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MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
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**STAFF RECOMMENDATION**

**1506 Shelby Avenue**

**June 20, 2018**

**Application:** New construction—outbuilding

**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay

**Council District:** 06

**Map and Parcel Number:** 08313050400

**Applicant:** Matthew Stitzlein

**Project Lead:** Jenny Warren, jenny.warren@nashville.gov

**Description of Project:** Application is to change the flat roof of an existing outbuilding to create a gabled roof.

**Recommendation Summary:** Staff recommends approval of the proposed roof form change on the existing outbuilding, with the condition that Staff approves the trim material, pedestrian doors and garage door prior to purchase and installation; finding that the proposed work meets Section II.B.8. of the Lockeland Springs-East End Neighborhood Conservation zoning overlay design guidelines.

**Attachments**

**A:** Site Plan

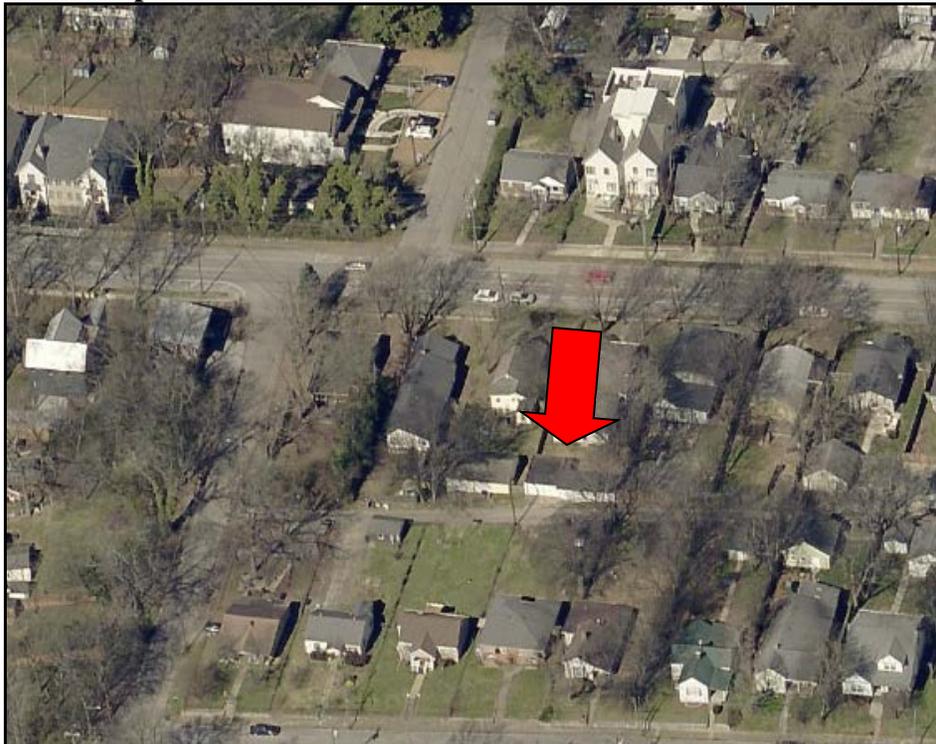
**B:** Elevations

**C:** Pictures

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### 17.16.030. G. Standards for Accessory Dwelling Units:

An accessory dwelling unit should follow the design guidelines for the historic overlay and the following standards:

1. Applicability.
  - a. While the following conditions listed below apply to a detached accessory dwelling they do not counter-act or over-ride the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.
  - b. No accessory structure shall exceed two hundred square feet when there is a detached accessory dwelling on the lot.
2. Lot Area. The lot area on which the detached accessory dwelling is to be placed shall comply with Table 17.12.020A.
3. Ownership.
  - a. No more than one detached accessory dwelling shall be permitted on a single lot in conjunction with the principal structure.
  - b. The detached accessory dwelling cannot be divided from the property ownership of the principal dwelling.
  - c. The detached accessory dwelling shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
4. Setbacks. The setbacks for a detached accessory dwelling shall meet the setbacks found in Section 17.12.040.E. for accessory buildings.

