

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

STAFF RECOMMENDATION 124 South 12th Street June 20, 2018

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

Application: New construction - infill

District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay

Council District: 06

Map and Parcel Number: 08313001700

Applicant: Steven T. Morris

Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant proposes to construct a two-story house on a large vacant lot. The house will be a maximum height of forty-eight feet (48') tall and fifty-two feet (52') wide. The primary exterior material will be brick with stone trim.

Recommendation Summary: Staff recommends approval of the proposed two story infill at 124 South 12th Street with conditions that:

1. The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. The front setback shall be consistent with the setbacks of the adjacent historic houses, to be verified by MHZC staff in the field;
3. The brick and stone colors and textures shall be approved by MHZC Staff; and
4. The window and door selections shall be approved by MHZC Staff; and
5. The roof color shall be approved by MHZC Staff; and
6. Front walkway and driveway material shall be approved by MHZC Staff; and
7. The utility connections and HVAC units shall be located behind the midpoint of the building on a non-street facing façade.

With those conditions met, Staff finds that the project will meet the design guidelines for new construction in the Lockeland Springs East-End Neighborhood Conservation Zoning Overlay.

Attachments

- A: Sanborn Map
- B: Photographs
- C: Site Plan
- D: Floorplans
- E: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

1. Height

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.

Infill construction on the 1400 -1600 blocks of Boscobel Street may be up to two-stories.

For those lots located within the Five Points Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. A third story and 15' may be added provided that is for residential use only and is compatible with existing adjacent historic structures. The third story must be stepped back at least 10' from façade planes facing a residential subdistrict, an existing house (regardless of use), and public streets. All front and side building walls shall be a minimum of 20' in height. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor. Exception: buildings with first floor residential use, minimum first floor height shall be 12'.

For those lots located within the Corner Commercial Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. An additional story may be added to a building provided that, where it is adjacent to a detached house or a residential subdistrict, it is set back a minimum of 25' from the building wall or 50' from the property line. Three story building height shall not exceed 45'. All front and side buildings walls shall be a minimum of 16' in height and at the build-to line. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor.

For those lots located within the Residential Subdistrict of the Five Points Redevelopment District shall not exceed 3 stories .

2. Scale

The size of a new building and its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

3. Setback and Rhythm of Spacing

4. Since construction in an historic district has usually taken place continuously from the late nineteenth and early twentieth centuries, a variety of building types and styles result which demonstrate the changes in building tastes and technology over the years. New buildings should continue this tradition while complementing and being compatible with other buildings in the area.

In Lockeland Springs-East End, historic buildings were constructed between 1880 and 1950. New buildings should be compatible with surrounding houses from this period.

5. Reconstruction may be appropriate when it reproduces facades of a building which no longer exists and which was located in the historic district if: (1) the building would have contributed to the historical and architectural character of the area; (2) if it will be compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the lot on which the reproduction will be built; and (3) if it is accurately based on pictorial documentation.

6. Because new buildings usually relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of a street, the dominance of that pattern and rhythm must be respected and not disrupted.
7. New construction should be consistent with existing buildings along a street in terms of height, scale, setback, and rhythm; relationship of materials, texture, details, and color; roof shape; orientation; and proportion and rhythm of openings.

The setback from front and side yard property lines established by adjacent historic buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain that rhythm.

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setback reductions will be determined based on:

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

Appropriate height limitations will be based on:

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

Infill construction on the 1400 - 1600 blocks of Boscobel Street may have widths up to 40'.

4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5".

Larger reveals may be possible but should not exceed 8" and shall have mitered corners.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

Primary entrances should be 1/2 to full-light doors. Faux leaded glass is inappropriate.

Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.

5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

Infill construction on the 1400 -1600 blocks of Boscobel Street may have flat roofs or roofs with a minimal slope.

6. Orientation

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in a new building shall be compatible, by not contrasting greatly, with surrounding *historic* buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

Background: The lot at 124 South 12th Street is vacant. This block is unique in the area for having double lots and large two-story houses.



Analysis and Findings: The applicant is proposing to construct a new house on the lot.

Height & Scale: The new building will be a two-story house, which is compatible with the historic houses on the block. The building will be forty-three feet (43') tall from the floor level to the peak of the roof. The height of the foundation will vary between two feet (2') and five feet (5'), depending on grade, putting the maximum height of the house at approximately forty-eight feet (48') tall. The primary eave height on the building will be twenty-four feet (24') above the floor level. The two historic houses on this block face, 116 South 12th Street and 122 South 12th Street, have a similar two and one-half story massing and are forty-six feet (46') and forty-eight feet (48') tall from grade, respectively,

The front facade of the building will be fifty-two feet (52') wide, and the depth of the building will be sixty-five feet (65'). The two historic houses on this block face, 116 South 12th Street and 122 South 12th Street, are fifty feet (50') and fifty-four feet (54') wide, respectively. Both historic houses are sixty-four feet (64') deep.

Staff finds that the height, width, and massing of the proposed new buildings is compatible with the surrounding historic context and therefore the proposal meets sections II.B.1 and II.B.2 of the design guidelines.

Setback & Rhythm of Spacing: The front setback of the building will sit at thirty-nine feet (39'), matching the setback of the adjacent historic house to the right. The left and right setbacks will be eighteen feet (18') and nineteen feet (19') respectively, and the rear setback will be twenty feet (20'). These setbacks are compatible with those of other historic houses in the immediate context of houses on large lots.

With a condition that Staff shall verify the front setback at the start of construction, Staff finds that the front and side setbacks will meet section II.B.3 of the design guidelines.

