

MEGAN BARRY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**2300 10<sup>th</sup> Avenue South**  
**August 15, 2018**

**Application:** Demolition  
**District:** Waverly-Belmont Neighborhood Conservation Zoning Overlay  
**Council District:** 17  
**Map and Parcel Number:** 10513037500  
**Applicant:** Sonya Smith, owner  
**Project Lead:** Robin Zeigler, robin.zeigler@nashville.gov

<p><b>Description of Project:</b> The applicant requests full demolition of a principal building based on economic hardship.</p> <p><b>Recommendation Summary:</b> Staff recommends disapproval of the application for full demolition finding that it does not meet Section III.B.2.c for economic hardship.</p>	<p><b>Attachments</b> <b>A:</b> Biographies <b>B:</b> Photographs <b>C:</b> Public Comment <b>D:</b> Application</p>
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**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines & Ordinances:**

### **Design Guideline III.B. Demolition**

#### **1. Demolition is not appropriate**

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

#### **2. Demolition is appropriate**

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

Ordinance 17.40.420 D. Determination of Economic Hardship. In reviewing an application to remove an historic structure, the historic zoning commission may consider economic hardship based on the following information:

1. An estimated cost of demolition and any other proposed redevelopment as compared to the estimated cost of compliance with the determinations of the historic zoning commission;
2. A report from a licensed engineer or architect with experience in rehabilitation as to the structural soundness of the subject structure or improvement and its suitability for rehabilitation;
3. The estimated market value of the property in its current condition; its estimated market value after the proposed undertaking; and its estimated value after compliance with the determinations of the historic zoning commission.
4. An estimate from an architect, developer, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure.
5. Amount paid for the property, the date of purchase, and the party from whom purchased, including a description of the relationship, if any, between the owner of record or applicant and the person from whom the property was purchased, and any terms of financing between the seller and buyer.
6. If the property is income-producing, the annual gross income from the property for the previous two years; itemized operating and maintenance expenses for the previous two years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period.
7. Any other information considered necessary by the commission to a determination as to whether the property does yield or may yield a reasonable return to the owners.
8. Hardship Not Self-Imposed. The alleged difficulty or hardship has not been created by the previous actions or inactions of any person having an interest in the property after the effective date of the ordinance codified in this title.

*(Ord. BL2012-88, § 1, 2012; Ord. 96-555 § 10.9(C), 1997)*



Figure 1. 2300 10<sup>th</sup> Avenue South

**Background:** 2300 10<sup>th</sup> Avenue South is a contributing building in the Waverly-Belmont Neighborhood Conservation Zoning Overlay. It was constructed c.1930 and is a one-story home with a recessed corner porch.

The applicant has been working with Staff on solutions to the request for additional square footage since 2015, via phone and in-person meetings. In April of 2016 a rough draft of an addition was submitted. Staff recommended some minor alterations to the draft, prior to submitting an application, to ensure approval. No applications for additions or an outbuilding have been received.

Staff has also worked with the applicant on the question of demolition, as the applicant would like to construct two detached homes. 2300 10<sup>th</sup> Avenue South is zoned R8. It is a substandard lot so would generally not be allowed to have two units. Codes Director, Bill Herbert (then Codes Zoning Administrator), sent a letter to the property owner on February 24, 2016 stating that the property did not have enough square footage to allow for two units but that she had proven a non-conforming use allowing for two units. However, if more than 50% of the building is demolished then only a single-family use can be realized, the non-conforming use will be lost. He confirmed this with staff on 7/12/18, via email. Staff toured the interior and exterior on October 10, 2017 and advised the applicant that the property did not likely meet the standards for economic hardship but provided information on how to apply.

## **Analysis and Findings:**

Explanation of Economic Hardship and Application Requirements: Since it is the Commission's primary goal to ensure the preservation of historic buildings, demolition requests are reviewed by staff in great detail providing not only an analysis of the information given but an analysis of what questions remain. It is the responsibility of the applicant to prove hardship rather than for staff to disprove hardship. According to articles published by the National Trust for Historic Preservation and the National Alliance of Preservation Commissions, economic hardship requires a property owner to establish that disapproval of demolition denies them of all reasonable beneficial use or return on the property. The design guidelines define economic hardship as "a condition that warrants the demolition of a contributing structure where the cost of a structure plus the cost of repairs to make it habitable are greater than the market value of the structure. Economic hardship may be caused by, but not limited to structural damage, termite damage and fire damage. This exception shall not apply to any property owner who creates a hardship condition or situation as a consequence of their own neglect or negligence."

Among the criteria listed in the ordinance for the Commission to consider, is that the hardship is not self-imposed. The current owner has owned the property since 2003. The applicant has submitted information stating that building was rehabilitated in 2008. The project included painting brick, replacement windows, and construction of a rear addition. Staff suggests that these items do nothing to maintain the home, in fact, the painting of masonry can cause water to become trapped within walls. The engineer report reinforces the assumption of lack of maintenance by stating that the alterations "carried out over time may have an effect on how the building appears but not necessarily improves the structural performance." The applicant provided info stating that she has spent \$12 a year on maintenance, for at least the past two years. If a hardship is present, it may be due to the lack of regular maintenance.

### Engineer's Report Analysis:

The engineer summarizes that the building is in "good condition" and is "stable." He further states that "when viewed as a whole there is opportunity to both improve the quality of the existing structure while retaining as much of the existing structure as possible to satisfy the existing Neighborhood Conservation Zoning Overlay." Several repairs are recommended, much of it to allow for a renovated basement apartment. The report states that no work is needed for safe occupation of the building but that the basement apartment requires immediate attention "if owner desires maximum income potential." Economic hardship is in place to ensure that an owner has reasonable use, not necessarily the highest and best use of the property. The fact that the building has a safe and stable use as a single-family home means that it does not meet the standards for economic hardship.

Post-Rehab Valuation: Since the engineer report does not state the building is beyond repair, then the valuation of needed repairs is not relevant to economic hardship question;

however, to provide a complete view of the proposal, Staff analyzed the information provided and found that there is potential for the owner to make a profit on the building.

The property owner did not provide a purchase price, stating that the property was conveyed to her by her grandmother. A quit claim deed, found by staff, notes that the property was conveyed for \$10.

The applicant provides two estimates and two different values for the property. One of the values comes from Realtor Debbi Howard and is a range between \$350,000 and \$380,000. Another value is a print out from the website Realtrac for \$425,000. The Realtor estimate is current value and the Realtrac estimate also appears to be current value rather than post-rehab value.

Two different repair/rehab options are provided by the engineer who conducted the inspection. One option is water management and the second includes water management as well as rehabilitation of the basement apartment. As stated previously, Staff does not find renovation of the apartment to be a part of an economic hardship analysis. However, even if the apartment estimates are used in calculating value, the owner will profit. Estimates provided were not broken down; which is a condition that the Commission generally requires; however, in this case, even if all expenses are included, the applicant has the opportunity to make a profit. All calculations result in a profit for the owner.

A realtor provided an estimate for new construction of two homes which she obtained from a general contractor. If more than 50% of the building is lost then the applicant will not be able to construct two separate homes, according to the Code department, so these estimates are valid. In addition, since a profit can be made with the existing building, comparison to new construction is not valid to an economic hardship argument.

**Summary of Information Provided by Applicant**

	<b>Engineer Estimate A</b>	<b>Engineer Estimate B</b>
Rehab estimates plus purchase price	<b>17425</b>	<b>155,000</b>
Two Potential Post Rehab Values	\$350,000-380,000/ \$425	\$350,000-380,000/ \$425
<b>POTENTIAL PROFIT</b>	<b>\$332,565-362,565 /\$407,565</b>	<b>\$194,990-224,990/ \$269,990</b>

\*Even if the owner’s mortgage is considered, which is not typically included in an economic hardship evaluation when the mortgage does not represent purchase price, the owner will profit.

**Recommendation:**

Staff recommends disapproval of the application for full demolition finding that it does not meet Section III.B.2.c for economic hardship.

## **ATTACHMENT A**

### **BIOGRAPHIES FOR REPORT RESEARCH & WRITERS**

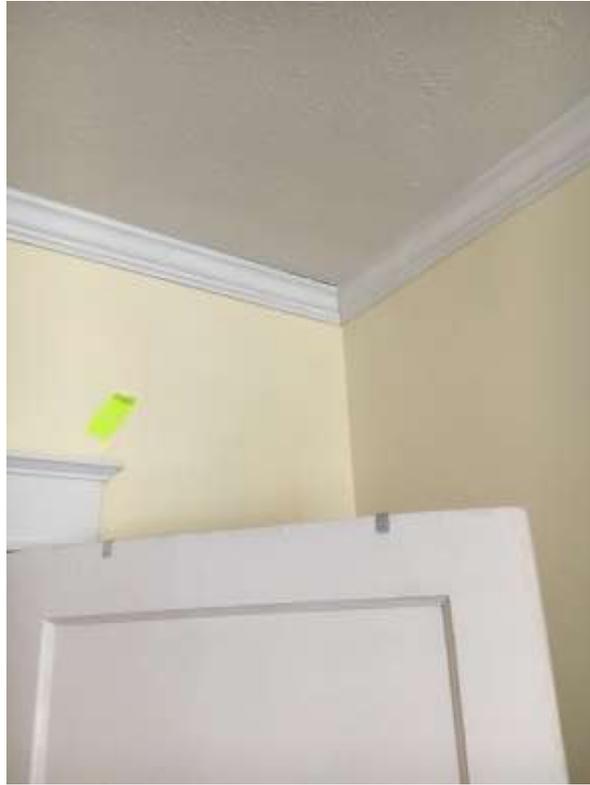
Tim Walker is the Director of the Metropolitan Historical Commission, which is the steward of two commissions which guide historic preservation projects for Metropolitan Nashville and Davidson County. Walker has a Bachelor of Architecture (Magna Cum Laude) from the University of Tennessee at Knoxville and a Master of Science in Public Service Management from Cumberland University. Tim has 25 years of experience in the fields of architecture and historic preservation.

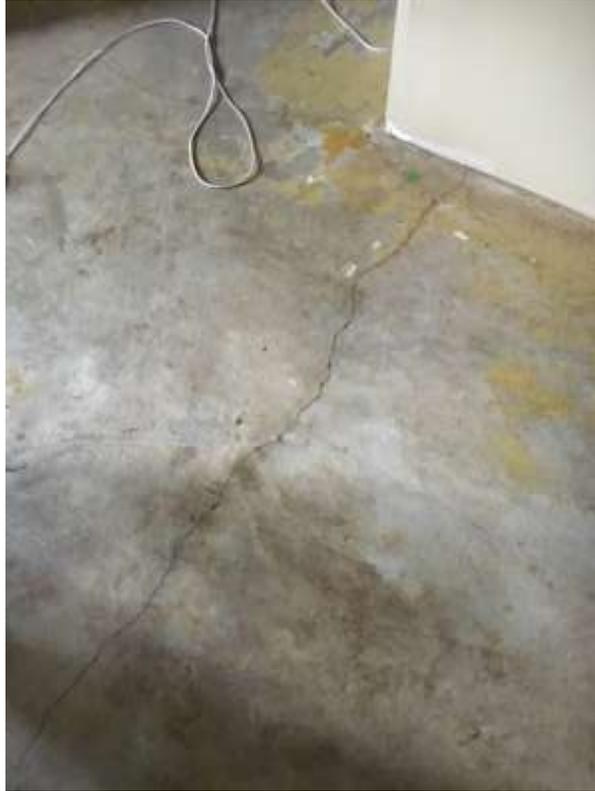
Robin Zeigler is the Historic Zoning Administrator with the Metropolitan Historic Zoning Commission. She has been a local preservation specialist for more than 12 years working as the Senior Historic Preservation Planner for the Planning Division of the Salt Lake City Corporation and the Preservation Planner for the City of Bowling Green in Kentucky. In addition she has taught historic preservation planning as an adjunct professor at Western Kentucky University. She is a former board member of the National Alliance of Preservation Commissions. Zeigler holds a graduate degree from Middle Tennessee State University's Public History Program.