*The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).*

*Generally appropriate side setbacks for outbuildings is 3' for buildings with a 750 square foot footprint or less and 5' for buildings with a footprint greater than 750 square feet. Appropriate rear setbacks may be as close as 5'.*

5. Site Requirements. A detached accessory dwelling may only be located behind the principal structure.
6. Driveway Access.
  - a. On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling.
  - b. On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.
  - c. Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.
7. Bulk and Massing.
  - a. The living space of a detached accessory dwelling shall not exceed seven hundred square feet.
  - b. On lots less than ten thousand square feet, the footprint of a detached accessory dwelling shall not exceed seven hundred fifty square feet
  - c. On lots ten thousand square feet or greater, the footprint of a detached accessory dwelling shall not exceed one thousand square feet.
  - d. The detached accessory dwelling shall maintain a proportional mass, size, and height to ensure it is not taller than the principal structure on the lot. The detached accessory dwelling height shall not exceed the height of the principal structure as measured to the eave line, with a maximum eave height of ten feet for single-story and seventeen feet for two-story detached accessory dwellings.
  - e. The roof ridge line of the detached accessory dwelling must be less than the primary structure and shall not exceed twenty-seven feet in height.

*In conjunction with the neighborhoods where DADUs are possible and using research of historic outbuildings, the Commission has determined that a 25' maximum is appropriate for historic neighborhoods. Please see design guidelines for outbuildings.*

8.Design Standards.

- a.The detached accessory dwelling shall be of similar style, design and material color as used for the principal structure and shall use similar architectural characteristics, including roof form and pitch, to the existing principal structure.
- b.The detached accessory dwelling may have dormers that relate to the style and proportion of windows on the detached accessory dwelling and shall be subordinate to the roofslope by covering no more than fifty percent of the roof.
- c.Detached accessory dwellings may have dormers that are setback a minimum of two feet from the exterior wall.

9.Historic Properties.

- a.Metro Historic Zoning Commission Action. Any existing or proposed detached accessory dwelling in a historic overlay district shall comply with the adopted regulations and guidelines of the applicable historic overlay.
- b.Detached accessory dwellings with a second story dwelling unit shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

10.Restrictive Covenant. Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the detached accessory dwelling is being established accessory to a principal structure and may only be used under the conditions listed above.

*Note: The "use" of a DADU will require approval from the Department of Codes and Building Safety. The MHZC reviews the exterior design only, based on the intended use.*

**II.B. New Construction**

**8. Outbuildings**

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

- a) Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details..

*Outbuildings: Height & Scale*

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

*Outbuildings: Character, Materials and Details*

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant*

houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.

- DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

#### *Outbuildings: Roof*

- Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.
- The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.

#### *Outbuildings: Windows and Doors*

- Publicly visible windows should be appropriate to the style of the house.
- Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.
- Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.
- For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

#### *Outbuildings: Siding and Trim*

- Brick, weatherboard, and board-and-batten are typical siding materials.
- Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
- Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
- Stud wall lumber and embossed wood grain are prohibited.
- Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

b) Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

#### *Setbacks & Site Requirements.*

- To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.

- A DADU or outbuilding may only be located behind the principal structure in the established rear yard.

*The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*

- There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

*Driveway Access.*

- On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
  - On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*
- Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

***Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.***

- The lot area on which a DADU is placed shall comply with Table 17.12.020A.*
- The DADU may not exceed the maximums outlined previously for outbuildings.*
- No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.*

*Density.*

- A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.*

*Ownership.*

- a. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.*
  - b. The DADU cannot be divided from the property ownership of the principal dwelling.*
- The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.*
  - Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.*

