

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
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STAFF RECOMMENDATION
2517 Blair Boulevard
June 20, 2018

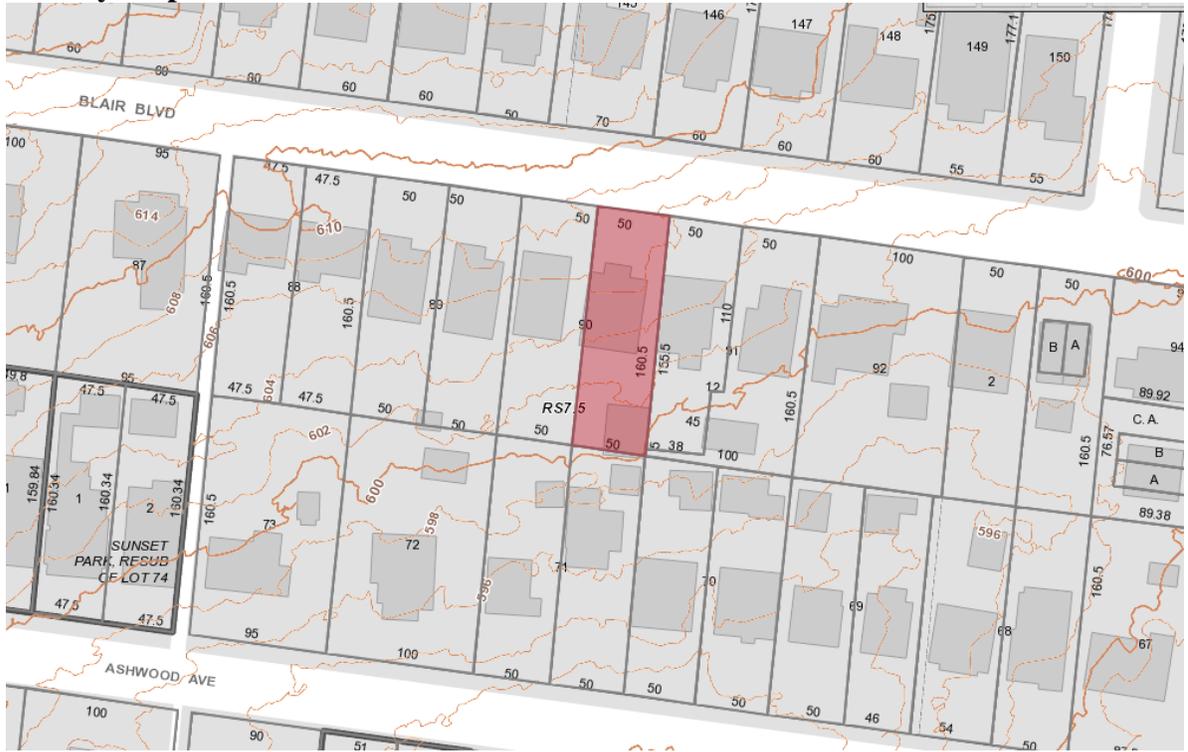
Application: New construction—addition to outbuilding
District: Hillsboro-West End Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 10415002700
Applicant: Blaine Bonadies
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is to construct a half story on top of an existing one-story outbuilding. The existing outbuilding's left facade does not meet the base zoning side setback of five feet (5'). It is between one foot and two feet, eight inches (1' - 2'8") from the left side property line. The outbuilding will not be used as a detached accessory dwelling unit.

