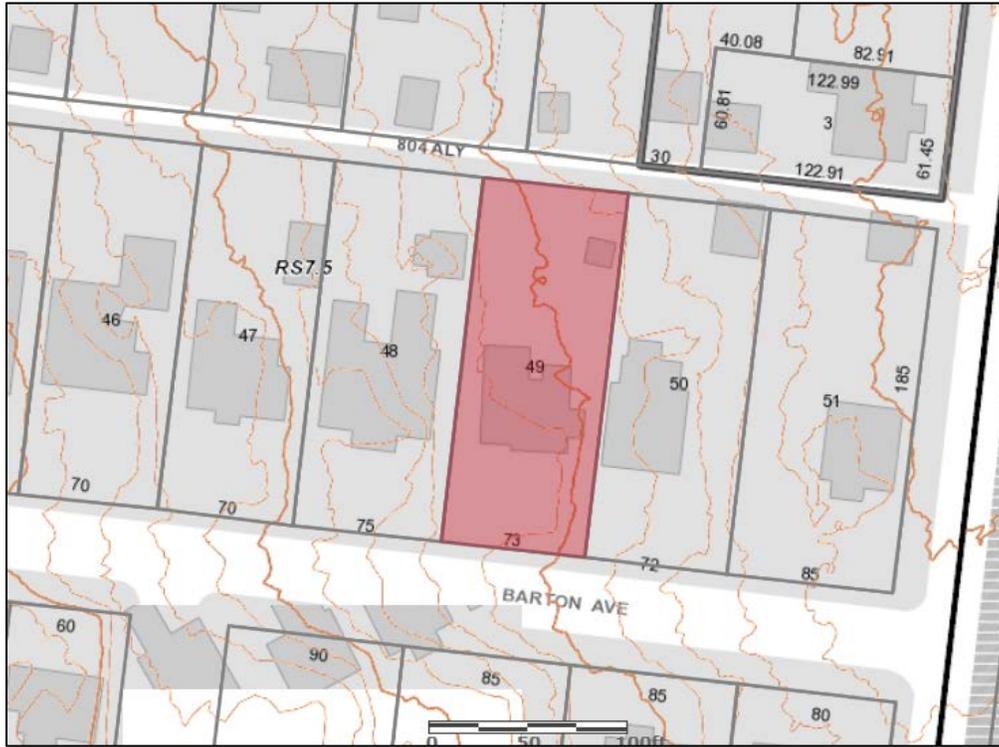
Attachments

A: Photographs

B: Elevations Approved by MHZC in July, 2017

C: Elevations Approved by Staff in March, 2018

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. GUIDELINES

1. NEW CONSTRUCTION

2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different exterior cladding. Additions normally not recommended on historic structures may be appropriate for non-historic structures in Hillsboro-West End. Front or side alterations to non-historic buildings that increase habitable space or change exterior height should be compatible, by not contrasting greatly, with the adjacent historic buildings.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

Additions that tie into the existing roof should be at least 6" off the existing ridge.

In order to assure that an addition has achieved proper scale, the addition should:

- No matter its use, an addition should not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.*
- Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*
- Additions should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*

· An extreme grade change

· Atypical lot parcel shape or size

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.

When an addition needs to be taller:

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.

When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.

In addition, a rear addition that is wider should not wrap the rear corner.

Sunrooms

Metal framed sunrooms, as a modern interpretation of early green houses, are appropriate if they are mostly glass or use appropriate cladding material for the district, are located at the rear in a minimally visible location, are minimally attached to the existing structure, and follow all other design guidelines for additions.

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

Rear & Side Dormers

Dormer additions are appropriate for some historic buildings as they are a traditional way of adding ventilation and light to upper stories.

The addition of a dormer that would require the removal of historic features such as an existing dormer, chimneys, cupolas or decorative feature is not appropriate.

Rear dormers should be inset from the side walls of the building by a minimum of two feet. The top of a rear dormer may attach just below the ridge of the main roof or lower.