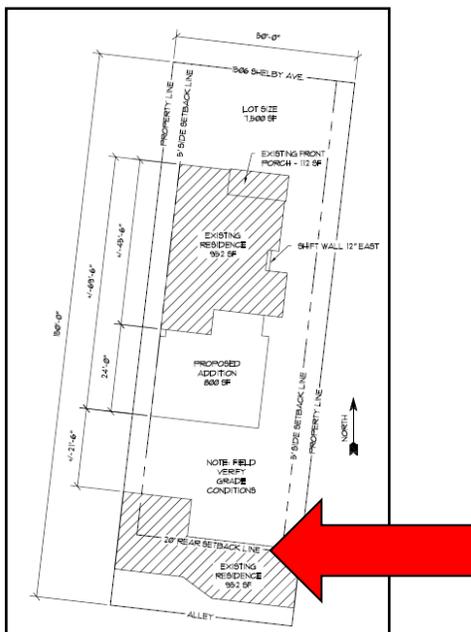
*Bulk and Massing.*

- The living space of a DADU shall not exceed seven hundred square feet.*



**Figure 1: 1506 Shelby Avenue**

**Background:** The house at 1506 Shelby Avenue is a circa 1912 Victorian cottage that contributes to the Lockeland Springs Neighborhood Conservation Zoning Overlay. The one-story house sits midblock on Shelby Avenue, between 15<sup>th</sup> and 16<sup>th</sup> Streets. An existing outbuilding sits at the rear of the property, and occupies the full width of the lot, from side property line to side property line. This non-contributing outbuilding appears to have been on the property in some form since at least 1951: it appears that two smaller outbuildings were connected. The applicant wishes to change the existing flat roof to a pitched roof, in order to gain enough head height to park an accessible van.



**Figure 2: 1506 Shelby Avenue site plan (addition to the primary structure has been constructed).**



Figure 3: 1506 Shelby Avenue existing outbuilding from alley. Arrow indicates roof peak of main house, beyond.

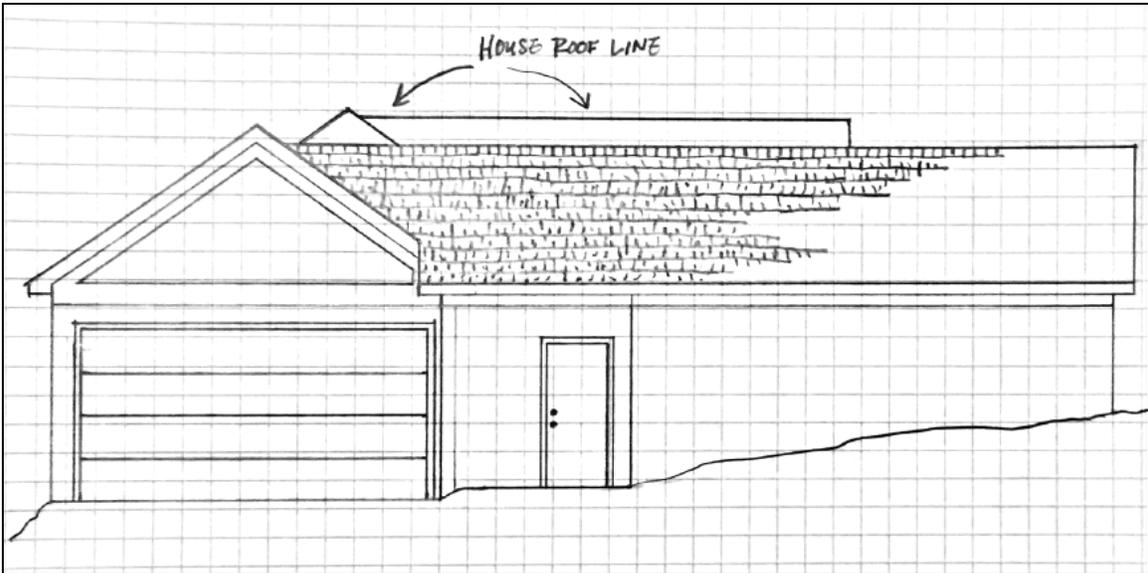


Figure 4: Proposed gabled roof. Roof peak of main house, beyond.

**Analysis and Findings:**

Roof Shape:

Proposed Element	Proposed Form	Typical of district?
Primary form	Gabled	X
Primary roof slope	~8/12	X

The roof form and slope are similar to historic outbuildings. Staff finds that the project meets Section II.B.8.a of the design guidelines.