Materials:

	Proposed	Color/Texture/ Make/ Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Stone	Not indicated	Yes	X
Primary Cladding	Brick	Not indicated	Yes	X
Trim	Stone, Wood, Composite		Yes	
Roofing	Asphalt Shingles	Not indicated	Yes	X
Front Porch floor/steps	Concrete		Yes	
Front Porch Columns	Brick	Not indicated	Yes	X
Front Porch Railing	Stone	Not indicated	Yes	X
Windows	Double-hung, Divided light	Not indicated	Yes	X
Principle Doors	3/4 light, divided	Not indicated	Yes	X
Driveway/ Parking	New driveway and parking pad	Not indicated	Yes	X
Walkway	New walkway from porch to sidewalk	Not indicated	Yes	X

Staff recommends that the masonry and paving materials are approved administratively, as well as the window and door selections and roof colors. This information is necessary to ensure that the materials of the new house will be compatible with historic houses in the surrounding area and meet section II.B.4 of the design guidelines.

Roof form: The primary roof of the building will be hipped with gabled projections on the front, rear, and both sides. The pitch of all of these roof components will be 10:12. A small stoop over a side entrance on the right side will have a flat roof. Staff finds the roofs of the proposed buildings to be compatible with surrounding houses and finds that the project will meet section II.B.5 of the design guidelines.

Orientation: The front facade of the building will be oriented toward South 12th Street, with the entrance inside a recessed front porch. There will be a secondary entrance and an attached garage on the right side, but they will be located behind the midpoint of the building and will not be confused for being the front of the building. The attached garage is appropriate because the lot is truncated and does not have alley access. Although typically garages should not be

attached, the Commission has allowed for attached garages in conditions such as these. Staff finds that the orientation of the project meets section II.B.6 of the design guidelines.

Proportion and Rhythm of Openings: The window openings on the new building will be vertically oriented, arranged in singles, pairs, and sets of three double-hung windows with 4/4 divided-light sashes. The sizes and spaces between openings on the primary facades will be consistent with the openings on nearby historic houses. Staff finds that the window proportions and rhythms are generally compatible with the surrounding historic context and that the project will meet section II.B.7 of the design guidelines.

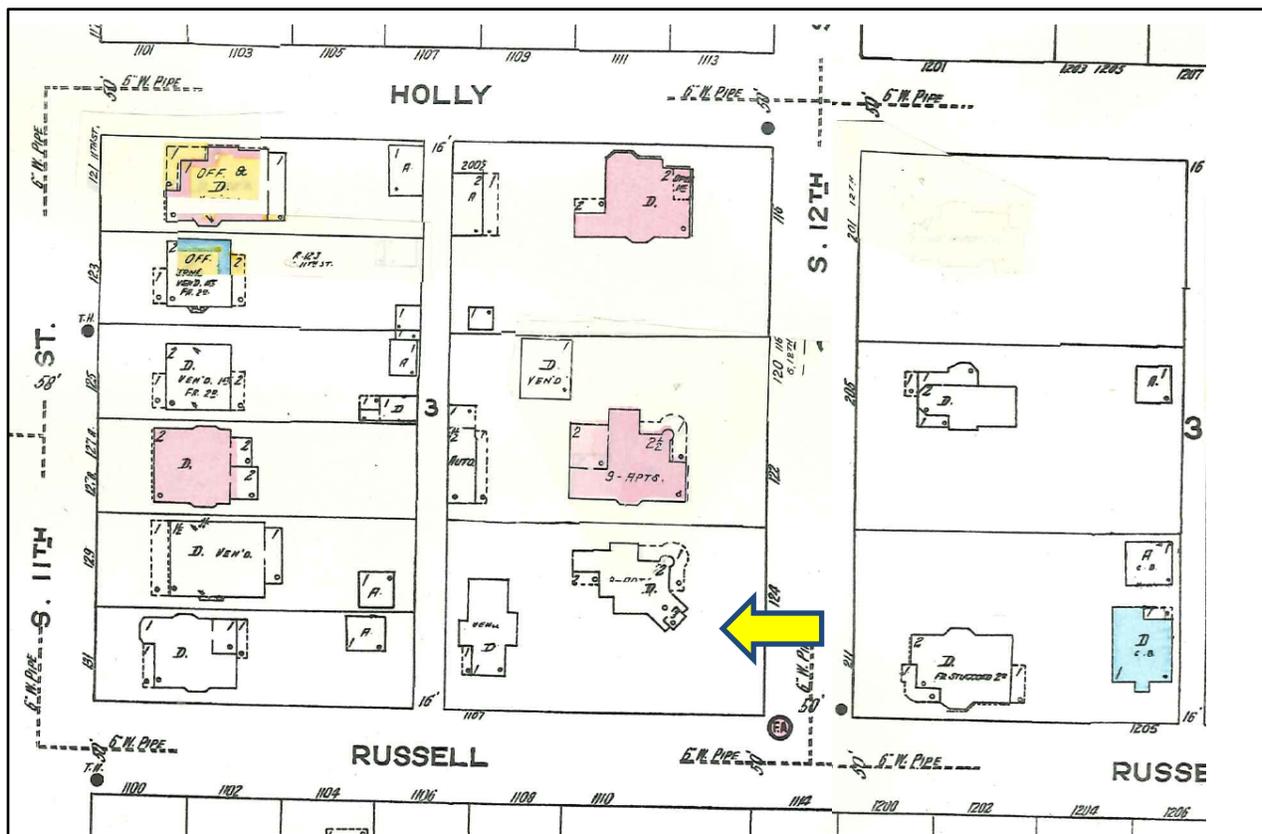
Appurtenances & Utilities: The site plan shows a new walkway added from the porch to the sidewalk at the front of the property, and a driveway will be constructed along the right side of the lot from the street to the attached garage near the rear of the building. Additional parking will be on a paved parking pad at the rear of the lot. The location of the HVAC and other utilities were not noted. With the condition that the HVAC is located on the rear façade, or on a side façade beyond the midpoint of the house, Staff finds the appurtenances will be compatible with surrounding historic properties and will meet section II.B.9 of the design guidelines.

Recommendation: Staff recommends approval of the proposed two story infill at 124 South 12th Street with conditions that:

1. The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. The front setback shall be consistent with the setbacks of the adjacent historic houses, to be verified by MHZC staff in the field;
3. The brick and stone colors and textures shall be approved by MHZC Staff; and
4. The window and door selections shall be approved by MHZC Staff; and
5. The roof color shall be approved by MHZC Staff; and
6. Front walkway and driveway material shall be approved by MHZC Staff; and
7. The utility connections and HVAC units shall be located behind the midpoint of the building on a non-street facing façade.