Side dormers should be compatible with the scale and design of the building. Generally, this can be accomplished with the following:

- New dormers should be similar in design and scale to an existing dormer on the building.*
- New dormers should be similar in design and scale to an existing dormer on another historic building that is similar in style and massing.*
- The number of dormers and their location and size should be appropriate to the style and design of the building. Sometimes dormer locations relate to the openings below. The symmetry or lack of symmetry within a building design should be used as a guide when placing dormers.*
- Dormers should not be added to secondary roof planes.*
- Eave depth on a dormer should not exceed the eave depth on the main roof.*
- The roof form of the dormer should match the roof form of the building or be appropriate for the style.*
- The roof pitch of the dormer should generally match the roof pitch of the building.*
- The ridge of a side dormer should be at least 2' below the ridge of the existing building; the cheeks should be inset at least 2' from the wall below or adjacent valley; and the front wall of the gable should setback a minimum of 2' from the wall below. (These minimum insets will likely be greater than 2' when following the guidelines for appropriate scale.)*
- Dormers should generally be fully glazed and aprons below the window should be minimal.*
- The exterior material cladding of side dormers should match the primary or secondary material of the main building.*

Side Additions

- b. *When a lot width exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.*

The addition should set back from the face of the historic structure (at or beyond the midpoint of the building) and

should be subservient in height, width and massing to the historic structure.

Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.

To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

c. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that original form and openings on the porch remain visible and undisturbed.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

d. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

e. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

f. Additions should follow the guidelines for new construction.

Background: The house at 2406 Barton Avenue is an historic one-story Craftsman bungalow. The house is primarily brick, with a stone foundation and a side gabled asphalt shingle roof with clipped gable-ends.



A rear addition to the building was approved by the MHZC in July of 2017, and is currently under construction.

As it was originally approved, the roof of the addition was to be one and one-half story, with the first and second floors in the addition a step lower than the corresponding first floor and attic level in the historic house. The roof of the addition would tie into the rear slope of the original roof six inches (6') below the ridge and extend back fifteen feet (15'), then rise at a 5:12 pitch to make a new ridge one foot, four inches (1'-4") higher.



Left elevation from July 2017 approval showing new ridge one foot, four inches (1'-4") taller than existing and the floor level of stepped down from the historic house's floor.

The addition was constructed without the first floor stepping down as it had been designed. In March of 2018 this error was identified and reported to Staff by the applicant, and after consultation with Staff a revision was approved administratively. Per the revision, the first floor would remain as it had been built and the second story would be modified. The roof would still tie into the rear slope of the original roof six inches (6') below the ridge and extend back fifteen feet (15'), and rise at a 5:12 pitch to make a new ridge two feet (2') higher. What were originally approved as gabled dormers would be changed to shed dormers to recreate space in the diminished upperstory.

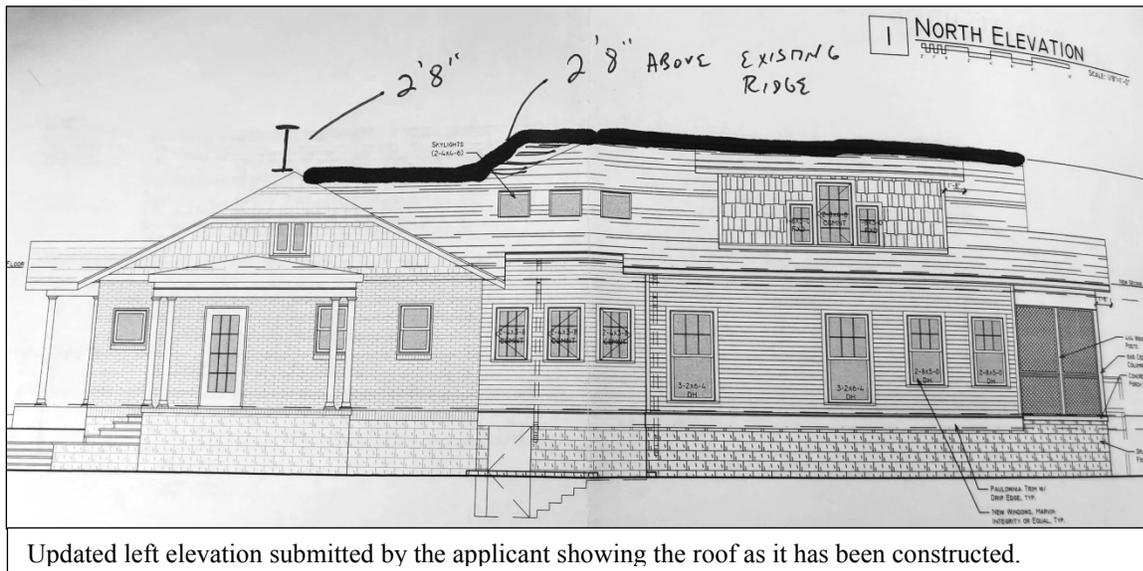


Left elevation from March 2018 revision showing the new ridge two feet (2') taller than the existing and the floor level aligned with the historic house's floor.

In April of 2018, the applicant identified that construction of the addition had again deviated from the approved revision and reported the error to Staff.

Analysis and Findings: The applicant is requesting approval after-the-fact of the addition as it has been constructed, having deviated from the approved design and revision.