Design Standards:

The pitched roof will allow the owner the headspace to park a van in the garage. This accessory structure has a simple, utilitarian design that is appropriate for outbuildings. Changing the roof will alter the form, but it will not make the design inappropriate for an outbuilding. The roof form, detailing, and form do not and will not contrast greatly with the primary structure. The fenestration is limited to the interior elevation, is simple and does not contrast greatly with the neighborhood context.

The design meets section II.B.8.a of the design guidelines and Section 17.16.030.G.8 of the ordinance.

Materials:

	<b>Proposed</b>	<b>Color/Texture</b>	<b>Approved Previously or Typical of Neighborhood</b>
Foundation	Cement block	Existing	X
Cladding	Cement block	Existing	X
Secondary cladding	Hardie lap siding	Smooth, maximum 5" reveal, or match house	X
Roofing	Asphalt	To match house	X
Trim	Wood or hardie	Unknown	Needs final review
Windows	Existing	Unknown	X
Doors	Not indicated	Not indicated	Needs final review
Garage door	Not indicated	Not indicated	Needs final review

The existing materials are largely appropriate for an outbuilding in Lockeland Springs. The newly created gable fields will be clad in hardi lap siding. The applicant does not intend to replace the windows, and window replacement alone is not reviewed in a conservation overlay. The pedestrian and garage doors will be replaced and Staff recommends approval of these prior to purchase and installation. With Staff approval of the final materials, the project will meet Section II.B.8.a.

Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings.

The project meets section II.B.9 of the design guidelines.

Site Planning & Setbacks:

	Rear setback	Side setbacks
All Garages more than 750 sq. ft. in footprint	5'	5'
Existing Condition	~4'	0'

The outbuilding is approximately nine hundred and fifty-two square feet (952 sq ft) and does not meet the current setback requirements and is larger than what would typically be allowed. Because the proposed work is not changing the footprint, increasing the square footage or adding an additional level and because the pitched roof will bring the building more into compliance with the design guidelines, the project meets the design guidelines.

Massing Planning:

	Potential maximums (heights to be measured from grade)	Existing conditions (height of historic portion of the home to be measured from finished floor)	Proposed
Ridge Height	25' unless existing building is less	~18'	~16'
Eave Height	1 story 10' unless existing building is less	~9'6"	Existing @ ~8' average



**Figure 5: rear of house on right and rear of existing outbuilding on left.**

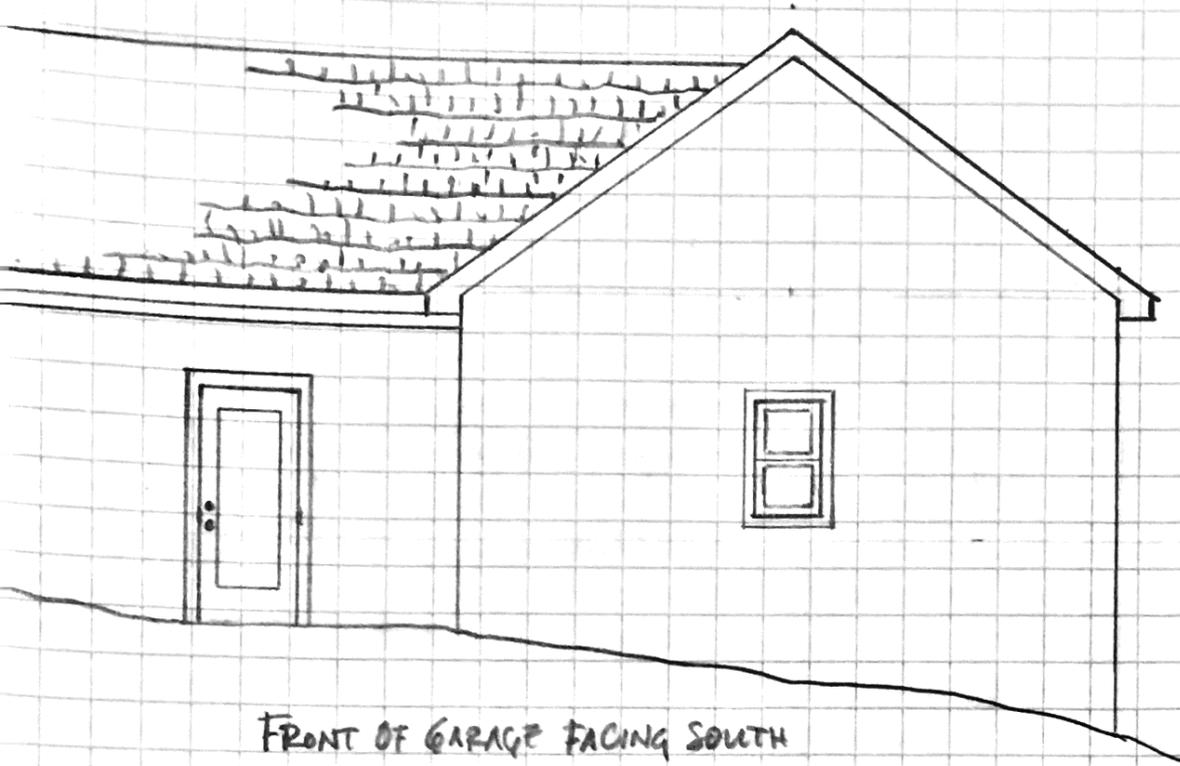
The lot is less than 10,000 square feet, at approximately 7,500 square feet.