Paul Hoffman is a Historic Preservationist 1 with the Metropolitan Historic Zoning Commission. For more than a decade prior to joining MHZC, he worked on rehabilitation and preservation projects on historic structures in middle Tennessee, including the Tennessee State Capitol, Ryman Auditorium, Belmont Mansion, and Rosenwald schools in Sumner County. Paul earned his M.A. in the historic preservation program at Middle Tennessee State University, specializing in early Tennessee history and building pathology.

**ATTACHMENT B: PHOTOGRAPHS**  
**Staff site visit on October 10, 2018**

















## PUBLIC COMMENT

**From:** Carol Ashworth

**Sent:** Friday, July 13, 2018 3:25 PM

**To:** Walker, Tim (Historical Commission); Zeigler, Robin (Historical Commission); Sledge, Colby (Council Member)

**Subject:** 2300 10th ave so

Hello all- I am out of the county and cannot attend the hearing but I want to go on record as opposing the demolition of this historic house. This is one of the oldest and most architecturally interesting houses in the neighborhood. I'm also concerned that William Smallman is the developer. He is not trustworthy. Very sad he has this unique property that deserves a sensitive and respectful renovation.

Thanks-carol ashworth  
919 caruthers ave.

Get [Outlook for iOS](#)

-----Original Message-----

From: Heather Andrews

Sent: Sunday, July 15, 2018 2:53 PM

To: Zeigler, Robin (Historical Commission)

Cc: Walker, Tim (Historical Commission); Sledge, Colby (Council Member); kconleytn@gmail.com

Subject: 2020 and 2300 10th Ave South Homes

> Dear Robin, Colby and Tim,

> I'm writing to ask that you do everything you can to help protect the historic home at 2020 10th Ave South as well as the home at 2300 10th Ave S. I drive by these beautiful homes everyday. It would be so sad if they get torn down.

> The developer (at least of 2020) purchased the property knowing it was in a conservation overlay. Allowing the developer to tear down the house would set a bad precedent.

> Please help to preserve this house and our neighborhood.

> Sincerely,  
> Heather Andrews  
> Nashville, TN  
> 37204

-----Original Message-----

From: Meitra Aycock

Sent: Sunday, July 15, 2018 8:05 AM

To: Zeigler, Robin (Historical Commission); Walker, Tim (Historical Commission); Sledge, Colby (Council Member)

Cc: Kerry Conley

Subject: Homes on 10th Ave

Robin, Tim and Colby - Kerry Conley let me know of two homes on 10th Ave that have asked for an exception to our conservation overlay. I am writing to you to express my concern about allowing such

variances to the overlay that this neighborhood (and me personally) fought so hard to secure. I trust you heard our voices and understand how destructive these exceptions would be. I ask that you please deny these requests and keep our overlay in tact.

I am unfortunately unable to attend the meetings in person since they are scheduled during the time I am working, but please know I will be there in spirit with the rallying cry that we must protect our neighborhood from further exploitation from developers and residents who are seeking to make some easy money and exit the neighborhood. We plan on living here a very long time and need your protection.

Meitra Aycock  
2300 Elliott Ave (built in 1875)  
(615)336-0733

**From:** Cathy Kelly  
**Sent:** Friday, July 13, 2018 8:06 PM  
**To:** Walker, Tim (Historical Commission)  
**Subject:** Fwd: Please don't demo

Sent from my iPhone

**From:** Cathy Kelly

**Date:** July 13, 2018 at 4:57:51 PM AKDT  
**To:** [robin.zeigler@nashville.gov](mailto:robin.zeigler@nashville.gov), [tim.walker@nashvill.gov](mailto:tim.walker@nashvill.gov), [Colby.Sledge@nashville.gov](mailto:Colby.Sledge@nashville.gov)  
**Subject:** Please don't demo

Please don't demo 2020 and 2300 10th ave s. The community fought long and hard for a conservation overlay and it is meaningless if exemptions to the overlay are granted all the time.

Thank you  
Cathy Jennings  
807 Montrose ave  
Nashville TN 37204.

Sent from my iPhone

**From:** Diana Giles  
**Sent:** Monday, July 16, 2018 3:14 PM  
**To:** Zeigler, Robin (Historical Commission); Walker, Tim (Historical Commission); Sledge, Colby (Council Member)  
**Subject:** 2 historic homes on 10th

Please deny the request to demolish the following homes: 2020 10th Ave S and 2300 10th Ave South. Both are within the overlay area and are in good enough shape to remain standing. We worked very hard to get this overlay in place to prevent such a thing from happening.

Thanks.

All the best,

**Diana Giles, Realtor®, RCS-DTM Trained by Vanderbilt Law**  
**Mobile: (615) 428-7627**

**Chamberlain Realty, LLC**  
**113 Shivel Drive**  
**Hendersonville, TN 37075**  
Office: (615) 757-3627

**From:** Caroline Duley  
**Sent:** Wednesday, July 18, 2018 7:52 AM  
**To:** Walker, Tim (Historical Commission) <Tim.Walker@nashville.gov>; Zeigler, Robin (Historical Commission) <Robin.Zeigler@nashville.gov>; Sledge, Colby (Council Member) <Colby.Sledge@nashville.gov>  
**Subject:** Deny demolition of 2020 10th Ave S and 2300 10th Ave S

Please deny the demolition of [2020 10th Ave South](#) and [2300 10th Ave South](#). Both are contributing historic homes in the Waverly Belmont Overlay.

We worked hard to get this overlay passed with an overwhelming majority of neighbors. Both of those homes should be preserved as the overlay intended. Allowing their demolition would set a bad precedent.

Sincerely,  
Caroline Duley  
900 Waldkirch Ave

**From:** Debra Dickey  
**Sent:** Wednesday, July 18, 2018 8:46 PM  
**To:** Walker, Tim (Historical Commission); Zeigler, Robin (Historical Commission); Sledge, Colby (Council Member)  
**Subject:** DENY DEMOLITION of 2020 10th Ave S. and 2300 10th Ave S

Please deny the demolition of 2020 10th Ave South and 2300 10th Ave South. Both are contributing historic homes in the Waverly Belmont Overlay.

We worked hard to get this overlay passed with an overwhelming majority of neighbors. Both of those homes should be preserved as the overlay intended. Allowing their demolition would set a bad precedent.

*Sincerely,*

*Debra Dickey*  
*2813 Sherbourne Ave 37204*

**From:** Nathan Hubbard [<mailto:nathan@mybrainhurts.com>]  
**Sent:** Wednesday, July 18, 2018 9:40 AM  
**To:** Zeigler, Robin (Historical Commission); Walker, Tim (Historical Commission); Sledge, Colby (Council Member)  
**Cc:** Kerry Conley  
**Subject:** deny demo on 10th ave houses

Robin, Tim, & Colby,

I oppose the demolition requests at 2020 and 2300 10th ave. As a neighbor that worked to implement the overlay that protects houses in Waverly Belmont/12 South, I'm angered to hear this. Greed and profit have once again come in to destroy what what we have fought to preserve.

I know the owner of 2300 10th personally, she is 5 houses up the street from us. She's been trying for at least 6 years to figure out how to put 2 houses on her undersized lot and cash out. Her claims of disadvantage are bogus in the context of tearing down a house to make more money. All her direct neighbors, who would be the most affected, oppose this, but she doesn't seem to mind. This cash-out mentality must be stopped.

The neighborhood has spoken, and the collective voice wants to protect, not tear down. Please deny these requests and send a message to home owners and profiteers that this sort of thing will NOT fly in a NCZO in Nashville.

As a side note, I'm also appalled to hear that the 2020 10th property was allowed to be subdivided. No-one that looks at that property thinks '2 houses', they think 'slightly larger yard'. It should never have happened.

Thank you,

Hubbard Family  
915 Waldkirch Ave

**From:** David Sprouse [david@dpsprouse.com]  
**Sent:** Tuesday, July 17, 2018 8:35 AM  
**To:** Sledge, Colby (Council Member); Walker, Tim (Historical Commission)  
**Cc:** Zeigler, Robin (Historical Commission); Kerry Conley  
**Subject:** Protect our historic neighborhood and enforce our overlay

I am writing to express my concern that two contributing historic homes protected by the Waverly-Belmont conservation overlay are being considered for demolition. The houses in question most certainly contribute to the historic fabric of this neighborhood, and I strongly object to their demolition. Our neighborhood worked tirelessly to implement a conservation overlay, and it should be vigorously maintained.

For twenty years, I have admired the historic home located at 2020 10th Ave. South - eager to see the day it would be restored to the full potential of its historic character. And now, a developer seeks it wholesale demolition? This action is completely unacceptable. In addition, the bungalow at 2300 10th Ave. South appears to have been recently rehabilitated. Its demolition clearly falls outside the bounds of the conservation overlay's promised protections.

Our city cannot afford to lose any more of its historic properties. Nearly 700 homeowners entered into a pact with the city to prevent the destruction of historic homes in our neighborhood ... and a deal is a deal.

Protect our historic neighborhood and enforce our overlay!

Sincerely,  
David and Carrie Sprouse  
2033 Elliott Avenue  
Nashville, TN 37204  
[david@theothercentury.com](mailto:david@theothercentury.com)  
[carrie@carriemcgee.com](mailto:carrie@carriemcgee.com)



# PRESERVATION PERMIT APPLICATION

## METROPOLITAN HISTORIC ZONING COMMISSION

3000 Granny White Pike, Nashville, TN 37204  
615-862-7970, 615-862-7974 fax; HistoricalCommission@nashville.gov

**DEADLINE:** Complete applications must be received a minimum of 16 days prior to the next MHZC hearing which takes place on the third Wednesday of the month. Please visit [www.nashville.gov](http://www.nashville.gov) for the schedule. Incomplete applications will not be scheduled until all information has been received.

**PROPERTY ADDRESS:** 2300 10th Ave. South Nashville, TN 37204

**APPLICANT** (All communication by phone, fax, email or mail will be with the applicant.)

Name Sonya Smith

Mailing Address 2300 10th Ave. South

City Nashville Zip Code 37204

Contact Phone 615.445.5973 Fax Number \_\_\_\_\_ Email ssmith5252@aol.com

Owner  Contractor  Architect/Designer  Other \_\_\_\_\_

**PROPERTY OWNER** (If different from applicant.)

Name \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ Zip code \_\_\_\_\_

Contact Phone \_\_\_\_\_ Fax Number \_\_\_\_\_ Email \_\_\_\_\_

**TYPE OF WORK**  New Construction (Addition)  Demolition  Renovation  Other \_\_\_\_\_

(Only exterior projects are reviewed.)

**DESCRIPTION OF WORK** (Please use a separate sheet of paper for longer descriptions.)

Demolition of existing home

Any substitution or deviation from the approved work items listed on the Preservation Permit requires further review and approval by the Historic Zoning Commission prior to being undertaken. Accurate scale elevations, drawings, and site plans are needed for project review. The MHZC retains copies of all materials submitted.