With those conditions met, Staff finds that the project will meet the design guidelines for new construction in the Lockeland Springs East-End Neighborhood Conservation Zoning Overlay.

ATTACHMENTS



1957 Sanborn Map detail.

PHOTOGRAPHS



124 South 12th Street, front of lot.



124 South 12th Street, left side of lot viewed from Holly Street.



Adjacent historic house to the right, 122 South 12th Street (The Ambrose House).



116 South 12th Street, right side viewed from Russell Street.

PROJECT DATA:
PROJECT ADDRESS:
 124 SOUTH 12TH STREET
 NASHVILLE, TN 37206

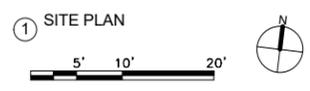
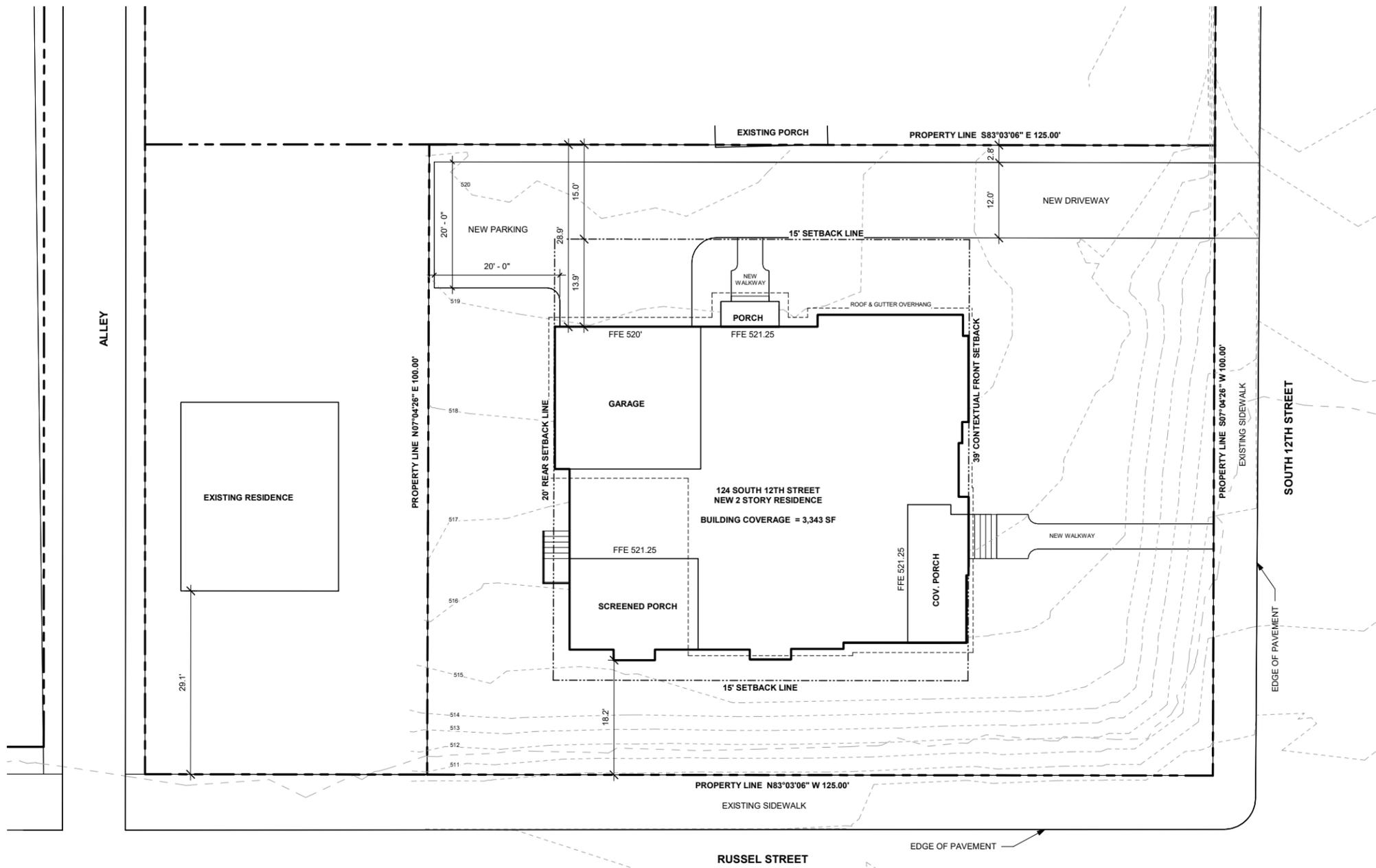
ZONING INFORMATION:
 ZONE MDHA-FP
 MAX. HEIGHT - 3 STORIES
 ACTUAL HEIGHT - 2 STORIES

TOTAL LOT AREA:
 12,499.97 S.F.

BUILDING AREA CALCULATIONS:
 FIRST FLOOR= 2,286 GSF
 SECOND FLOOR= 2,691 GSF
 TOTAL AREA= 4,977 GSF
 EXTERIOR PORCHES= 548 GSF
 GARAGE= 509 GSF

TOTAL BUILDING COVERAGE:
 3,343 SF / 12,499.97 SF = 0.28

MHZC SHEET INDEX	
NUM.	SHEET NAME
A1.01H	FIRST FLOOR PLAN
A1.02H	SECOND FLOOR PLAN
A1.03H	ROOF PLAN
A2.01H	BUILDING ELEVATIONS
A2.02H	BUILDING ELEVATIONS
A2.03H	BUILDING ELEVATIONS
A2.04H	BUILDING ELEVATIONS
A2.05H	STREET CONTEXT ELEVATION
A3.01H	3D VIEWS
A3.02H	3D VIEWS
A3.03H	3D VIEWS
A3.04H	3D VIEWS