A full set of measured drawings of the addition as it has been built have not been produced, but the applicant has indicated that the addition extends back less than fifteen feet (15') from the original ridge before going taller, that it will rise at a pitch steeper than 5:12, and that the new ridge is two feet, eight inches (2'-8") taller than the original roof.



Taller additions have been approved when the additional height is minimal, the addition is not wider than the historic house, and the additional height happens so far back on the home as to be minimally visible, typically at forty feet (40') back from the front of the house. As constructed, the additional height is less than forty feet (40') back from the front of the house and is significantly more visible than anticipated. Staff finds that the roof as constructed is not compatible with the form of the historic house and that it does not meet sections II.B.1.a and II.B.1.b of the design guidelines.

Recommendation: Staff recommends disapproval after-the-fact of the revisions to the addition at 2406 Barton Avenue as it has been built, finding that the height and visibility are not compatible and that it does not meet section II.B.1.a and II.B.1.b of the design guidelines for additions to historic houses in Hillsboro-West End Neighborhood Conservation Zoning Overlay.

If the revisions after-the-fact are not approved, the applicant could submit plans for another revision to be reviewed by the MHZC at the next meeting, or they could alter what has been constructed to extend back fifteen feet (15') before going higher at a 5:12 pitch to make a new ridge two feet (2') higher, as the addition was approved.

PHOTOGRAPHS



2406 Barton Avenue, showing previous rear addition prior to the July 2017 approval.



2406 Barton, current photo from sidewalk in front of adjacent property.



Photo taken from across Barton Avenue.



Photo from adjacent side yard.

HISTORICAL COMMISSION PERMIT 2017044513

MHZC NOTES; CALL 615-862-7970 WITH ANY QUESTIONS

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings.
2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
3. This permit does not regulate use.
4. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
5. Four inch (4" nominal) casings are required around doors, windows and vents within clapboard walls. Windows on brick walls shall have brick-mold.
6. Siding and trim shall be wood or cement-fiberboard (ex: Hardi). Exterior materials shall be smooth-faced.
7. Four inch (nominal) corner-boards are required at the face of each exposed corner.

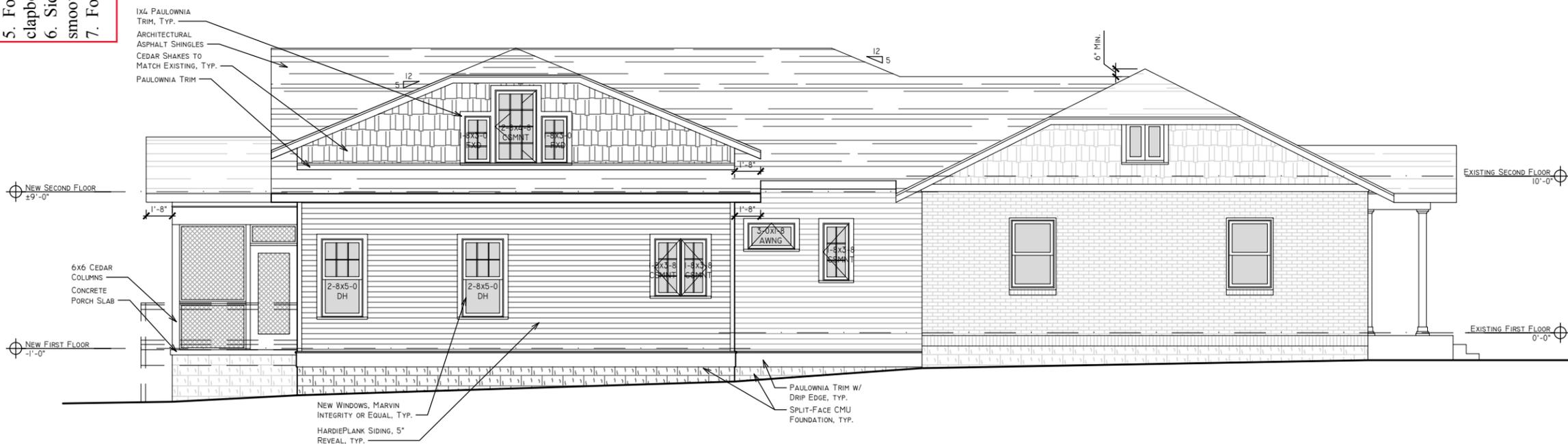


Attachment B:
Elevations Approved by MHZC in July, 2017

SOUTH ELEVATION
SCALE: 1/8"=1'-0"