**Does the project require an alteration to base zoning?**

**Yes** If yes, please see "Setback Determinations" at the bottom of page 2 for notification information. If notice is not met, project review will be delayed until the following public hearing.

**NO** If no, notification by the applicant is not required.

**Estimated Cost of Work** \$155,000

**Code Administration's Temporary Bldg Permit #** \_\_\_\_\_

(This number starts with a "T" followed by the year. It may also be obtained later.)

**Covenant Instrument #** \_\_\_\_\_

(Required for Detached Accessory Dwelling Units)

**SIGNATURE** Sonya Smith

**DATE** 7/8/18

I/We the above signed do hereby make application for a Preservation Permit following plans and proposals to be undertaken within the boundaries of an historic preservation overlay pursuant to Article IX of the Metropolitan Code.

**SUBMIT FORM VIA EMAIL**

## INFORMATION TO BE SUBMITTED WITH APPLICATION

Complete applications will be given a disapproval recommendation from Staff (unless the applicant chooses to defer the public hearing in order to submit a completed application). Design Guidelines available online at <http://nashville.gov/Historical-Commission/Services/Preservation-Permits/Districts-and-Design-Guidelines.aspx>.

### ECONOMIC HARDSHIP (Demolition request for historic building.)

The Economic Hardship process is to determine the economic hardship as it relates to the cost associated with the property, not the financial stability of the property owner. It is the responsibility of the applicant to prove a hardship.

The following are recommended items that will assist the staff or MHZC in its review of your application :

- ✓ Estimated cost of demolition
- ✓ Detailed report from a licensed engineer outlining each issue and including photographs. Complete reports generally include qualifications of inspector noting his/her preservation technology experience, findings, methodology, information keyed to photographs, source of information, scope of services requested by applicant.
- ✓ Estimated market value of current condition and after alterations to meet basic code requirements
- H/DA ✓ Two detailed estimates from an architect/designer, developer, general contractor or other real estate professional experienced in rehab. Preferably, the estimates should include the preservation qualifications of the estimator
- ✓ Amount Paid for the property, date of purchase, who purchased from including a description of the relationship, if any, and terms of financing between seller and buyer
- ✓ For income producing properties: Annual gross income for the previous two years, itemized operating and maintenance expenses for the previous two years, and depreciation deduction and annual cash flow before and after debt service.
- ✓ Remaining balance on the mortgage or other financing secured by the property and annual debt-service, if any, during the prior three years
- ✓ Assessed value of the property according to the two most recent assessments
- ✓ Real estate taxes for the previous four years and assessed value of the property according to the two most recent assessed valuations
- NIPY ✓ All appraisals obtained within the last two years by the owner or applicant in connection with the purchases, financing or ownership of the property
- ✓ Form of ownership or operation of the property, whether sole proprietorships, for-profit or not-for-profit corporation, limited partnership, joint venture or other
- ✓ Any listing of the property for sale or rent, price asked, and offers received if any, within the previous two years, including testimony and relevant documents regarding: any real estate broker or firm engaged to sell or lease the property, reasonableness of price or rent sought by the applicant and any advertisements placed for the sale or rent of the property
- H/DA ✓ Evidence of due diligence conducted prior to purchase, that would have revealed the existence of the overlay.
- ✓ Evidence of regular maintenance of the property
- ✓ Feasibility of alternative uses for the property that could earn a reasonable economic return
- H/DA ✓ Any inspection reports conducted prior to purchase, if the building has been purchased in the last 12 months
  - Evidence that substantial avenues for reuse were attempted, which may include actions such as:
    - Applied for 20% Rehab Tax Credits and the results
    - Applied for historic preservation grant with the Tennessee Historical Commission and the results
    - Researched and applied for any other financial assistance that may be available for historic resources, the business planned, or rehabilitation and the results
    - Worked with MHZC Staff on the possibility of an addition that would make rehab more viable
    - Considered construction of detached accessory dwelling unit
  - Any additional information requested
  - See all provisions of MCL § 17.40.420.D

**SUBMITTING AN APPLICATION** Applications may be scanned and emailed to [HistoricalCommission@nashville.gov](mailto:HistoricalCommission@nashville.gov).

**ECONOMIC HARDSHIP**

**Application Request**

**Submitted by Sonya Smith**

**2300 10<sup>th</sup> Ave S**

**Nashville, TN 37204**

## Estimated cost of demolition

*\$15,000.00*

Sonya D. Smith  
2300 10<sup>th</sup> Avenue South  
Nashville, Tennessee. 37204

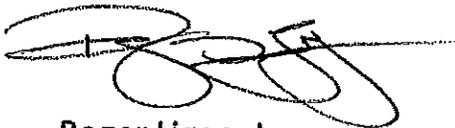
RE: House Demolition

Ms. Smith,

I.C.F. would like to provide our proposal for house demolition services at 2300 10<sup>th</sup> Avenue South here in Nashville. This demolition proposal includes demolishing all visible structures from the roof to the sub grade footings of a 1,342 square foot home at the above listed address. All utilities used by the home must be disconnected by the home owner prior to work commencing. All demolished materials will be disposed of off-site in accordance with state and local laws.

The price to complete this work will be 15,600.00, and should take 2 consecutive business days. All permits are included in this proposal. If you are interested in us demolishing this home please call me at 615-207-3943.

Thanks



Roger Ligon, Jr.  
Vice President

Detailed report from a licensed engineer  
outlining each issue and including  
photographs

*See attached*

**Residential Property**  
**Structural Condition Assessment Report**

*Prepared For*

**Sonya Smith**

*Conducted On*

Residential Single Family Home

**2300 10<sup>th</sup> Avenue South**

**Nashville, TN 37204**

May 31, 2018

## PROJECT INFORMATION

**In Regards To:** 2300 10<sup>th</sup> Avenue South, Nashville, TN 37204  
**Prepared For:** Sonya Smith  
**Requested By:** Sonya Smith  
**Date of Inspection:** May 9, 2018  
**Soil & Weather:** Dry Soil & Sunny – 88 Deg F  
**Parcel ID:** 10513037500

Tyler Construction Engineers, P.C. was engaged by Ms. Sonya Smith, owner-occupant, to conduct a limited assessment of the existing structure as referenced above and evaluate the general condition relative to the structural condition of the structure, identify signs of overstress/failure, excessive settlement, movement, deformation, cracking, and provide general recommendations for repair, rehabilitation, demolition or a combination thereof. To advise owner as the condition of the structure for continued safe occupancy for next 12 years leading into and through her retirement years.

For questions or comments or to obtain additional information presented in this report, please contact:

**Victor C. Tyler, P.E., M.ASCE, NSPE**  
President, Tyler Construction Engineers, P.C.

810 Dominican Drive  
3<sup>rd</sup> Floor  
Nashville, TN 37207  
Email: victor@tyler-engineers.com

## PURPOSE & SCOPE OF THE INSPECTION

This is a visual inspection of readily accessible areas on the residential property and not technically exhaustive. Some items e.g., materials, components, electrical outlets are inspected on a random sampling basis. The investigation was further limited to readily-visible elements without removing finishes, cladding, coverings, and other obstructions to expose concealed conditions.

The following items were outside the scope of the assessment and are not included in this report:

- Destructive and non-destructive materials testing and inspection.
- Environmental issues such as radon, asbestos, lead-based paint, mold, air-borne pollutants, etc.
- Hazardous materials sampling, testing and inspection.
- Review of existing conditions for conformance to past or current Building Code requirements.
- Energy modeling and energy code analysis.
- Historical and archeological studies, including preservation and restoration.
- Review of existing building MEP systems, equipment, and utility services to the property.

Normal "wear and tear," such as smudges of paint, marring of woodwork, stains on floors or wood floors, etc., are not necessarily part of this report.

This report summarizes the site visit, visual assessment and opinion regarding the general condition of the structure located at 2300 10<sup>th</sup> Avenue South in the city of Nashville, Davidson County, Tennessee, and recommendations for repair, rehabilitation, demolition or a combination thereof.

## EXISTING BUILDING INFORMATION

Record drawings documenting the building's original design and construction were not available for our use in performing the assessment and preparing this report. However, the following general information was determined based on limited existing documentation or observations made during the site visit.

The subject property contains a single-family building with a basement apartment (noted as a legally nonconforming duplex) in the Waverly-Belmont Neighborhood Conservation Zoning Overlay. The property consists of Legal Description as follows: Part of a Lot on the Plat of the Land of Jacob Schmit Heirs Book 547, Page 120 R.O.D.C, TN and physically located at 2300 10<sup>th</sup> Avenue South in Nashville Davidson County, Tennessee, with the zip code 37204.

The subject building was originally constructed in 1930 on a parcel lot size of 6,856.38 square feet or 0.16 acres. The existing structure contains approximately 1,460 square feet of livable space on the main floor, and in the basement approximately 770 square feet of livable space and approximately 165 square feet is being used as storage space.

The subject building is a wood-frame, brick veneer and hardboard siding structure, concrete masonry unit foundation walls with concrete slab basement floor, and asphalt composition shingle roof. The front porch is made of exposed aggregate concrete, a 12 foot by 12 foot wood-framed rear entry covered porch, and a covered entry for the below grade basement apartment.

Typical interior partition walls are comprised of varying materials ranging from wood stud sheathed with plaster and drywall board sheets. Floor and roof construction consists of apparent conventional 2x wood joist construction.

The wood framed structure is founded on a perimeter concrete masonry unit (CMU) foundation over a concrete slab-on-grade at an average height basement of 6'6" (less than full height). The below-grade basement with enclosed wood stud drywall adhered to the perimeter CMU walls in livable spaces. The exterior basement foundation walls were of decorative concrete masonry block construction. The basement also contained an electric sump pump and water heater.

On-site improvements include a perimeter 6 foot wood plank fence running along a portion of the north property line, then along the east, and south property lines. Other site amenities include a concrete drive entrance and 2-car concrete parking area, and concrete walkways. The lot gently slopes from the front (west elevation) toward the rear (east elevation).

The electrical utility cables, service mast, and electrical panel box are located on exterior south elevation wall of the structure and are securely attached and well maintained. The main breaker electrical panel is located in the kitchen living space. On the south elevation is a central HVAC gas split system and compressor servicing the subject structure.

## OBSERVATIONS

A summary of general observations made during the site visit is provided below.

Figures indicating the general location of observations are included in Appendix A.

Photographs documenting observations are included in Appendix B.

NAHB checklist for Aging-In-Placing upgrades are included in Appendix C.

## GENERAL

Exterior observations were made from ground level. Interior observations were limited to readily accessible areas.

### EXTERIOR – North Elevation (facing Waldkirch Avenue)

- The exterior building envelope appeared to be in good condition.
- Evidence of earlier brick mortar joint repair.
- Several areas of concrete masonry block and mortar cracking on the north elevation foundation wall.
- Cracking of mortar joints under widow brick sill (exterior face) on the north elevation.
- Approximately 8 feet of soffit board missing.
- Beginning deterioration of mortar joints at northwest front porch brick pillar.

#### EXTERIOR – West Elevation (facing 10<sup>th</sup> Avenue South)

- The exterior building envelope appeared to be in good condition.
- Peeling paint/coating on trim at front gable.

#### EXTERIOR – South Elevation (facing adjacent lot on 10<sup>th</sup> Avenue South)

- The exterior building envelope appeared to be in good condition.
- Step cracking in mortar joints of exterior brick veneer south elevation.
- Evidence of earlier brick mortar joint repair.
- Several areas of concrete masonry block and mortar cracking on foundation wall.
- Downspout lower section not connected to underground drain pipe on south elevation; runoff drains freely accumulating on lawn surface adjacent to exterior foundation wall which may allow water infiltration into the basement. This condition existed at two location on south elevation and could further increase the likelihood of foundation settling.
- Sealant failure at windows, stone sills and stone trim throughout the south elevation.