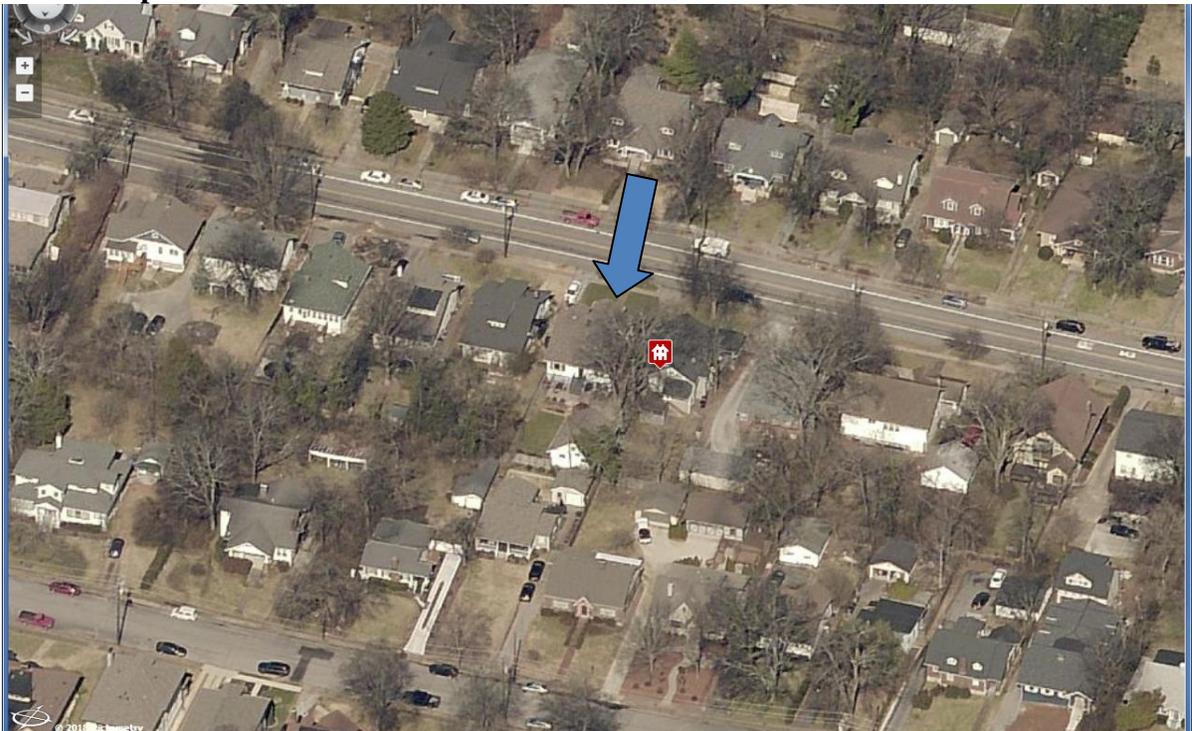
Recommendation Summary: Staff recommends disapproval of the addition to the outbuilding, finding that its roof form and setbacks do not meet Section II.B.h. of the Hillsboro – West End Neighborhood Conservation Zoning Overlay design guidelines.

Attachments
A: Site Plan
B: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

h. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- Brick, weatherboard, and board-and-batten are typical siding materials.
 - Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
 - Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
 - Stud wall lumber and embossed wood grain are prohibited.
 - Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Setbacks & Site Requirements.

· *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*

· *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*

· *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*

At least one side setback a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

· *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*

· *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

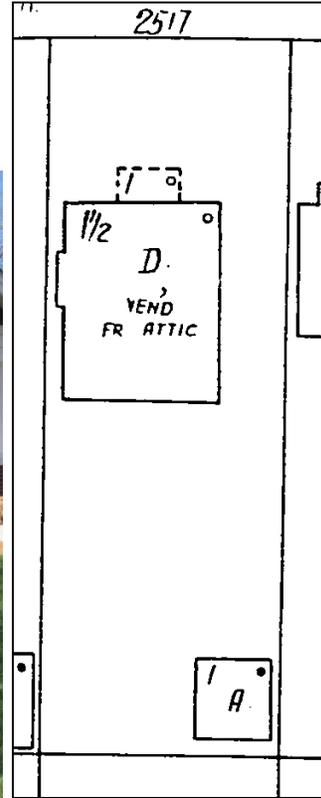
Background: 2517 Blair Boulevard is a c. 1932 brick bungalow. The date of construction of the existing outbuilding is not known, but it is likely the same structure that appears in the c. 1932 Sanborn Map (Figures 2-4). In April 2018, MHZC disapproved a proposal to construct a full second story on top of the existing garage. In May 2018, the applicant submitted new drawings, but withdrew the project just prior to the MHZC public hearing. This application is the third design submitted to staff.



Figure 1: 2517Blair Boulevard



Figure 2. The existing outbuilding



Figures 3 & 4. The 1932 Sanborn Map shows a garage that is the approximate size as the existing garage and in its approximate location.

Analysis and Findings: Application is to construct a half story on top of an existing one-story outbuilding. The existing outbuilding’s left facade does not meet the base zoning side setback of five feet (5’). It is between one foot and two feet, eight inches (1’ - 2’8”) from the left side property line. The outbuilding will not be used as a detached accessory dwelling unit.