HISTORICAL COMMISSION PERMIT 2017044513
CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Please refer to notes on pages 1-2.
2. Staff must approve the construction progress at the three following points:
 - a. After the building footprint has been field staked
 - b. After the foundation has been constructed
 - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase.
 - a. Windows and doors
 - b. Roof color



WEST ELEVATION
SCALE: 1/8"=1'-0"

NOT FOR CONSTRUCTION

REV: DATE: DESC:

0 07.11.17 MHZC REVISIONS

ADDITION TO THE HISTORIC HOUSE AT:
2406 BARTON AVE
NASHVILLE, TN 37212

**nine
12
design**

INFO@NINE12DESIGN.COM
615.761.9902
WWW.NINE12DESIGN.COM

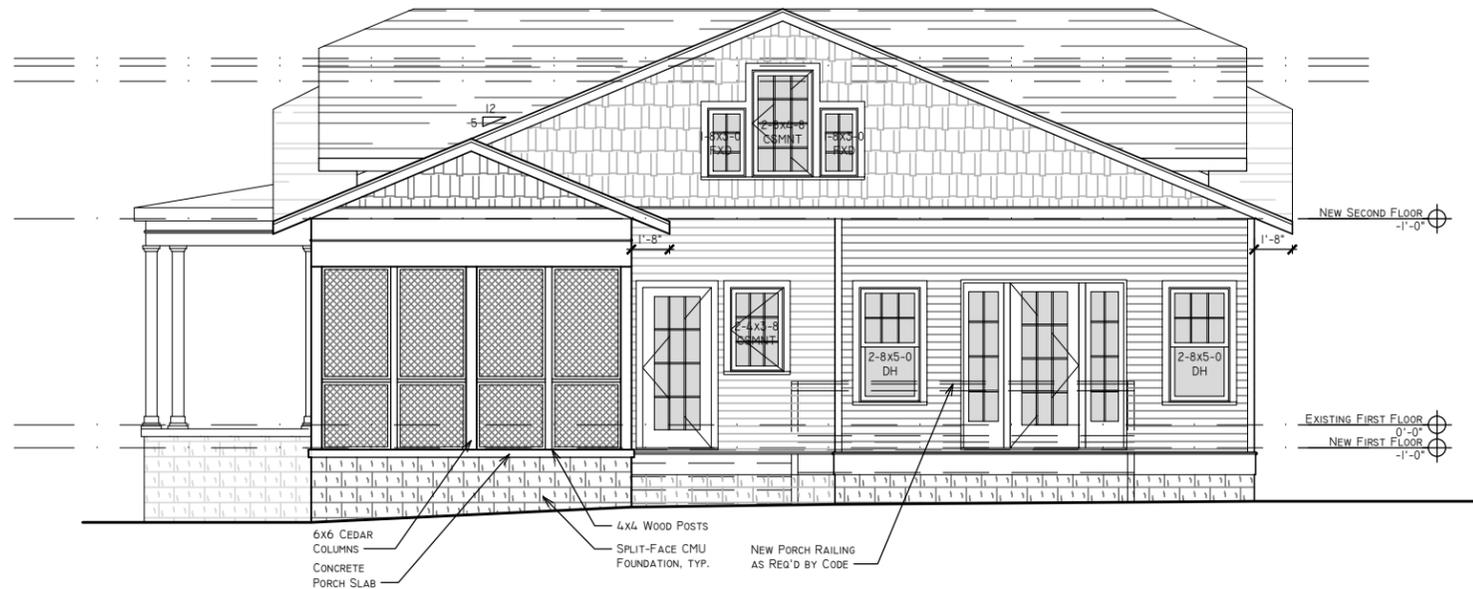
EXTERIOR
ELEVATIONS

06

HISTORICAL COMMISSION PERMIT 2017044513

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3. This permit does not regulate use.
4. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
5. Four inch (4" nominal) casings are required around doors, windows and vents within clapboard walls. Windows on brick walls shall have brick-mold.
6. Siding and trim shall be wood or cement-fiberboard (ex: Hardi). Exterior materials shall be smooth-faced.
7. Four inch (nominal) corner-boards are required at the face of each exposed corner.