#### EXTERIOR – East Elevation (rear)

- The exterior building envelope appeared to be in good condition.
- Several areas of concrete masonry block and mortar cracking on foundation wall.
- Wood treads/risers to rear porch displays discoloration and deterioration possibly due to consistent exposure to weather (wet/dry) conditions. Recommend immediate repair for human health and safety.
- At basement door entry, evidence of moderate deterioration of coating and spalling of concrete masonry block and along concrete walkway and foundation wall.
- French drains freely runs onto walkway adjacent to basement door. This condition could further increase the likelihood of basement water intrusion leading to possible foundation settling in this vicinity.
- Concrete slab at basement door exhibit signs of water ponding and water infiltration into the basement.

#### ROOF

- Shingles and flashing at valleys appear to be in good working condition.
- Apparent roof deflection/sagging along northwest portion of roof as evidenced by a slight break in pitch approximately several feet from northwest eave.

#### INTERIOR – (main living space)

- Partition walls are in good condition throughout. However, there are various hairline cracks present on the interior wall plaster finishes.
- Several interior plaster wall and ceiling finishes have delaminated (plaster beginning to pull away from the lath behind it). These may require repairing if size of the delamination increases.

- The first floor bathroom ceiling paint finishes are peeling and separating from the drywall. Suggest repair this surface with stain blocking primer prior to a finish paint coat. Also owner may consider turning on bathroom fan each time running water for tub or shower.
- In the living room on the south wall at the chimney, the wall surface beginning to bubble and bulge, which may be an indication of water infiltration. This portion of wall surface will need to be patched and repaired. However, if after minor repair bubbling returns, the exterior flashing of the chimney and shingles will require a relook to see if a new flashing system is required to stop water infiltration.
- Slight sagging of wood joist floors in several rooms were apparent.

#### BASEMENT

- At time of inspection there were noticeable signs of water intrusion in the basement, foundation wall seepage, drywall exhibit signs of water damage, foundation wall stains, and slight musty odor.
- The basement have two existing surface floor drains, and they appeared to be clear of obstruction.
- The basement also contained an electric sump pump.
- Foundation wall displayed several areas of cracks in the CMU block, possibly from foundation settlement.
- Evidence of previous installation of several large wood beam post installation to undergird existing first floor wood-joist system.

#### COMMENT ON EXISTING CONDITION

Over the years repairs and alterations carried out over time and may have an effect on how the building appears but not necessarily improves the structural performance. If water seepage is not stopped in the basement musty odors will eventually increase and render the basement unhealthy for occupancy.

Many of the issues described above have not had a detrimental effect on the building in its present state but if owner wishes to maintain residence long-term, then proposed new works / major renovations may have to be carried out. It is important that we assess the potential impact of these works on the structure rather than looking at the state of the existing structure in isolation. Ease of access will be a major consideration as well as having the basement able to produce maximum income to owner in her retirement years. This will require entire basement to be demolished so to correct drainage and adequate and safe head clearance is achieved in the basement. Additionally, these potential renovations must consider aging-in-place design elements (see Appendix C) for safe and healthy living for older adults.

Furthermore, major renovation offers an opportunity for the entire structure to be properly supported on a new uniform foundation system; eliminating potential problems from differential settlement. Effectively this would require the removal of all the perimeter foundation wall structure, allowing for the reconstruction of a new foundation wall system and supporting steel beams.

Furthermore this residential structure being in the Waverly-Belmont Neighborhood Conservation Zoning Overlay, a high end property with the appropriate high end finishes and as such an attitude of patching and repair should not be adopted unless absolutely necessary. An approach should be implemented where by the end result of the works is of a priority. Trying to maintain workmanship and materials which may be adequate, but are sub-standard, will most likely lead to issues further down the line, issues which would require aggressive and unsightly remedial work unsympathetic to the Neighborhood Conservation Zoning as a whole. While it is necessary to conserve features of the building, much of the existing structure is of a standard type that requires ease of access considerations, especially the front, rear and basement entrances.

## **CONCLUSION**

The structure is in good condition and appears to be stable at time of inspection. Additionally, the basement apartment displayed signs of current water intrusion that could lead to differential settlement of the walls and deterioration of the basement slab. The exterior masonry CMUs exhibit mortar joint separation in various locations in the foundation walls and brick veneer, however it is does not exhibit to be a safety concern at moment. The basement apartment will require immediate attention if owner desires maximum income potential.

Given the sensitivity of the neighborhood and surrounding properties, in the interest of conserving as much of the property as possible, it is the author's opinion that it would be prudent to upgrade the basement as discussed in the report. The intent is to retain the elements of interest of the existing structure. Option A or Option B would have the result of addressing most of the issues discussed along with negating any potential future issues with differential settlement and existing water instruction. However, Option B is the alternative that addresses the use of the basement continuing as a rental apartment.

When viewed as a whole there is the opportunity to both improve the quality of the existing structure while retaining as much of the existing structure as possible to satisfy the existing Neighborhood Conservation Zoning Overlay.

**PROPOSED STRUCTURAL SOLUTION**

**OPTION A: Water Management Drainage System Installation to Deter Basement Water Intrusion**  
(Basement apartment will not be safe for human occupancy for this option)

Install a water drainage management system to collect surface and subsurface drainage to divert water away from existing foundation CMU wall. This system installation requires trench excavation adjacent to CMU foundation wall at least one foot below existing foundation footer along the north, west and south side to feed into the existing underground storm water drainage system in the rear of the lot.

This will require:

1. Excavation perimeter trench adjacent to foundation wall of approximately 1' Wide x 3' Depth x 250' Long, spray foundation damp proofing on exposed exterior CMU walls, install 4" diameter perforated pipe French drain with gravel bedding in trench, connect all downspouts to the new underground 4" perforated pipe and tie into existing storm water basin at rear of lot	\$ 4,825
2. Clean and maintenance existing sump pump and install humidifier	\$ 2,750
3. Demo existing basement wood stud and drywall to expose CMU, then apply waterproof coating onto interior perimeter CMU and concrete walls	\$ 7,350
4. Reinstall site concrete walkways and landscaping	\$ 2,500
<b>Estimated Conceptual Budget of New Water Management Drainage System:</b>	<b>\$ 17,425</b>

This is for owner's planning purposes only. Estimated conceptual estimate above does not include the cost of aging-in-place interior renovations on first floor living space. However, a more accurate cost estimate may be achieved from architect and engineering plans and specifications.

**OPTION B: Full Basement Renovation (basement apartment if fully renovated with 8' ceiling) and Water Management Drainage System Installation**

The street-view before and after would look similar. The basement would be reconstructed to accommodate a full height basement to maintain existing duplex arrangements and for safe human occupancy. Also enabling the installation of a proper water management system that protects the new basement structure from water intrusion.

This option includes demolition of the entire basement to accommodate a fully renovated and livable basement apartment unit, but keeping in tack the entire first floor living space by temporarily raising the structure away from the foundation during construction activities. This allows for maximum retention of the existing external facades of the building while allowing the proposed excavation to be carried out efficiently and safely underneath. The foundation footings, walls and piers will be incorporated into the proposed new layout. The first floor wood frame structure would be supported from the new basement foundation walls and attached to the existing floor joist system to tie structures together. The resulting structure will be efficient and homogeneous in form while retaining the more visible facades and elements of the existing structure as required by the existing Neighborhood Conservation Zoning Overlay.

This will require:

1. Wood frame house structure lifted from existing foundation walls and supported with temporary cribbing	\$25,000
2. Demo existing foundation CMU walls, slab and undercut subbase an additional 2 feet and install new concrete foundation footing, install new perimeter decorative CMU walls to set existing house structure upon, install 4" diameter perforated pipe in trench with gravel bedding in trench and tie into existing storm water basin at rear of lot, and pour new concrete slab basement.	\$ 48,000
3. Install upgrade electrical, plumbing, HVAC for basement apartment	\$17,000
4. Install new kitchen and bath for basement apartment, and install new interior perimeter wood stud framing and drywall finish, paint and flooring	\$ 45,000
5. Demolish existing concrete drive, walkways and reinstall new concrete site flatwork while maintaining area drainage connection to existing storm water at rear of lot, and new landscaping.	\$ 20,000
<b>Estimated Conceptual Budget Basement Reconstruction and Drainage System Estimate Cost:</b>	<b>\$ 155 ,000</b>

This is for owner's planning purposes only. Estimated conceptual estimate above does not include the cost of aging-in-place interior renovations on first floor living space. However, a more accurate cost estimate may be achieved from architect and engineering plans and specifications.

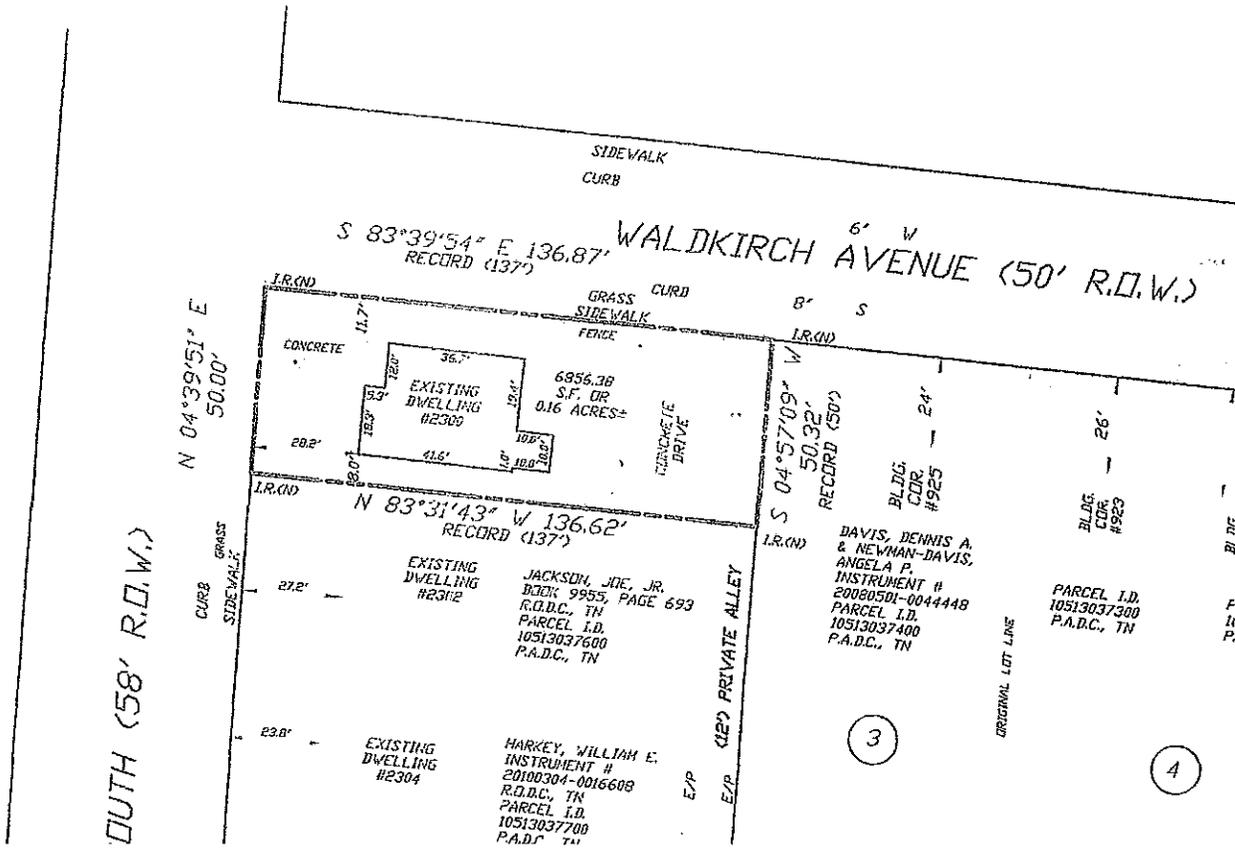
This report was prepared to assist the owner in planning for long-term use of the structure. It has been prepared for the exclusive use of the owner for specific application to the referenced building. Recommendations included herein were prepared based on our understanding of the owner's current and long-term intent for living and continued rental of basement, observations made during our limited visual condition assessment performed on May 9, 2018 and our general knowledge of typical construction practices for similar structures built during the same time period. No warranties, expressed or implied, are made by the conclusions, opinions, recommendations, or services provided. Our condition assessment was limited to readily visible and accessible elements

Respectfully,



Victor C. Tyler, P.E., M.ASCE, NSPE  
President  
Tyler Construction Engineers, P.C.