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Designed For:
STEVE MORRIS

124 S 12TH STREET
 SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
MHZC SUBMITTAL SET

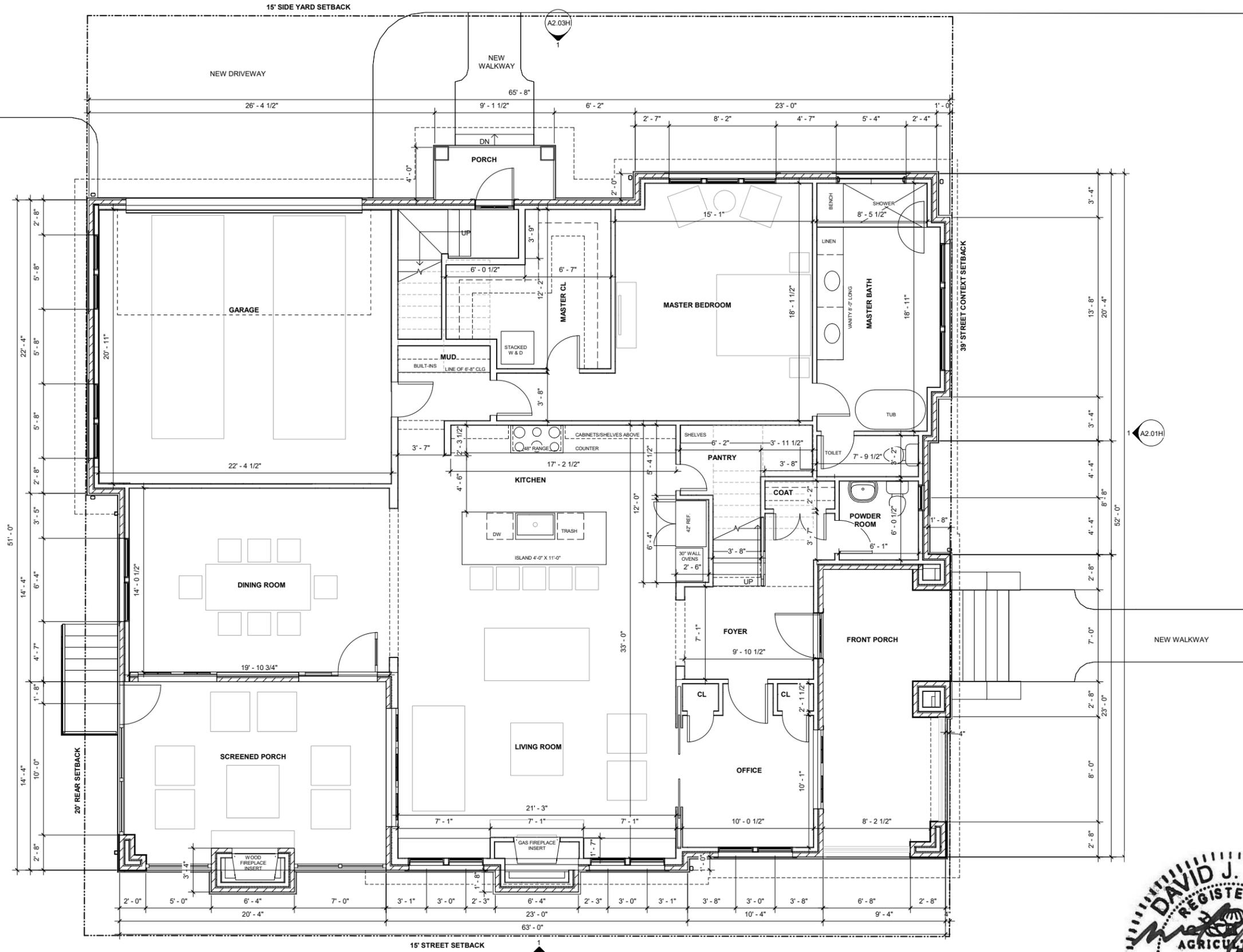
Project Number: **124**

Date: **6.4.2018**

SITE PLAN

A0.01H

① FIRST FLOOR PLAN



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124 S 12TH STREET
 SINGLE FAMILY RESIDENCE