Proposed	50% of first floor area of principle structure	Lot is less than 10,000 square feet	Proposed/Existing
Maximum Square Footage	~1,000 sq.ft.	750 sq. ft. (including porches)	952sq ft

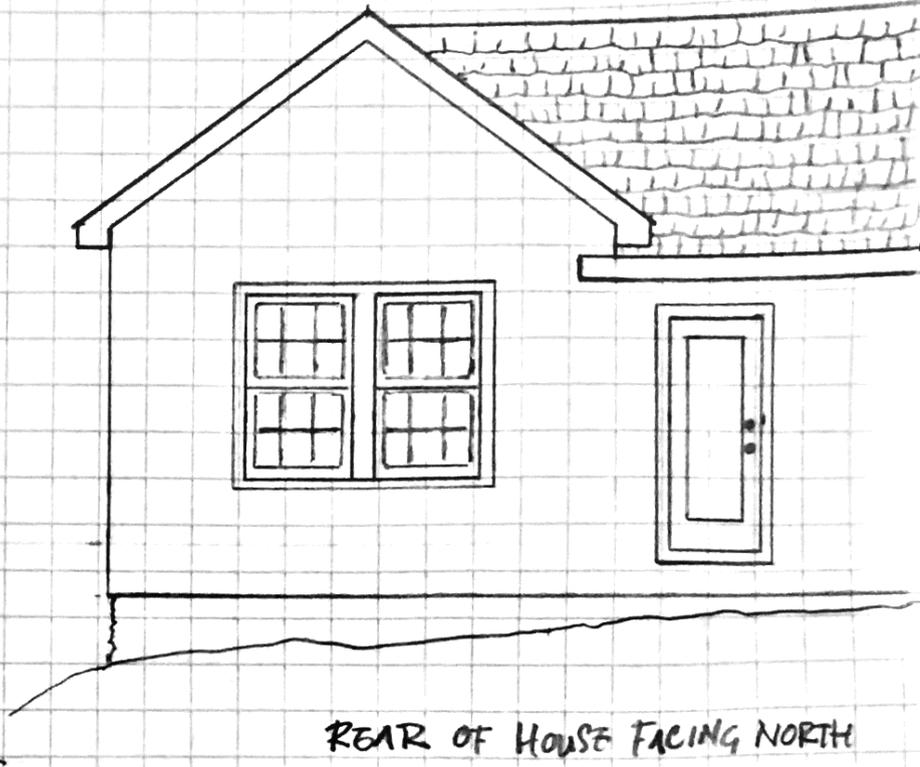
The altered roofline as proposed will continue to meet the guidelines for height, being approximately sixteen feet (16') high with an average eave height of about eight feet (8'). The building is about nine hundred and fifty-two (952) square feet, which is over the seven hundred and fifty square feet (750 sq ft) that is allowed, however, this is an existing condition and the proposed changes will bring the building more into compliance.