ATTACHMENT A



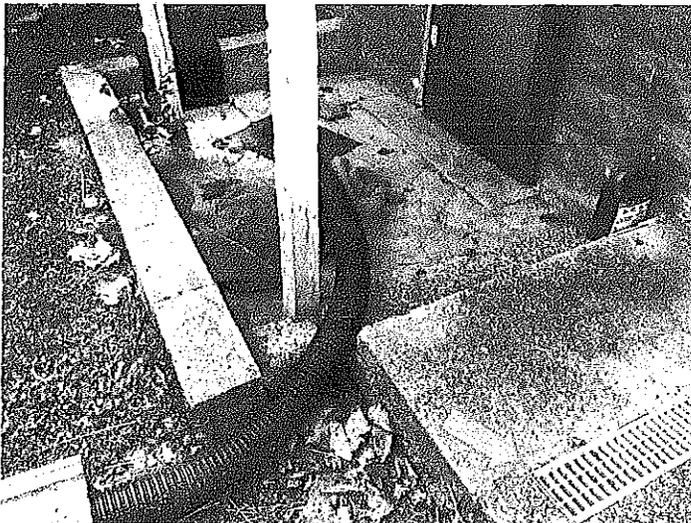
**ATTACHMENT B**



West Elevation (Front on 10<sup>th</sup> Ave. So.)



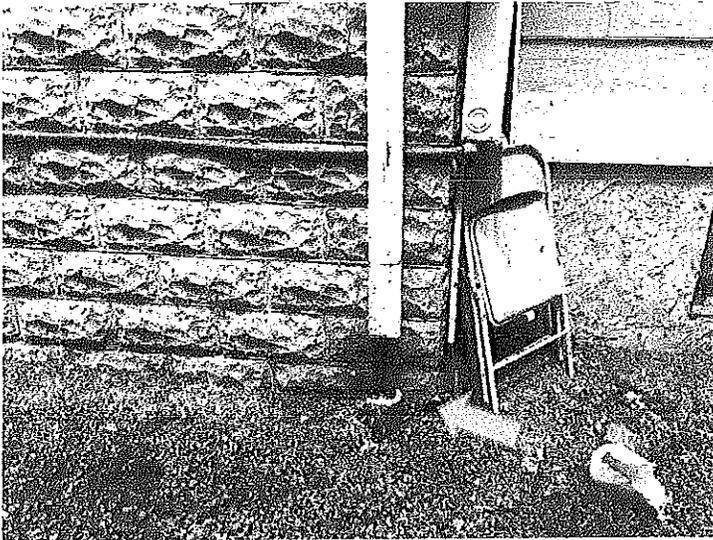
South Elevation (Rear at covered porch)



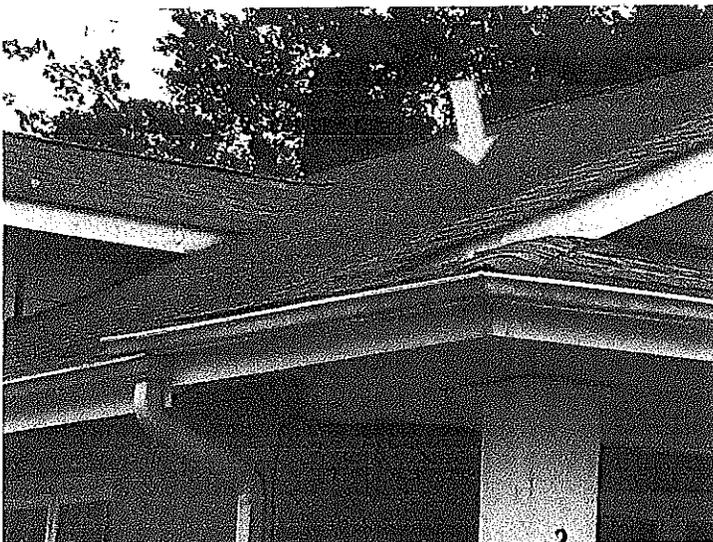
Basement entrance, walkway w/ drain



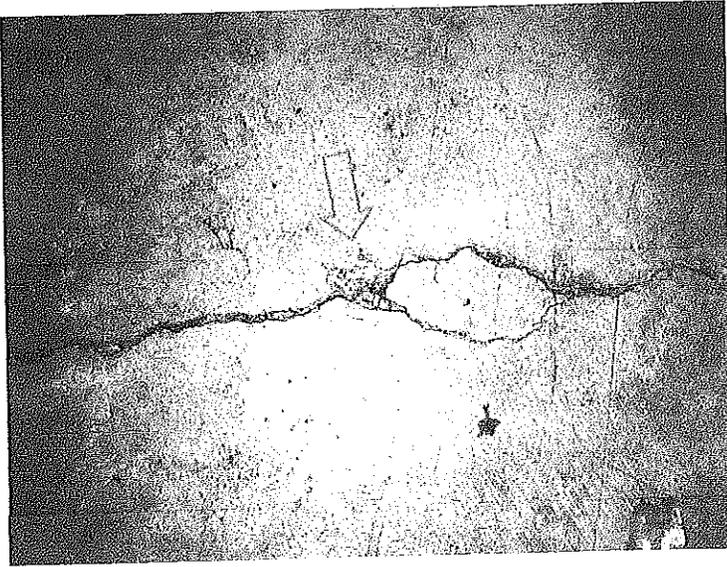
East Elevation (Basement door)



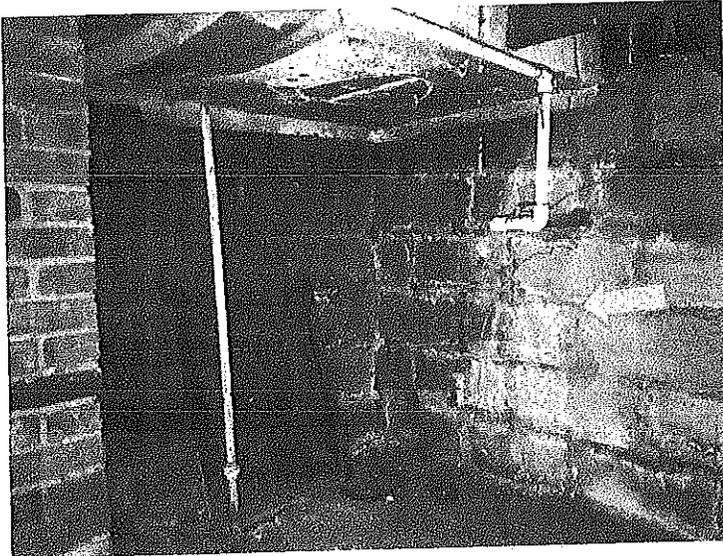
South Elevation (Downspout drain freely)



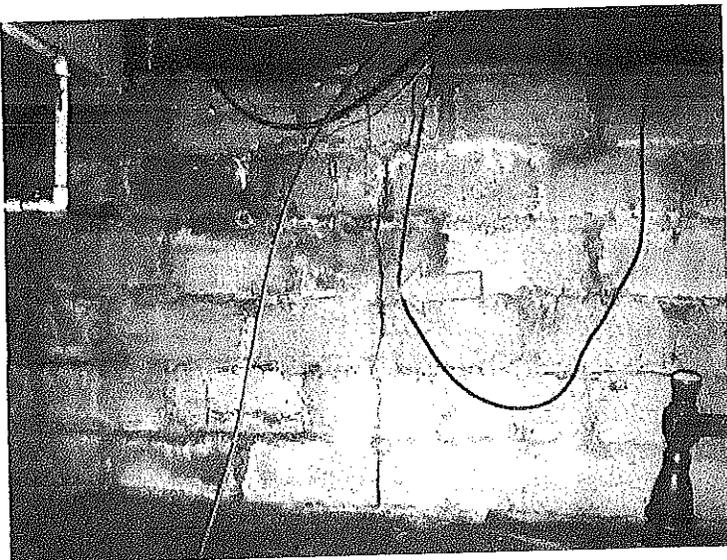
Northwest corner (showing roof sagging)