**HISTORICAL COMMISSION PERMIT 2017044513
CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

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 - a. Windows and doors
 - b. Roof color

Attachment B:
Elevations Approved by MHZC in July, 2017

1 NORTH ELEVATION
SCALE: 1/8"=1'-0"



1 EAST ELEVATION
SCALE: 1/8"=1'-0"

NOT FOR CONSTRUCTION

REV:	DATE:	DESC:
0	07.11.17	MHZC REVISIONS

ADDITION TO THE HISTORIC HOUSE AT:
2406 BARTON AVE
NASHVILLE, TN 37212



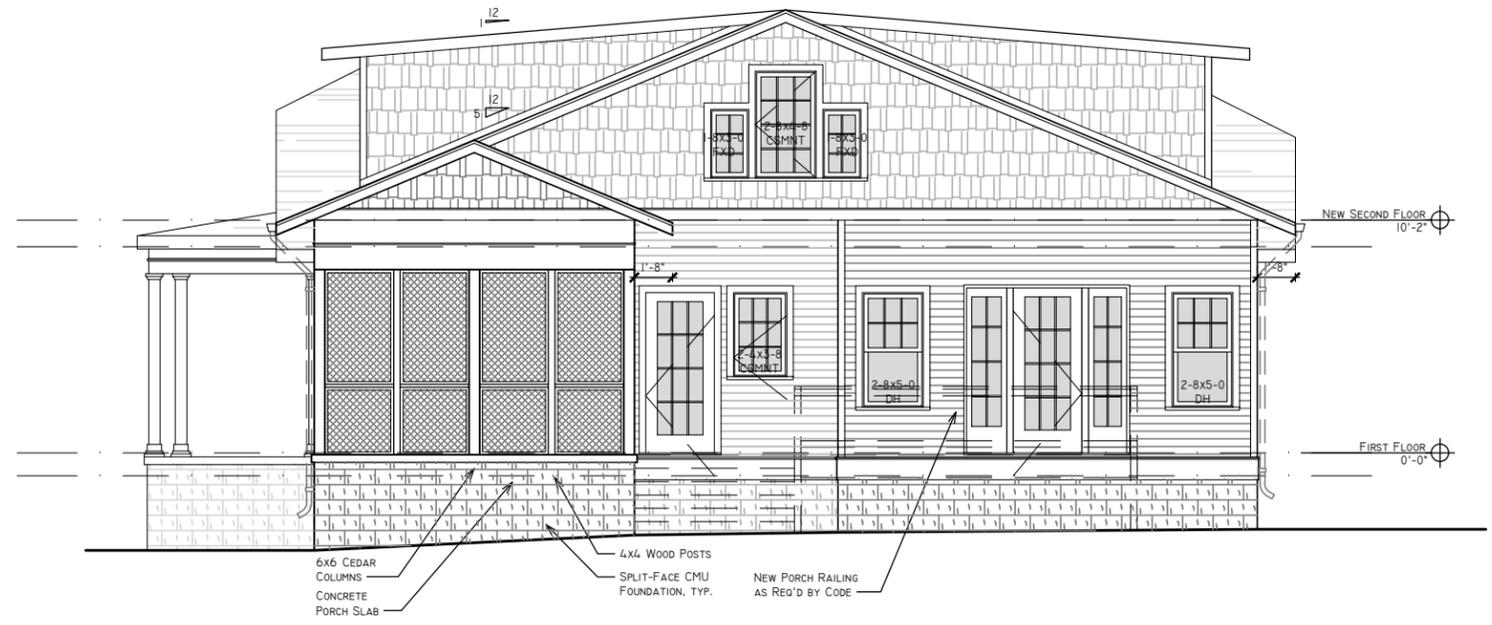
INFO@NINE12DESIGN.COM
615.761.9902
WWW.NINE12DESIGN.COM

EXTERIOR
ELEVATIONS

07

HISTORICAL COMMISSION PERMIT 2017044513 - REVISED ELEVATIONS
MHZC NOTES; CALL 615-862-7970 WITH ANY QUESTIONS

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings.
2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
3. This permit does not regulate use.
4. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
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6. Siding and trim shall be wood or cement-fiberboard (ex: Hardi). Exterior materials shall be smooth-faced.
7. Four inch (nominal) corner-boards are required at the face of each exposed corner.



HISTORICAL COMMISSION PERMIT 2017044513 - REVISED
CALL 615-862-7970 FOR QUESTIONS AND TO SCHEDULE
INSPECTIONS

1. Please refer to notes on pages 1-2.
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 - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase.
 - a. Windows and doors
 - b. Roof color

Attachment C:
 Elevations Approved by Staff in March, 2018

1 NORTH ELEVATION
 SCALE: 1/8"=1'-0"



1 EAST ELEVATION
 SCALE: 1/8"=1'-0"

ADDITION TO THE HISTORIC HOUSE AT:
2406 BARTON AVE
 NASHVILLE, TN 37212



INFO@NINE12DESIGN.COM
 615.761.9902
 WWW.NINE12DESIGN.COM

EXTERIOR
 ELEVATIONS

07

REV:	DATE:	DESC:
0	02.26.18	MHZC REVISIONS