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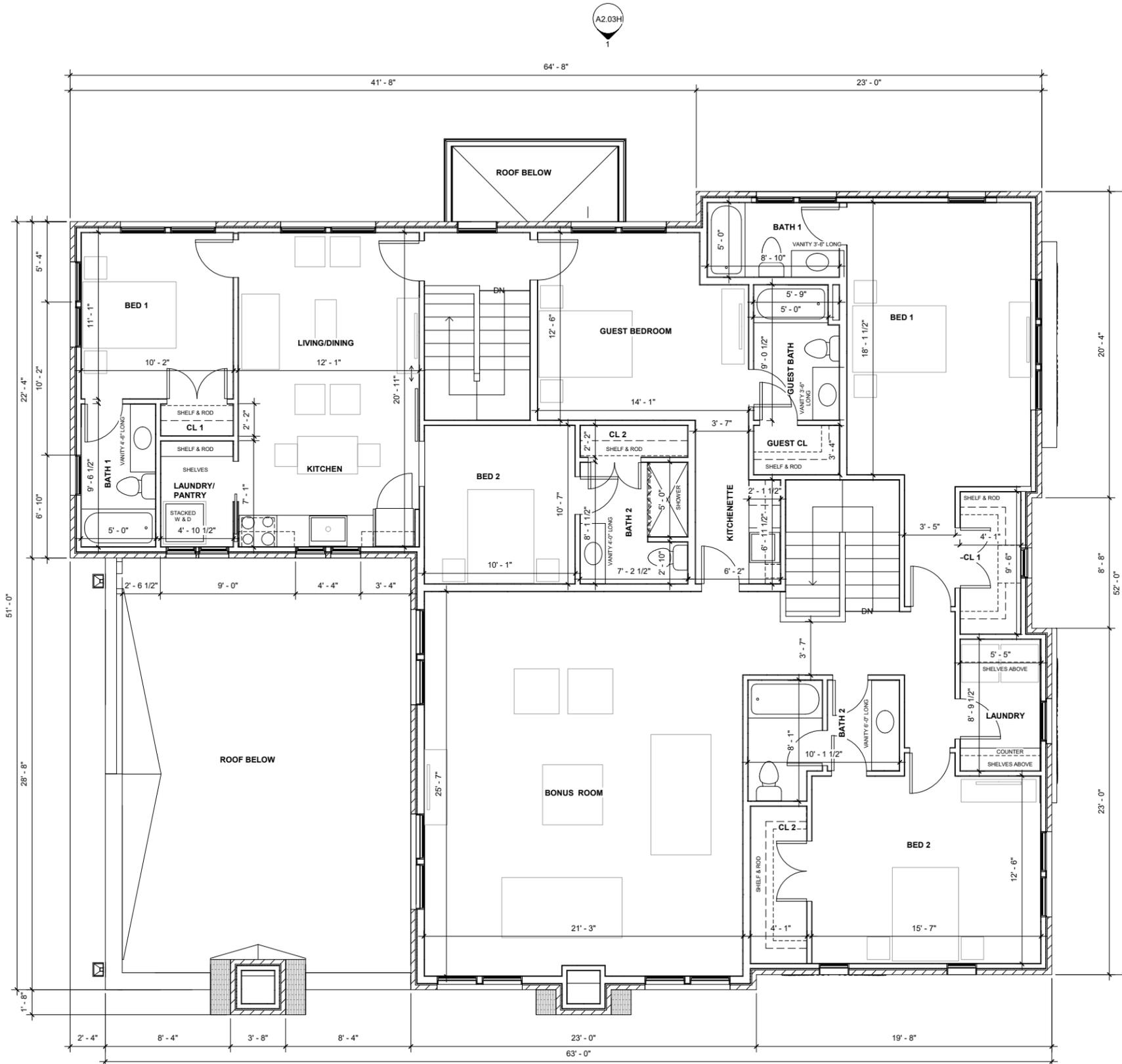
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FIRST FLOOR PLAN

A1.01H

① SECOND FLOOR PLAN

① A2.02H

① A2.04H

① A2.01H



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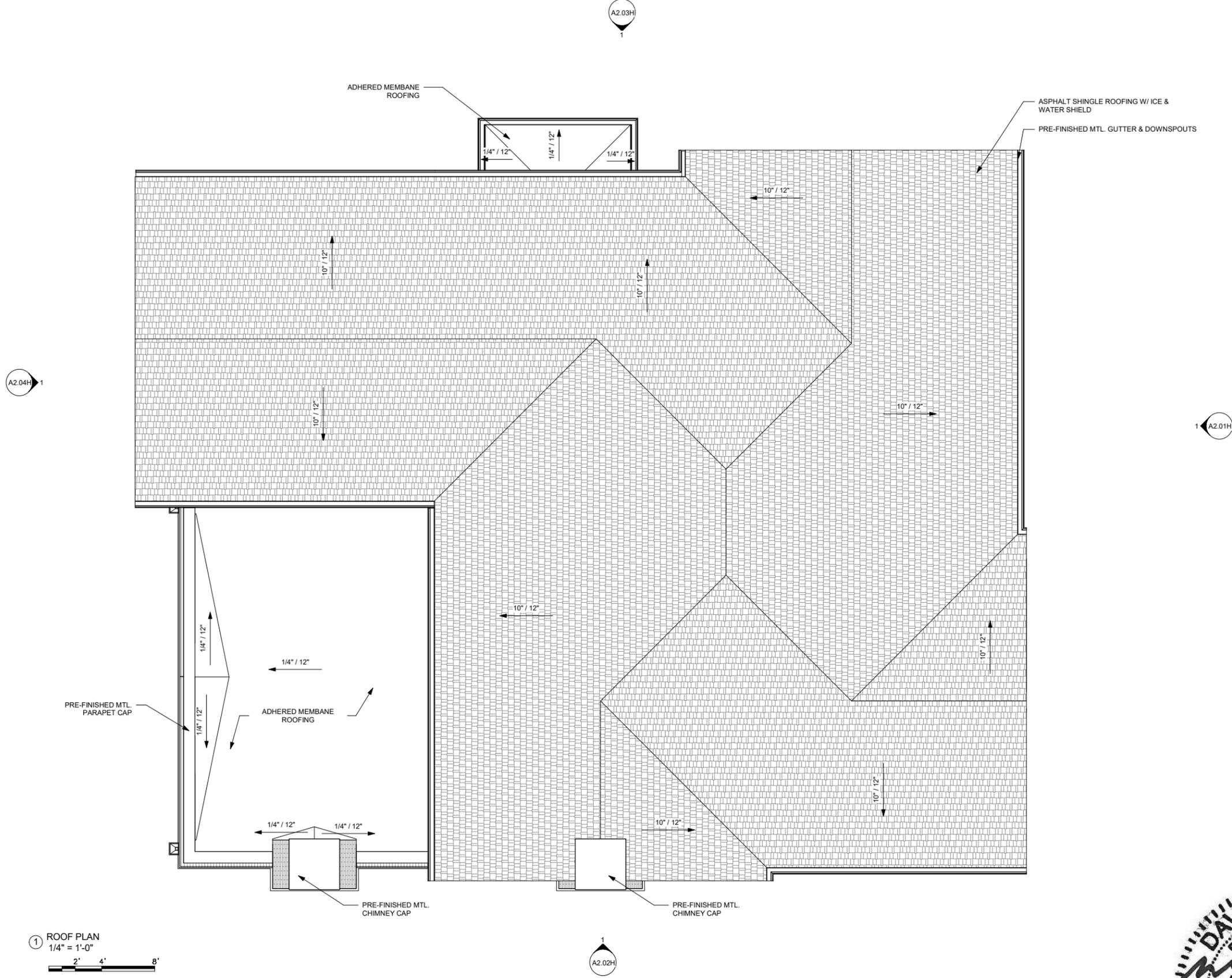
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SECOND FLOOR PLAN