Site Planning & Setbacks:

	MINIMUM	PROPOSED
Building located towards rear of lot	n/a	Yes
Space between principal building and DADU/Garage	20’	35’
Rear setback	3’	3’
L side setback**	5’	1’ *
R side setback**	5’	23’
How is the building accessed?	From the alley or existing curb cut	Existing curb cut

* Base zoning requires a five foot (5’) side setback when the outbuilding’s footprint is larger than seven hundred and square feet (700 sq. ft.) like this one. The existing

outbuilding is seven hundred and forty-eight square feet (748 sq. ft.). It does not meet base zoning setback on the left side. The existing structure is just one foot (1') from the left side property line towards the front and is approximately two feet, eight inches (2'8") from the side property line at its rear. Staff finds that increasing the height of the outbuilding from one-story to one-and-a-half-stories and from approximately sixteen feet (16') tall to twenty-two feet (22') tall increases the non-conformity of the setbacks and is not appropriate. Staff therefore finds that the project does not meet Section II.B.h.2 of the design guidelines.

Massing Planning:

	Existing conditions (height of historic portion of the home to be measured from finished floor)	Potential maximums (heights to be measured from grade)	Proposed (should be the same or less than the lesser number to the left)
Ridge Height	22'	25'	22'
Eave Height	10'	10'	8'

The addition to the outbuilding will increase the ridge height from sixteen feet (16') to twenty-two feet (22'), which approximates the height of the house from the foundation line. The site slopes significantly, so staff and the applicant took measurements from the foundation line for the historic house and from grade for the garage. While staff finds that the proposed ridge and eave heights meet Section II.B.1.h. of the design guidelines, staff finds that increasing the massing of the existing outbuilding to be inappropriate since the outbuilding does not meet the base zoning setbacks.

	Lot is less than 10,000 square feet	50% of first floor area of principle structure	Proposed footprint
Maximum Square Footage	750 sq. ft.	883 sq. ft.	748 sq. ft.

The addition will not increase the size of the outbuilding's existing footprint. While staff finds that the outbuilding's footprint meets Section II.B.1.h. of the design guidelines, staff finds that increasing the height and scale of the existing outbuilding to be inappropriate since the outbuilding does not meet the base zoning setbacks.

General requirements for outbuildings and DADUs: The answer to each of these questions must be “yes” for either an outbuilding or a DADU.

	YES	NO
If there are stairs, are they enclosed?	Yes	
If a corner lot, are the design and materials similar to the principle building?	N/A	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	Yes	
If dormers are used, do they sit back from the wall below by at least 2’?	Yes	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	Yes	
Is the building located towards the rear of the lot?	Yes	

While staff finds that the outbuilding’s design meets Section II.B.1.h. of the design guidelines, staff finds that increasing the height and scale of the existing outbuilding to be inappropriate since the outbuilding does not meet the base zoning setbacks.

Roof Shape:

Proposed Element	Proposed Form	Typical of district?
Primary form	Double Gable with flat roof connector	No
Primary roof slope	16/12	Yes
Dormer	Shed	Yes
Dormer roof slope	3/12	Yes

Staff has concerns about the double gable roof form on the side elevations. While the ridge and eave heights meet the design guidelines, the flat-roof connector between the two gables gives the appearance of a two-story roof form, which is not appropriate for an outbuilding behind a one-and-a-half story house.

Design Standards: The addition to the outbuilding creates a one-and-a-half story outbuilding behind a one-and-a-half story house. This could be appropriate, except that the outbuilding does not meet the base zoning setbacks. Staff finds that the design of the

addition to the outbuilding does not meet Section II.B.h.1 of the Hillsboro-West End Neighborhood Conservation Zoning Overlay design guidelines.