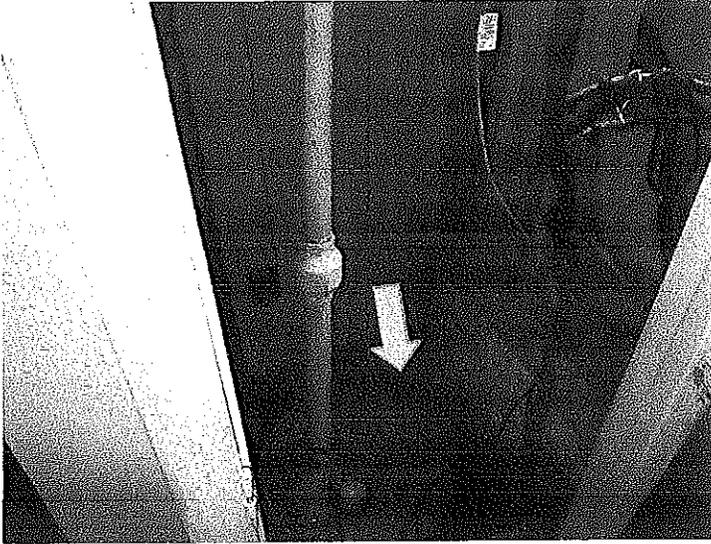
Basement crack, signs of widening



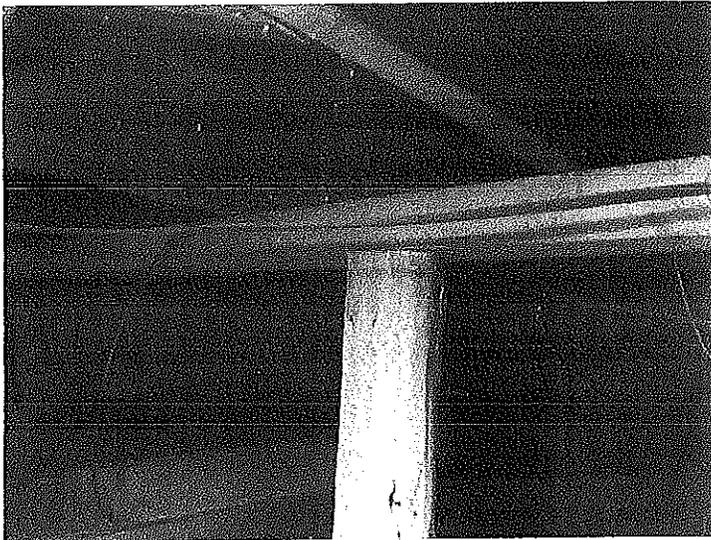
Basement CMU wall, water intrusion



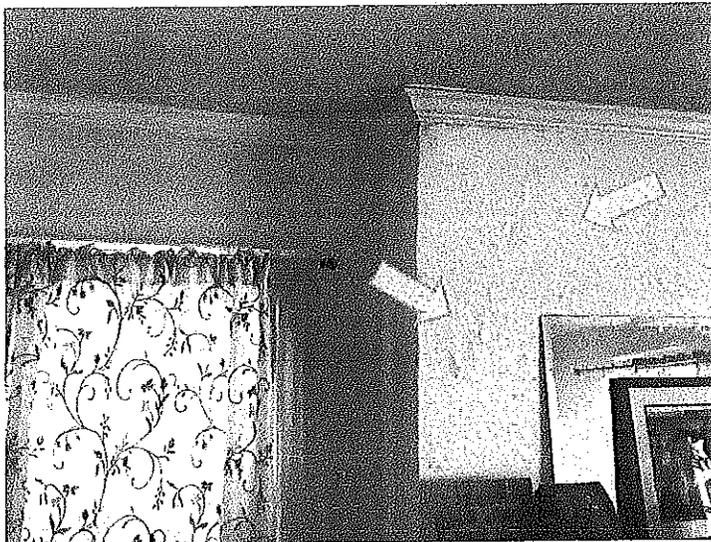
Basement CMU wall – vertical crack



Basement – sump pump



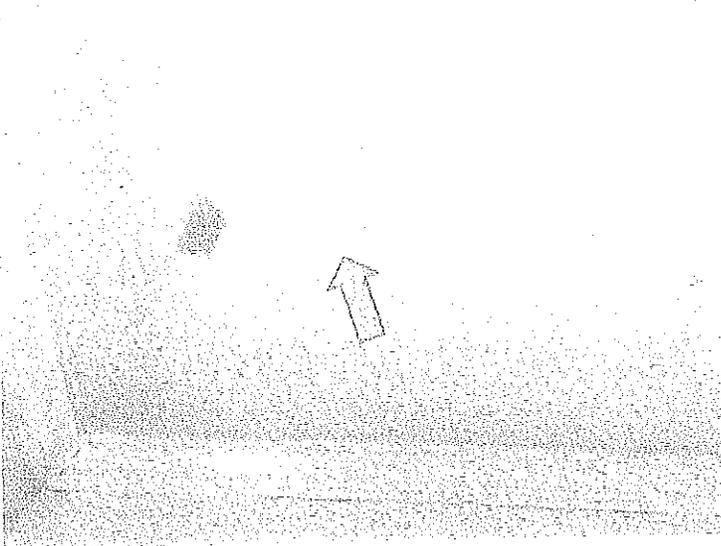
Basement – wood column support beam



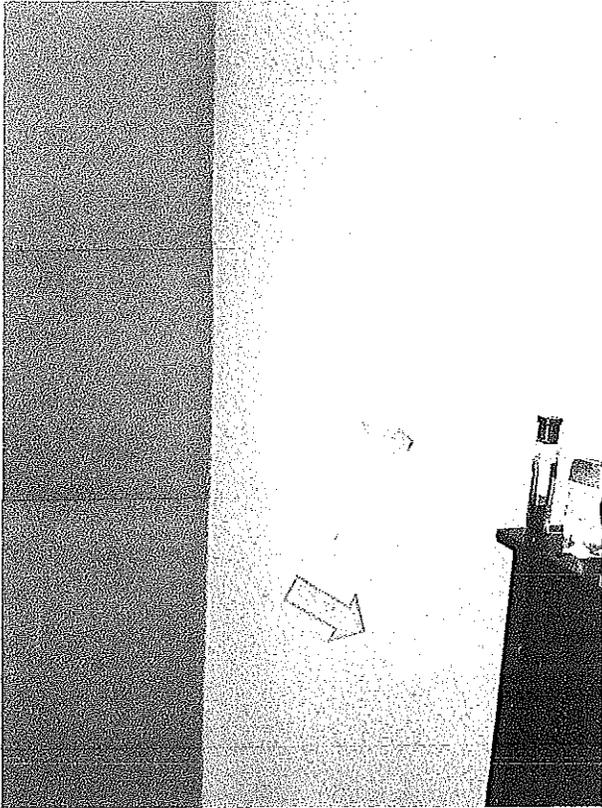
Living room – signs of wall finish bubbling



Bathroom – ceiling finish is peeling



Wall finishes - cracking - various locations



Wall finishes - cracking - various locations

## **ATTACHMENT C**

### **Aging-In-Place Remodeling Checklist**

The checklist below contains features you may want to consider for your next renovation project. It also provides a quick reference for various aging-in-place issues. This was edited from the National Association of Home Builders.

#### **Exterior**

- Low-maintenance exterior (vinyl, brick)
- Low-maintenance shrubs and plants
- Deck, patio, or balcony surfaces are no more than a half inch below interior floor level if made of wood

#### **Overall Floor Plan**

- Main living on a single story, including full bath
  - No steps between rooms/areas on the same level
  - 5-foot by 5-foot clear/turn space in living area, kitchen, a bedroom, and a bathroom
- Hallways
- Minimum of 36-inches wide, wider preferred
  - Well lit

#### **Entry**

- Accessible path of travel to the home
- At least one no-step entry with a cover
- Sensor light at exterior no-step entry focusing on the front-door lock
- There needs to be 32-inches of clear width, which requires a 36-inch door
- Non-slip flooring in foyer
- Entry door sidelight or high/low peep hole viewer; sidelight should provide both privacy and safety
- Doorbell in accessible location
- Surface to place packages on when opening door

#### **Thresholds**

- Flush preferable
- Exterior maximum of a half inch beveled
- Interior maximum of a quarter inch

#### **Interior Doors**

- There needs to be 32-inches of clear width, which requires a 36-inch door
- Levered door hardware

#### **Windows**

- Plenty of windows for natural light
- Lowered windows or taller windows with lower sill height
- Low maintenance exterior and interior finishes
- Easy to operate hardware

### Garage or Carport

- Covered carports and boarding spaces
- Wider than average carports to accommodate lifts on vans
- Door heights may need to be nine feet to accommodate some raised roof vans
- Five-foot minimum access aisle between accessible van and car in garage
- If code requires floor to be several inches below entrance to house for fume protection, can slope entire floor from front to back to eliminate need for ramp or step
- Ramp to doorway, if needed
- Handrail, if steps

### Faucets

- Lever handles or pedal-controlled
- Thermostatic or anti-scald controls
- Pressure balanced faucets

### Kitchen and Laundry

#### Counters

- Wall support and provision for adjustable and/or varied height counters and removable base cabinets
- Upper wall cabinetry three inches lower than conventional height
- Accented stripes on edge of countertops to provide visual orientation to the workspace
- Counter space for dish landing adjacent to or opposite all appliances
- Base cabinet with roll out trays and lazy susans
- Pull-down shelving
- Glass-front cabinet doors
- Open shelving for easy access to frequently used items

#### Appliances

- Easy to read controls
- Washing machine and dryer raised 12-15 inches above floor
- Front loading laundry machines
- Microwave oven at counter height or in wall
- Side-by-side refrigerator/freezer
- Side-swing or wall oven
- Raised dishwasher with push-button controls
- Electric cook top with level burners for safety in transferring between the burners, front controls and downdraft feature to pull heat away from user; light to indicate when surface is hot

#### Miscellaneous

- 30-inch by 48-inch clear space at appliances or 60-inch diameter clear space for turns
- Multi-level work areas to accommodate cooks of different heights
- Open under-counter seated work areas
- Placement of task lighting in appropriate work areas
- Loop handles for easy grip and pull
- Pull-out spray faucet; levered handles
- In multi-story homes, laundry chute or laundry facilities in master bedroom

## Bathroom

- Wall support and provision for adjustable and/or varied height counters and removable base cabinets
- Contrasting color edge border at countertops
- At least one wheelchair maneuverable bath on main level with 60-inch turning radius or acceptable T-turn space and 36-inch by 36-inch or 30-inch by 48-inch clear space
- Bracing in walls around tub, shower, shower seat, and toilet for installation of grab bars to support 250-300 pounds
- If stand-up shower is used in main bath, it is curbless and minimum of 36-inches wide
- Bathtub - lower for easier access
- Fold down seat in the shower
- Adjustable/handheld showerheads, 6-foot hose
- Tub/shower controls offset from center
- Shower stall with built-in antibacterial protection
- Light in shower stall
- Toilet two and half inches higher than standard toilet (17-19 inches) or height-adjustable
- Design of the toilet paper holder allows rolls to be changed with one hand
- Wall-hung sink with knee space and panel to protect user from pipes
- Slip-resistant flooring in bathroom and shower

## Stairways, Lifts, and Elevators

- Adequate hand rails on both sides of stairway, one and a quarter inch diameter
- Increased visibility of stairs through contrast strip on top and bottom stairs, color contrast between treads and risers on stairs and use of lighting
- Multi-story homes may provide either pre-framed shaft (i.e., stacked closets) for future elevator, or stairway width must be minimum of four feet to allow space for lift
- Residential elevator or lift

## Ramps

- Slope no greater than one inch rise for each 12-inches in length, adequate handrails
- Five-foot landing provided at entrance
- Two-inch curbs for safety

## Storage

- Adjustable closet rods and shelves
  - Lighting in closets
  - Easy open doors that do not obstruct access
- ### Electrical, Lighting, Safety, and Security
- Light switches by each entrance to halls and rooms
  - Light receptacles with at least two bulbs in vital places (exits, bathroom)
  - Light switches, thermostats, and other environmental controls placed in accessible locations no higher than 48 inches from floor
  - Electrical outlets 15-inches on center from floor; may need to be closer than 12-feet apart
  - Clear access space of 30-inches by 48-inches in front of switches and controls
  - Rocker or touch light switches
  - Audible and visual strobe light system to indicate when the doorbell, telephone or smoke or CO<sub>2</sub> detectors have been activated

- High-tech security/intercom system that can be monitored, with the heating, air conditioning and lighting, from any TV in the house
- Easy-to-see and read thermostats
- Pre-programmed thermostats
- Flashing porch light or 911 switch
- Direct wired to police, fire and EMS (as option)
- Home wired for security
- Home wired for computers

#### Flooring

- Smooth, non-glare, slip-resistant surfaces, interior and exterior
  - If carpeted, use low (less than a half inch high pile) density, with firm pad
  - Color/texture contrast to indicate change in surface levels
- #### Heating, Ventilation, and Air Conditioning
- HVAC should be designed so filters are easily accessible
  - Energy-efficient units
  - Windows that can be opened for cross ventilation, fresh air

#### Energy-Efficient Features

- In-line framing with two by six studs spaced 24-inches on center
- Air-barrier installation and sealing of duct work with mastic
- Reduced-size air conditioning units with gas furnaces
- Mechanical fresh air ventilation, installation of air returns in all bedrooms and use of carbon monoxide detectors
- Installation of energy efficient windows with Low-E glass

#### Reduced Maintenance/Convenience Features

- Easy to clean surfaces
- Central vacuum
- Built-in pet feeding system
- Built-in recycling system
- Video phones
- Intercom system

#### Other Ideas

- Separate apartment for rental income or future caregiver
- Flex room that can be used as a nursery or playroom when the children are young and as a home office later; if combined with a full bath, room could also be used for an aging parent/aging in place

Estimated market value of current condition  
and after alterations to meet basic code  
requirements

*See projected cost in engineer's report*

*See report*

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**2300 10TH AVE S**  
Nashville, TN 37204  
Single Family Residence  
3 Beds, 1 Baths, 1,342 sqft

**\$425,000** (Estimated Value)  
Est. Refinance:\$1,930/mo  
Check interest rates

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2300 10th Ave S is a single family residence located in Nashville, TN 37204. Built in 1930, this property features 3 bedrooms, 1 bathroom, 6,534 sq ft lot, and 1,342 sq ft of living space. The estimated market value for 2300 10th Ave S is \$425,000.