A1.02H



① ROOF PLAN
1/4" = 1'-0"
2' 4' 8'

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124 S 12TH STREET
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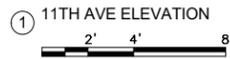
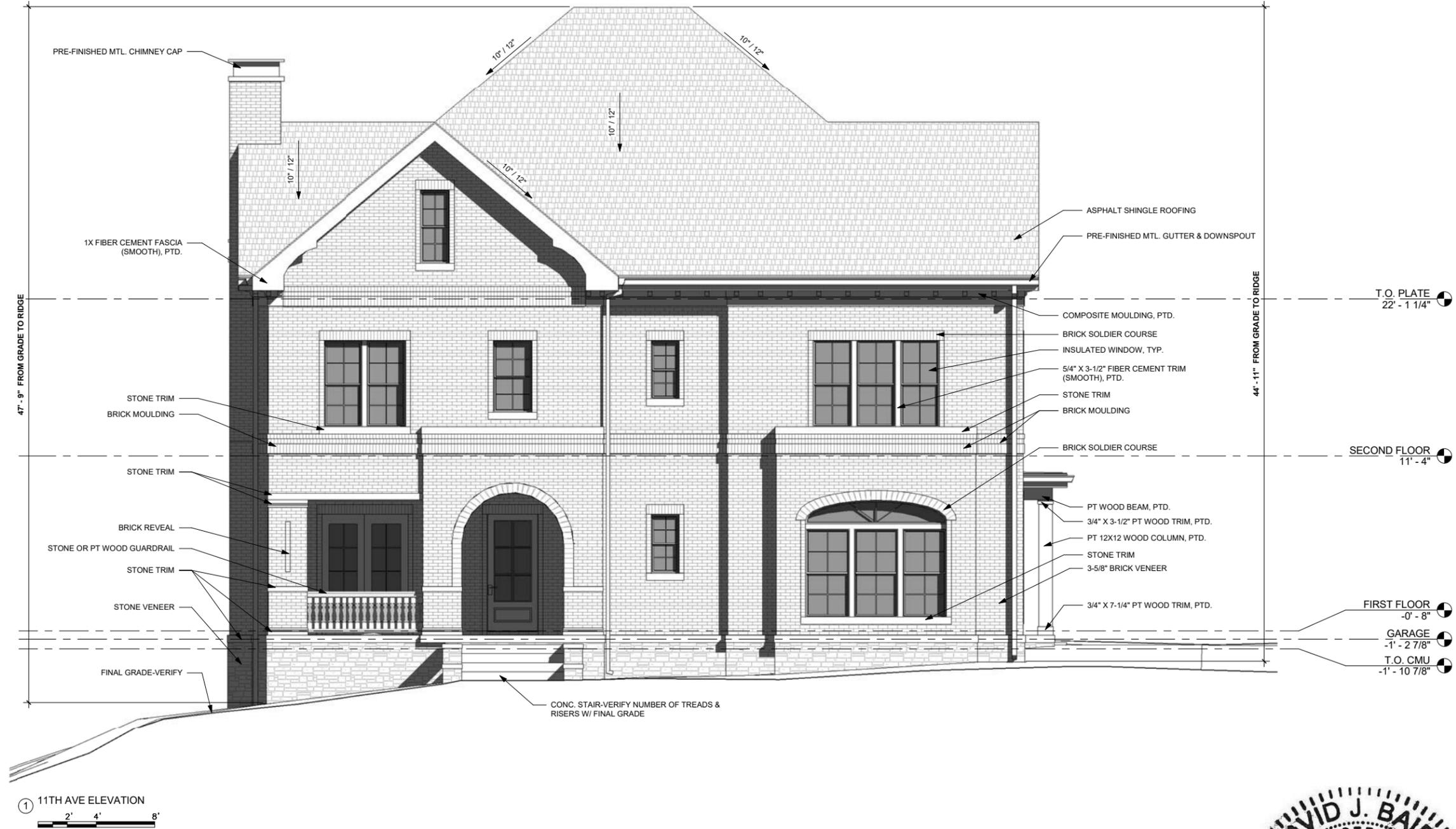
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ROOF PLAN

A1.03H





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124 S 12TH STREET
 SINGLE FAMILY RESIDENCE

REVISIONS		
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Project Phase:
MH3C SUBMITTAL SET

Project Number: **124**
 Date: **6.4.2018**

BUILDING ELEVATIONS



A2.01H

6/4/2018 9:20:05 AM



① RUSSEL STREET ELEVATION

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Designed For:
STEVE MORRIS

124 S 12TH STREET
 SINGLE FAMILY RESIDENCE

FIRST FLOOR
 -0' - 8"
 GARAGE
 -1' - 2 7/8"
 T.O. CMU
 -1' - 10 7/8"

REVISIONS		
NUM.	DESCRIPTION	DATE

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BUILDING ELEVATIONS

A2.02H





① RIGHT SIDE ELEVATION
 2' 4' 8'

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BUILDING ELEVATIONS

A2.03H





① REAR ELEVATION
 2' 4' 8'