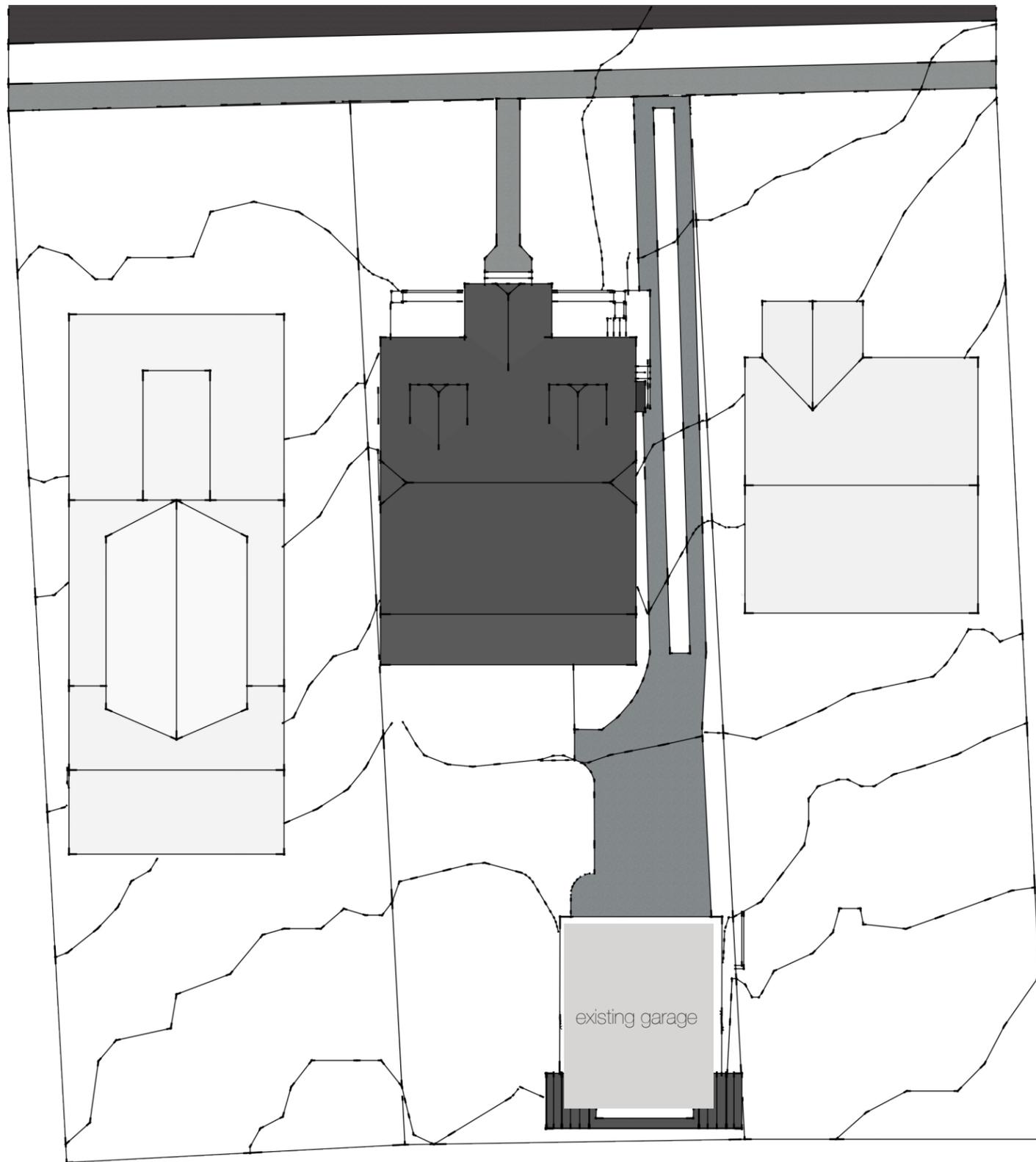
Materials:

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood
Foundation	Concrete slab	Natural	Yes
Cladding	Hardie Plank Lap Siding	4” reveal, smooth	Yes
Roofing	Asphalt shingle	color to match existing	Yes
Trim	Hardie board	Smooth	Yes
Windows	Marvin Windows	Needs final approval	TBD
Pedestrian Door	Not indicated	Needs final approval	TBD
Vehicular Doors	Carriage style garage door.	Needs final approval	TBD

With the staff’s final approval of the windows, doors, and roof color, staff finds that the known materials meet Section II.B.h.1 of the design guidelines.

Appurtenances & Utilities: No new appurtenances are noted on the plans.

Recommendation Summary: Staff recommends disapproval of the addition to the outbuilding, finding that its roof form and setbacks do not meet Section II.B.h. of the Hillsboro – West End Neighborhood Conservation Zoning Overlay design guidelines.



2519

2517

2515

site plan
scale: 1" = 20'



2517 blair blvd

nashville tn

6.11.18