For the surrounding community of Nashville, TN 37204, the average sale price for similar homes to 2300 10th Ave S is \$412,049. The nearby schools are very good and include Hillsboro High, Glendale Elementary and John Trotwood Moore Middle. The overall crime risk for this area is moderate with 14 criminal and sex offenders residing within 1 mile. The natural disaster risk for this area includes very low earthquake risk, very high tornado risk, and minimal flood risk.

### Home Disclosures

### Home Disclosure Summary



Sex Offenders

| 14 Found

[View Offender Details](#)

 Crime Index		<b>Moderately High</b>	<a href="#">View Crime Details</a>
 Environmental Hazards		<b>5 Found</b>	<a href="#">View Hazards Details</a>
 Natural Disasters		<b>2 Found</b>	<a href="#">View Disasters Details</a>
 Local Schools		<b>Above Average</b>	<a href="#">View Schools Details</a>

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### Property & Loan Info

### Equity & Loan-to-value

**\$425,000** - GET ACCESS = GET ACCESS GET ACCESS  
 ESTIMATED VALUE      OUTSTANDING LOAN AMOUNT      EQUITY      LOAN-TO-VALUE

### Ownership Information

- Primary Owner: Free with Trial
- Ownership Description: Free with Trial
- Owners Mailing Address: Free with Trial
- Purchase Date: 10/23/1964

### Get help from a Pro



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 Crye-Leike Realtors  
 888-418-6729

### Property Details: 2300 10th Ave S

Single Family Residence	Subdivision: W L B LAWRENCE LAND
3 beds, 1 bath	Census: 1
Home Size: 1,342 sqft	Tract: 17000
Lot Size: 6,534 sqft	Lot: 1
Built in: 1930	Zoning: 2
Parcel Number: 10513037500	Legal: Free With Trial
County: Davidson	

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### Home Expenses

<b>Internet, TV, Phone:</b>	DISH	<b>\$19.99/mo*</b>
<b>Home Monitoring:</b>	ADT Monitoring	<b>\$36.99/mo*</b>
<b>Home Solutions:</b>	Vivint	<b>\$53.99/mo*</b>
<b>Home Insurance:</b>	US Insurance	<b>Get Quote</b>

### Tax History

Year	Taxes	Land	Improvements	Assessment
------	-------	------	--------------	------------

### Nearby Homes

- 2302 10th Ave S, Nashville, TN 37204
- 2609 Franklin Pike, Nashville, TN 37204
- 2608 Franklin Pike, Nashville, TN 37204
- 2304 10th Ave S, Nashville, TN 37204
- 925 Waldkirch Ave, Nashville, TN 37204
- 2306 10th Ave S, Nashville, TN 37204
- 928 Waldkirch Ave # C, Nashville, TN 37204
- 928 Waldkirch Ave # B, Nashville, TN 37204
- 928 Waldkirch Ave # A, Nashville, TN 37204
- 930 Waldkirch Ave, Nashville, TN 37204

Year	Taxes	Land	Improvements	Assessment
2017	\$3,160 (+3.2%)	\$52,000	\$46,500	\$98,500
2016	\$3,160 (+4.51%)	\$35,000	\$34,975	\$69,975
2015	\$3,160 (+4.51%)	\$35,000	\$34,975	\$69,975
2014	\$3,160 (+4.51%)	\$35,000	\$34,975	\$69,975
2013	\$3,160 (+4.51%)	\$35,000	\$34,975	\$69,975
2012	\$2,632	\$22,500	\$34,000	\$56,500

## AUCTIONS ENDING NOW

- HUD 2nd Chance
- Bank-Owned REO
- Properties Added Daily

[Register to Bid >>](#)

WILLIAMS & WILLIAMS.

## Open Loans

**2** loans found for this home [view sample](#) [Sign up for a free trial](#)

## Transaction History

**5** Transactions found for this property [view sample](#) [Sign up for a free trial](#)

## Nearby Schools

### Assigned School

School data and ratings provided by Homefacts

Hillsboro High  
09-12 1198 Students 2 miles away

Glendale Elementary  
PK-04 434 Students 2.2 miles away

John Trotwood Moore Middle  
05-08 639 Students 2.3 miles away

Percy Priest Elementary  
PK-04 561 Students 5.2 miles away

Waverly Belmont Elementary  
School  
KG-04 0.1 miles away

Nashville Academy  
09-12 16 Students 0.2 miles away

Christ The King School  
PK-08 240 Students 0.9 miles away

Murrell School  
KG-08 71 Students 0.9 miles away

Hermitage Hall  
04-12 80 Students 1 miles away

Childrens House Of Nashville  
PK-KG 9 Students 1.1 miles away

**Hillsboro High**  
3812 Hillsboro Pike, Nashville, TN 37215

**615-298-8400**

Students: 1,198  
Grades: 09-12

[View school page](#)

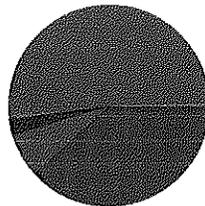
**Math Grade**

**Reading Grade**

**Science Grade**

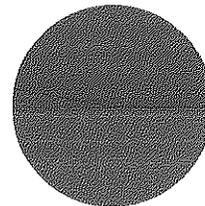
**Total Grade**

Student Ethnicity Breakdown



- White: 38.15%
- Hispanic: 7.1%
- Asian/Pac Isl.: 2.59%
- Black: 51.67%
- American Ind./Alaskan: 0.08%
- Others: 0.42%

Student Gender Breakdown



- Male: 52.75%
- Female: 47.25%

## Comparable Homes & Market Info

## Market Comparison



This home  
**\$425,000**  
 ESTIMATED VALUE

Comparable Sales  
**\$412,049**  
 AVG SALES PRICE

Comparable Listings  
**\$496,448**  
 AVG LIST PRICE

## Comparable Sales

The average sales price of homes similar to 2300 10th Ave S is **\$412,049** (\$296/sq.ft.)

Address	Sold Price	Sold Date	Price/sq ft	Sq.Ft.	Beds, Baths	Distance
3704 Lealand Ln	\$450,000	05/11/2018	\$302	1,491 sq.ft.	3 Bed, 1 Bath	1.3 mi away
3316 Lealand Ln	\$375,000	05/11/2018	\$247	1,518 sq.ft.	3 Bed, 2 Bath	1 mi away
2310 Elliott Ave Apt 119	\$335,000	05/08/2018	\$268	1,252 sq.ft.	2 Bed, 2 Bath	0.3 mi away
958 Greerland Dr	\$450,000	05/07/2018	\$316	1,422 sq.ft.	3 Bed, 1 Bath	1.8 mi away
109 Gale Park Ln	\$374,900	04/30/2018	\$286	1,310 sq.ft.	2 Bed, 3 Bath	0.8 mi away
2310 Elliott Ave Apt 401	\$295,000	04/30/2018	\$256	1,152 sq.ft.	1 Bed, 1 Bath	0.3 mi away
2020 10th Ave S	\$509,250	04/27/2018	\$350	1,454 sq.ft.	3 Bed, 1 Bath	0.4 mi away
2918 McNairy Ln	\$305,000	04/27/2018	\$214	1,425 sq.ft.	3 Bed, 2 Bath	1 mi away
2219 White Ave	\$350,000	04/18/2018	\$233	1,501 sq.ft.	3 Bed, 2 Bath	0.6 mi away
817 Park Terrace Dr	\$680,000	04/18/2018	\$485	1,401 sq.ft.	4 Bed, 1 Bath	1.1 mi away

## Comparable Listings



2708 Larmon Dr  
**\$653,000**  
 3 Bd 1.5 Ba  
 1,378 SqFt



810 Glen Ave  
**\$675,500**  
 3 Bd 1 Ba  
 1,391 SqFt



911 Woodmont Blvd  
**\$399,900**  
 3 Bd 2 Ba  
 1,206 SqFt



954 Graybar Ln  
**\$399,900**  
 3 Bd 2 Ba  
 1,188 SqFt



940 Gale Ln  
**\$368,900**  
 2 Bd 1.5 Ba  
 1,396 SqFt

## Interactive Map

Listings | Home Values

Pre-foreclosures  Auction  Bank Owned  For Sale  Sold 3 Months Options ▾

**Login / Register**

You must be a Premium member to access foreclosures at this zoom-level. Try a risk free trial and unlock these red-hot properties.

[Free Trial](#) [Already a member? Login here »](#)

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Estimate from an architect, developer,  
general contractor or other real estate  
professional experienced in rehab as to the  
economic feasibility of rehab or reuse of the  
structure

*See attached report from Debbie Howard, Affiliate Broker.*

## PROPOSAL

PROPOSAL SUBMITTED TO <b>Sonya Smith</b>		TODAY'S DATE <b>07/09/2018</b>	DATE OF PLANS/PAGE #'S <b>07/11/2018</b>
PHONE NUMBER <b>615-445-5973</b>	FAX NUMBER	JOB NAME <b>Real Estate Evaluation</b>	
ADDRESS, CITY, STATE, ZIP <b>2300 10th Avenue South Nashville, Tn 37204</b>		JOB LOCATION <b>Residence</b>	

We propose hereby to furnish material and labor necessary for the completion of:

After previewing your home in person and evaluating the condition and current market value of homes with similar square footage in the area, I hereby make the determination that your home's assessed value is presently worth \$350,000.00-\$380,000.00. After consulting with a general contractor who builds home in this area and after his review of the condition of the home he has made the determination that all avenues for reuse were attempted and suggestion that the home is in desrepair and it would take more money to rehab the home vs. demolishing it building two (2) new structures; one in which for you to reside and the other for an income producing property. Due to your age (close to retirement) and macular degeneration of the retinas in both eyes (glaucoma) it is highly recommended to build your permanent resident with all of the living on main level and an income producing property right next door on the same plot just as other surrounding homes in your area are doing. Total estimated materials and labor costs for a project similar to this would approximately be \$525,000.00 which includes a \$15,000.00 demolition costs. The after market value after alterations and construction would approximately be \$1,100,000.00 due to the high demand and low supply.

If you have any questions concerning this evaluation please feel free to reach out to me,  
 Thank you,  
 Debbi Howard, Affiliate Broker  
 Reliant Realty  
 615-485-6683  
 Debbi.Howard14@gmail.com

We propose hereby to furnish material and labor – complete in accordance with above specifications for the sum of:

\_\_\_\_\_ dollars ( \$ \_\_\_\_\_ )

Payment as follows: \_\_\_\_\_

All material is guaranteed to be as specified. All work to be completed in a substantial workmanlike manner according to specifications submitted, per standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance. If either party commences legal action to enforce its rights pursuant to this agreement, the prevailing party in said legal action shall be entitled to recover its reasonable attorney's fees and costs of litigation relating to said legal action, as determined by a court of competent jurisdiction.