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BUILDING ELEVATIONS





SOUTH 11TH STREET ELEVATION WITH ADJACENT HOUSES

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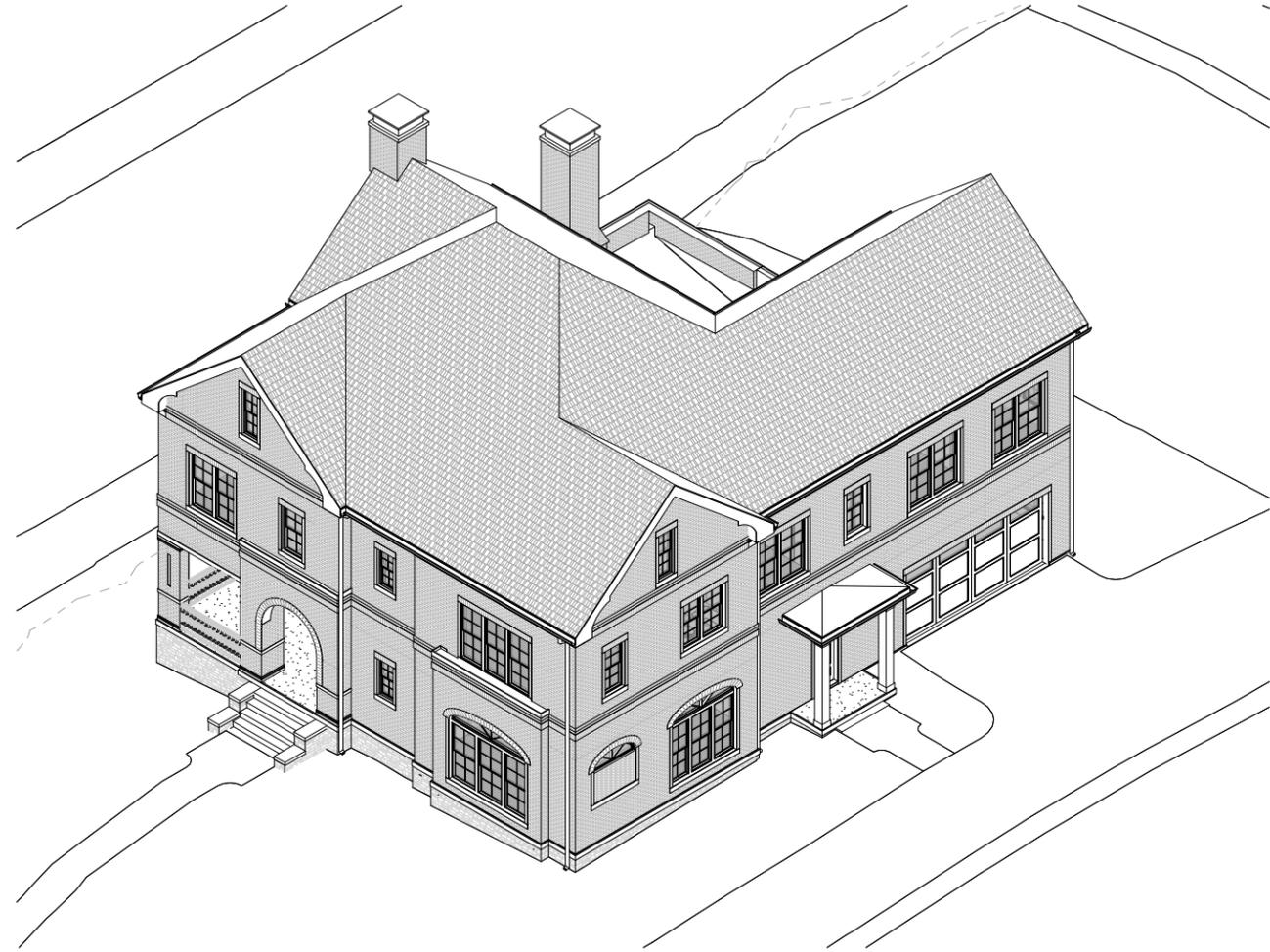
STREET CONTEXT ELEVATION

A2.05H





① FRONT LEFT BIRD'S EYE VIEW



② FRONT RIGHT BIRD'S EYE VIEW

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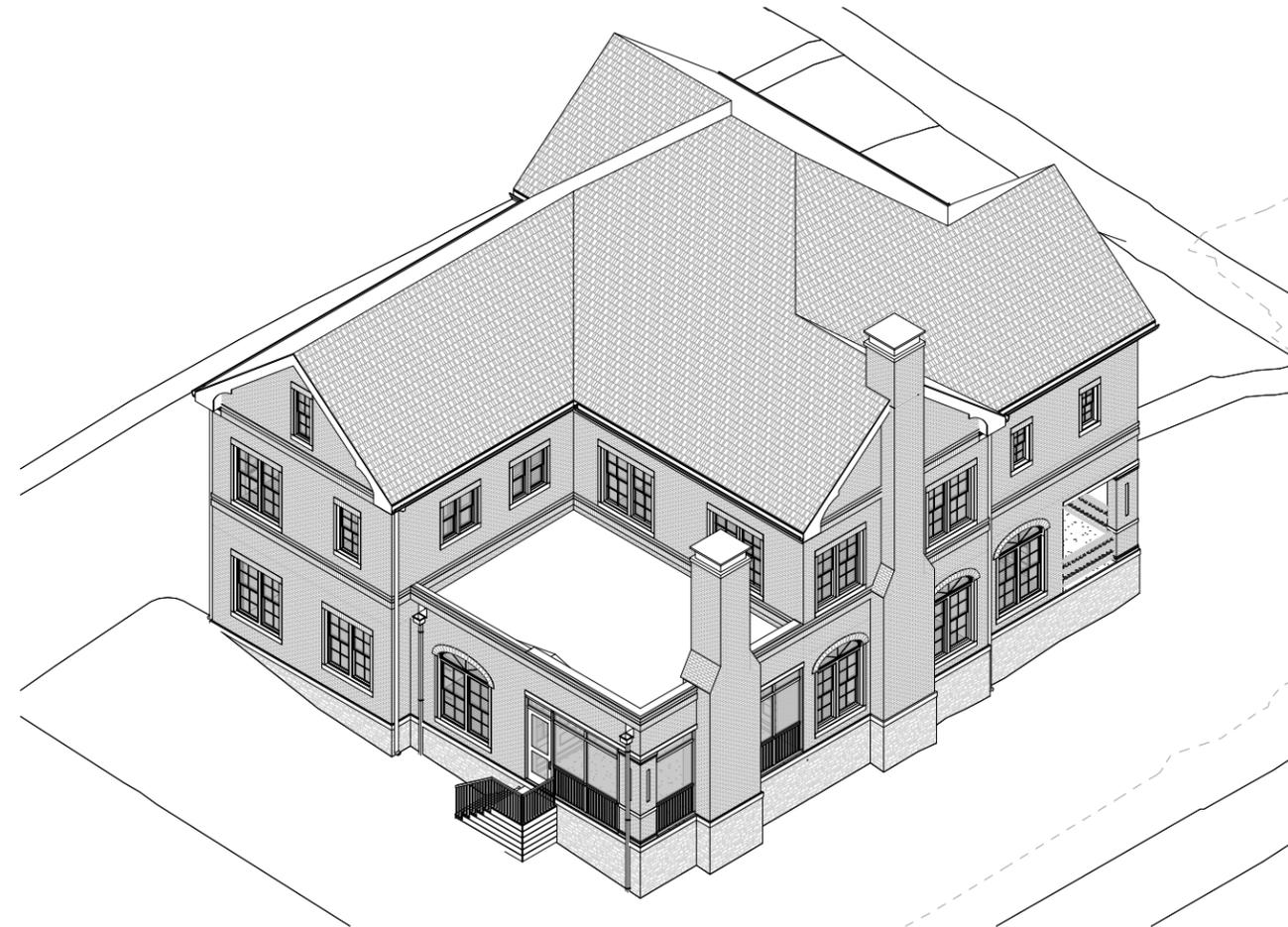
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Date: **6.4.2018**