**Recommendation Summary:** Staff recommends approval of the proposed roof form change on the existing outbuilding, with the condition that Staff approves the trim material, pedestrian doors and garage door prior to purchase and installation; finding that the proposed work meets Section II.B.8. of the Lockeland Springs-East End Neighborhood Conservation zoning overlay design guidelines.

# 1506 SHELBY AVENUE GARAGE ROOF PROPOSAL



FRONT OF GARAGE FACING SOUTH



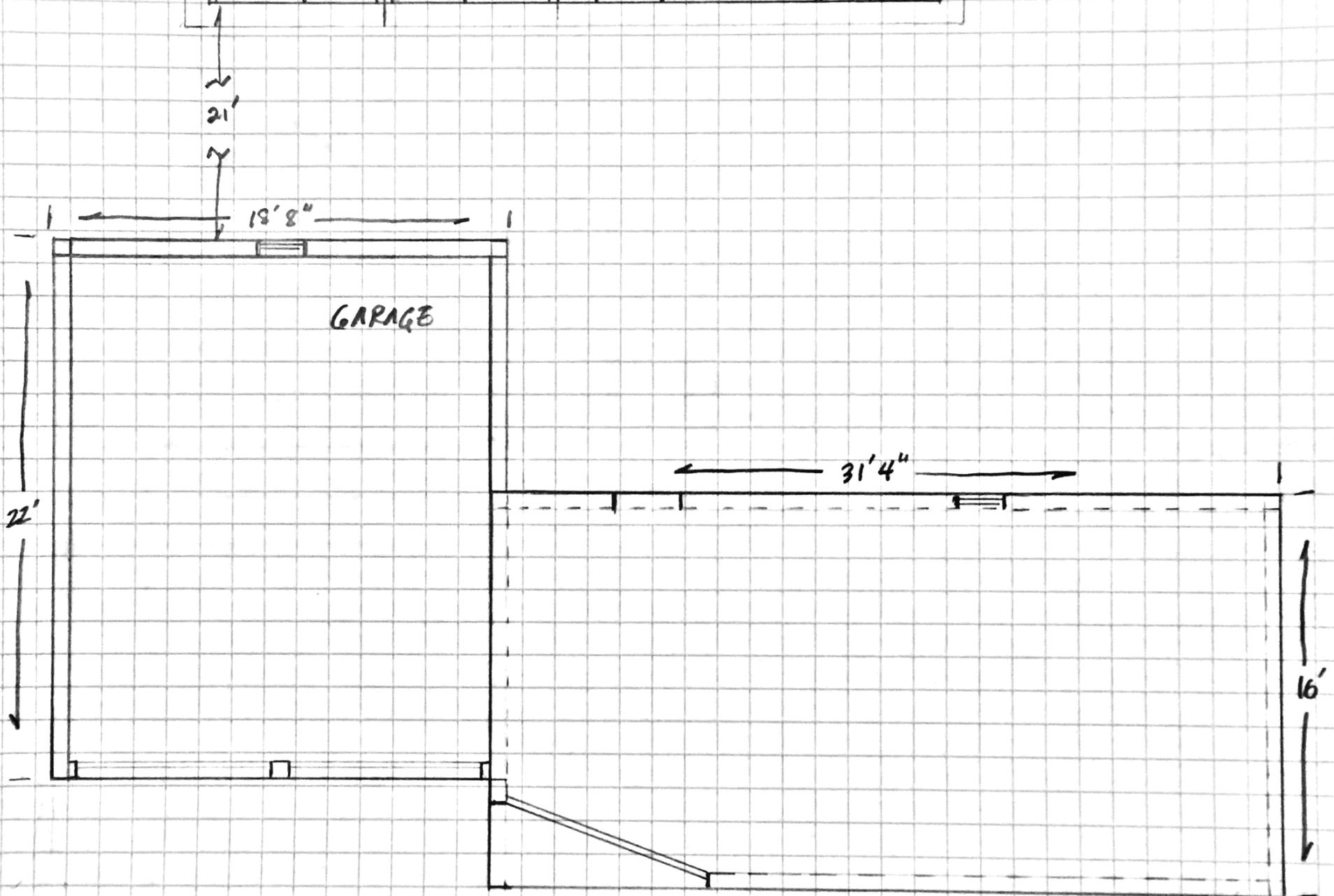
REAR OF HOUSE FACING NORTH

- ALL DRAWINGS SCALED AT  $\frac{1}{4}$ " GRID = 16"
- GARAGE ROOF WILL BE FINISHED WITH DIMENSIONAL SHINGLES OF COLOR TO MATCH HOUSE ROOF
- GARAGE GABLE ENDS WILL BE SIDED WITH HARDIE LAP SIDING @ 5" EXPOSURE TO MATCH HOUSE

1506 SHELBY AVENUE

REAR OF HOUSE

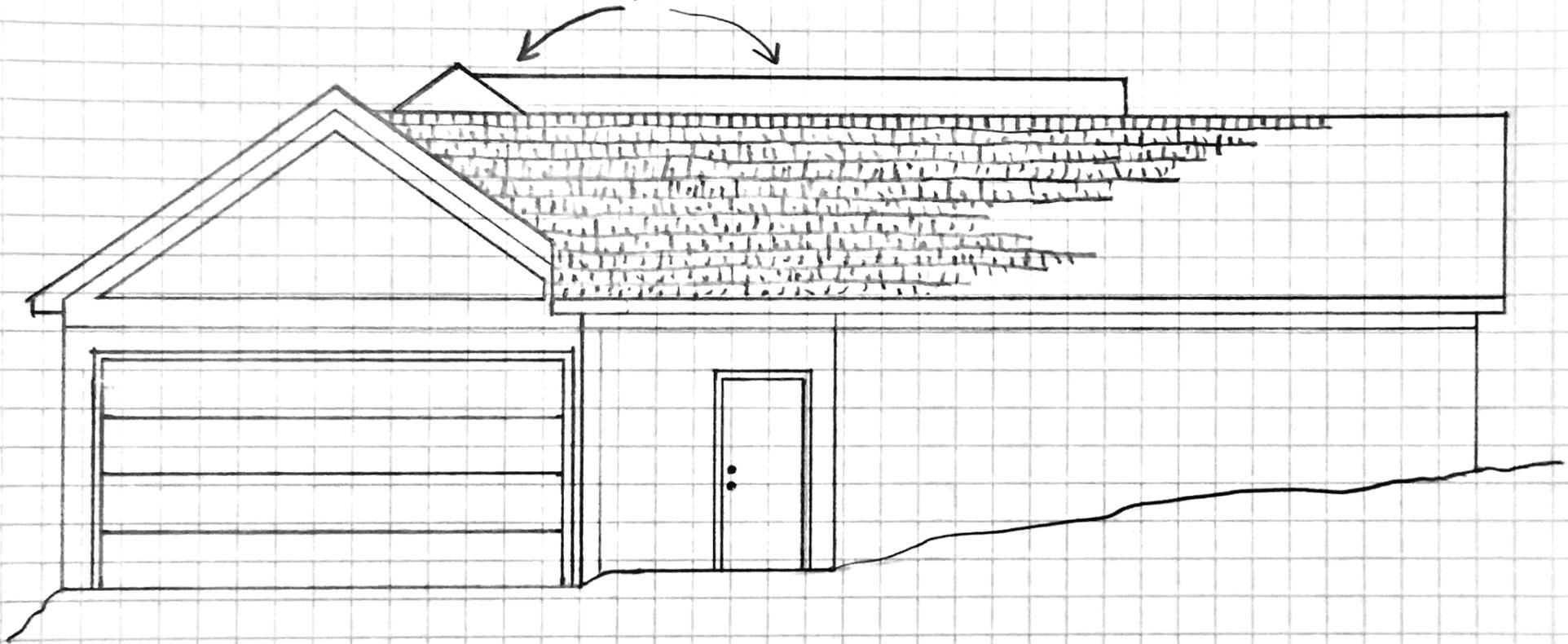
$\frac{1}{4}''$  GRID = 16''