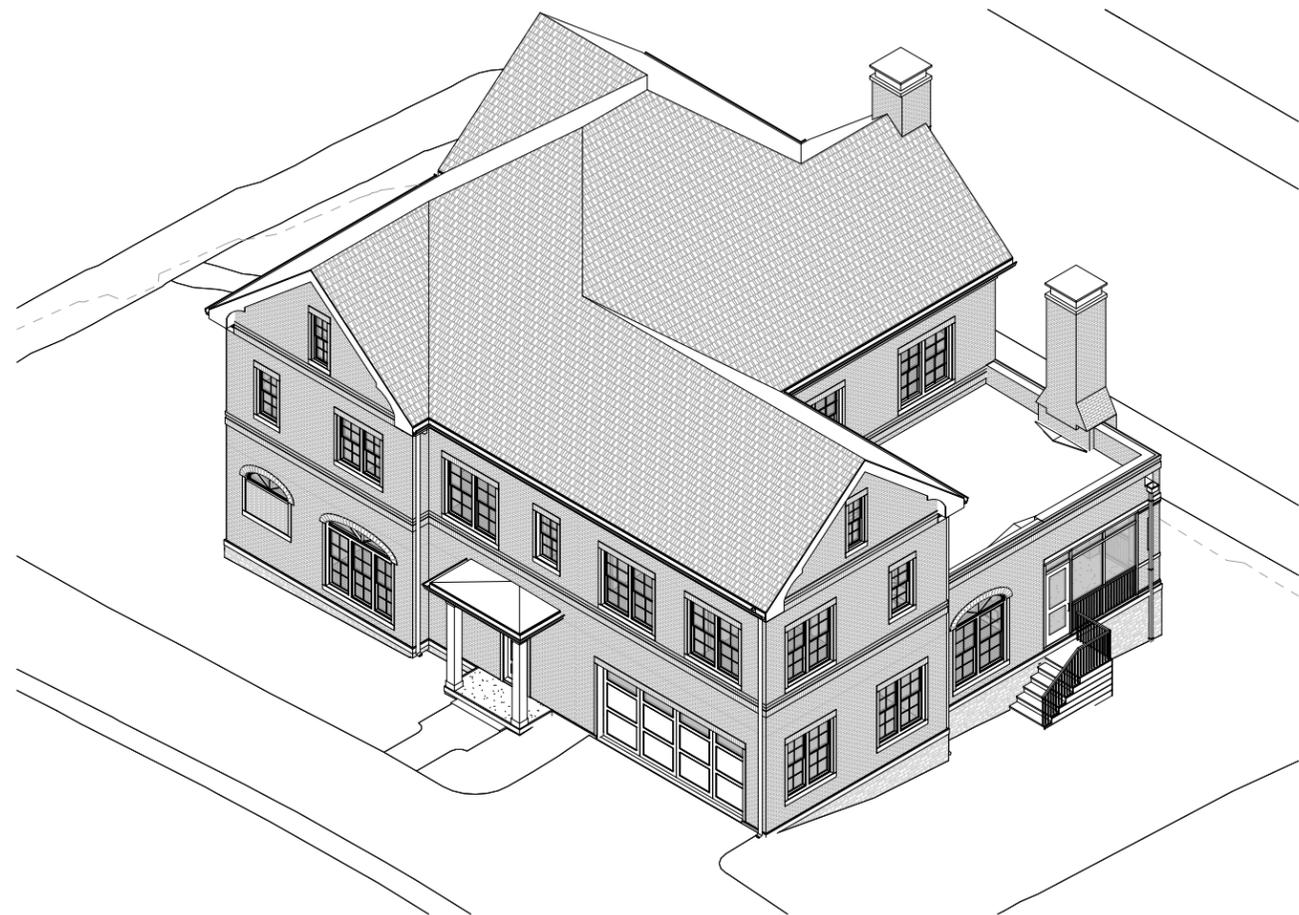
3D VIEWS

A3.01H





① REAR LEFT BIRD'S EYE VIEW



② RIGHT REAR BIRD'S EYE VIEW



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Designed For:

STEVE MORRIS

124 S 12TH STREET

SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
MHZA SUBMITTAL SET

Project Number: **124**

Date: **6.4.2018**

3D VIEWS

A3.02H

6/4/2018 9:21:14 AM

② FRONT RIGHT VIEW



① FRONT LEFT VIEW



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124 S 12TH STREET

SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
MHC SUBMITTAL SET

Project Number: **124**

Date: **6.4.2018**

3D VIEWS

A3.03H





① REAR LEFT VIEW



6/4/2018 9:21:19 AM

② REAR RIGHT VIEW

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124 S 12TH STREET

SINGLE FAMILY RESIDENCE

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
MHZC SUBMITTAL SET

Project Number: **124**

Date: **6.4.2018**

3D VIEWS