1506 SHELBY AVENUE VIEW FROM ALLEY FACING NORTH

1/4" GRID = 16"

HOUSE ROOF LINE



1506 SHELBY AVENUE

VIEW FROM EAST FACING WEST

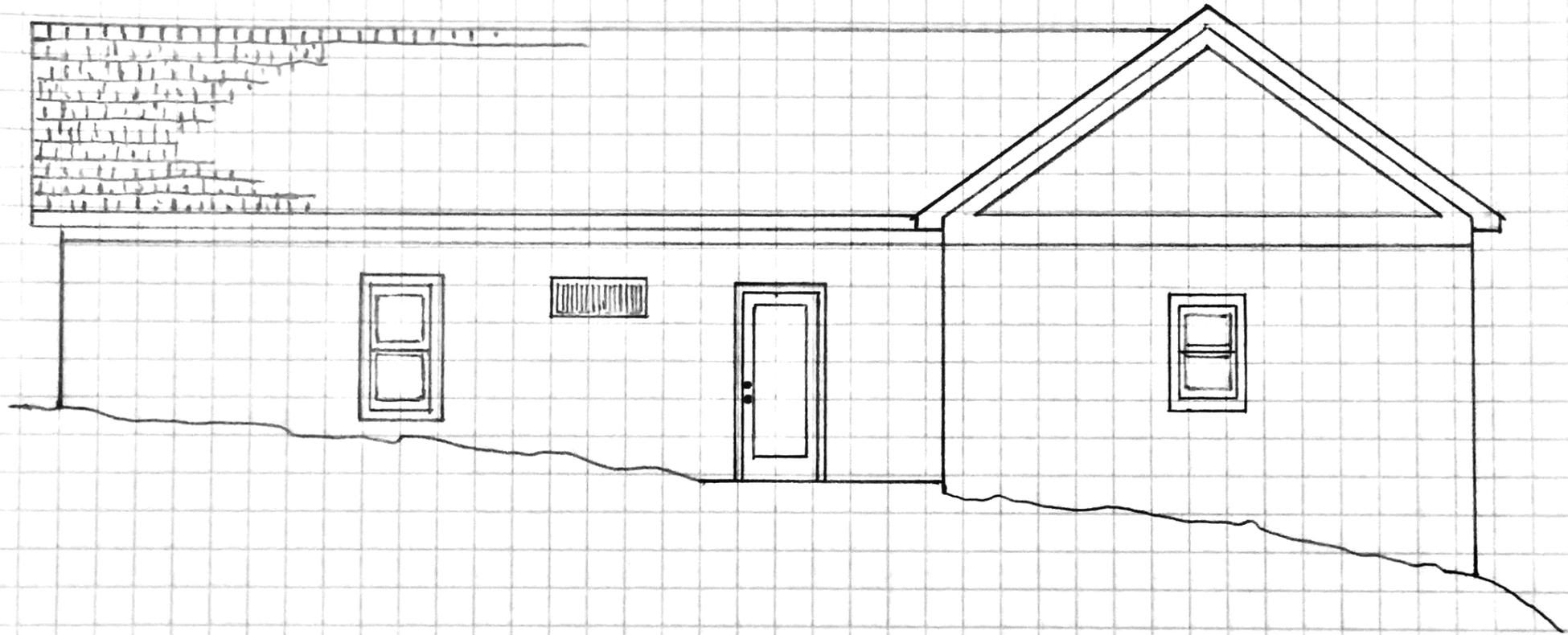
$\frac{3}{4}$ " GRID = 16"



1506 SHELBY AVENUE

VIEW FROM REAR OF HOUSE FACING SOUTH

1/4 GRID = 16"



1506 SHELBY AVENUE

VIEW FROM WEST FACING EAST

$\frac{1}{4}"$  GRID = 16"