**Authorized Signature** \_\_\_\_\_

Note: this proposal may be withdrawn by us if not accepted within \_\_\_\_\_ days.

**ACCEPTANCE OF PROPOSAL** The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature \_\_\_\_\_

Signature \_\_\_\_\_

Date of Acceptance \_\_\_\_\_

Amount Paid for the property, date of purchase, who purchased from including a description of the relationship, if any, and terms of financing between seller and buyer

*The Property was Quit Claim to Sonya Smith 2002 from her grandmother Janie G. Smith.*

STATE OF TENNESSEE )  
 )  
COUNTY OF DAVIDSON )

**BILL GARRETT, Davidson County**  
Trans: T20160040701 AFFIDAVIT  
Recvd: 05/16/16 12:38 4 pgs  
Fees: 22.00 Taxes: 0.00  
  
20160516-0048589

**SCRIVENOR'S AFFIDAVIT**

Comes now NEWTON HOLIDAY III who being duly sworn does say and affirm the following:

My name is NEWTON HOLIDAY III and I am a licensed, practicing attorney with office at 1506 Church St. Ste. 1, Nashville, Tennessee 37203. The purpose of this affidavit is to correct an error in a deed I prepared on June 25, 2003, for William T. Smith (deceased) and wife, Janie G. Smith (deceased) to Sonya D. Smith, which is recorded on Instrument Number 20031006-0147101, Map-Parcel Numbers: 22W-22200 in the Registers Office of Nashville, Davidson County -

In that deed there was one parcel of land conveyed. The error is contained in the legal description reflects 126 feet should be corrected to reflect 137 feet and as evidenced by a Metro

Codes Department letter is hereby incorporated by referenced and attached hereto to this affidavit.

**DESCRIPTION OF PROPERTY**

Being a lot or parcel of land in the 22<sup>nd</sup> Ward of the City of Nashville, Davidson County, Tennessee being a part of a lot marked "Jacob Schmitd" nine acres on the Plan of the W.L.B. Lawrence Land, as of record in Book 21, page 148, Register's Office for said County, described as follows, according to survey made by T.R. Sanford, dated October 12, 1964.

Beginning at the southeast corner of Waldkirch Avenue and 10<sup>th</sup> Avenue South, as shown on a Plat of land of said Jacob Shmidt heirs, of the recorded in Book 547, Page 120, said Register Office; thence the margin of said Avenue easterly 137 feet more or less to the west margin of an alley; thence with the margin of said alley, southerly 50 feet to the point of the beginning

The above described property is the correct description. The property known as 2300 10<sup>th</sup> Avenue South, Nashville, Tennessee 37204.

AFFIRMED this the 2<sup>nd</sup> day of May, 2016

Newton Holiday III  
Newton Holiday III  
Attorney-at-Law  
1506 Church St. Ste. 1  
Nashville, TN 37203  
615-400-6360

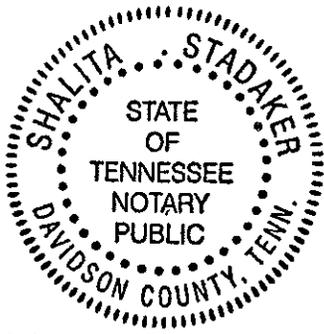
State of Tennessee

County of Davidson

Sworn to and subscribed to before me by on this the 2<sup>nd</sup> day of May 2016.

My commission expires. 8-23-16

Shalita Stedeker



My Commission Expires

MEGAN BARRY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

DEPARTMENT OF CODES & BUILDING SAFETY

OFFICE ADDRESS  
METRO OFFICE BUILDING—3rd FLOOR  
800 SECOND AVENUE, SOUTH  
NASHVILLE, TENNESSEE 37210

MAILING ADDRESS  
POST OFFICE BOX 196300  
NASHVILLE, TENNESSEE 37219-6300  
TELEPHONE (615) 862-6500  
FACSIMILE (615) 862-6514  
[www.nashville.gov/codes](http://www.nashville.gov/codes)

February 24, 2016

Sonya Smith  
2300 10<sup>th</sup> Avenue South  
Nashville, TN 37204

RE: 2300 10<sup>th</sup> Avenue South, Nashville, TN  
Parcel ID 10513037500

Dear Ms. Smith:

Based on the latest information available to our office, the above referenced property is zoned R8 (Residential One and Two-family, 8000 sq. ft. minimum lot area) and is within the Urban Zoning Overlay. Affidavits submitted by a neighbor as well as confirmation by the owner indicate that this property contains a legally nonconforming duplex. See affidavits of George H. Thompson, III Esq. attached hereto. Affidavits indicate that the structure has been used consistently as a duplex for over 50 years.

While the R8 zoning allows a duplex, this lot contains approximately 6850 square feet and does not comply with the lot area requirement of the R8 zoning. The R8 zoning became effective on December 24, 1974. Based upon the attached affidavits, this property was used as a duplex prior to the effective date of the R8 zoning and is "grandfathered" as a legally non-conforming use pursuant to Metropolitan Code § 17.40.650.

Based upon the above information, the subject property may continue to be used as a duplex provided that use does not cease for 30 continuous months in which case the duplex use will lapse and the structure may only be used as a single-family residence.

Pursuant to Metropolitan Code § 17.40.650 E 2, the structure may be renovated and repaired provided that more than 50% of the original floor area is maintained and all work is completed within a year.

Should you have further questions, please feel free to call me at (615) 862-6608.

Sincerely,

A handwritten signature in black ink, appearing to read "William B. Herbert IV". The signature is fluid and cursive, with a prominent initial "W" and a long, sweeping underline.

William B. Herbert IV  
Metropolitan Zoning Administrator

For income producing properties: Annual gross income for the previous two years, itemized operating and maintenance expenses for the previous two years, and depreciation deduction and annual cash flow before and after debt service.

*\$1.00 per month \$12.00 year.*

*Maintenance include:*

*Repairs to the plumbing (toilet, heating unit and the sump pump, water over follow damage lower level)*

Remaining balance on the mortgage or other financing secured by the property and annual debt-service, if any, during the prior three years

*\$155,000 - Mr. Cooper Mortgage*

All appraisals obtained with in the last two years by the owner or applicant in connection with the purchases, financing or ownership of the property.

~~See attached~~

N/A

Assessed value of the property according to  
the two most recent assessments

---

See attached

Find Your Property

Help

Refine By: Distance: Living Area: Year Built: Baths: My Neighborhood: Sale Date 2017-01-01 - 2018-12-31: My Property Type: Foundation:

Exterior Wall

Subject Property Comparables: Empty

**2300 10th Ave S**  
Distance: N/A  
Sale Date: N/A  
App. Value/SqFt: \$293.000  
Living Area: 1,342  
Property Type: SINGLE FAMILY  
Neighborhood: WEDGEWOOD/W...

Top 100 Nearby Sales Sort

**2308 10th Ave S**  
Distance: 185 ft  
Sale Date: 21 Jul 2017  
SalePrice/SqFt: \$291.1  
Living Area: 2,920  
Property Type: SINGLE FAMILY  
Neighborhood: WEDGEWOOD/W...

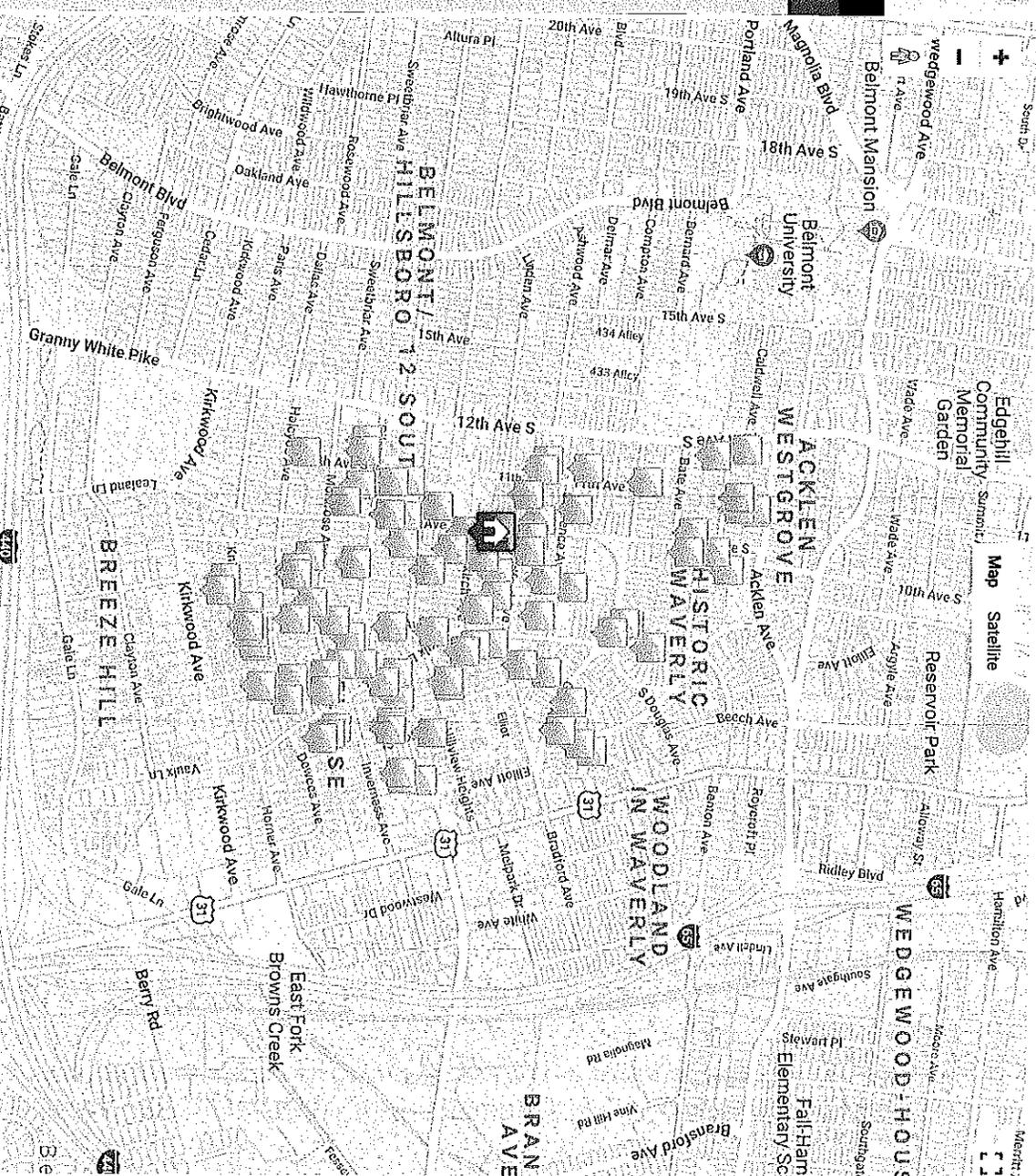
**923 Waldkirch Ave**  
Distance: 210 ft  
Sale Date: 8 Dec 2017  
SalePrice/SqFt: \$285.42  
Living Area: 3,258  
Property Type: SINGLE FAMILY  
Neighborhood: WEDGEWOOD/W...

**926 Caruthers Ave**  
Distance: 343 ft  
Sale Date: 20 Jun 2017  
SalePrice/SqFt: \$278.05  
Living Area: 2,068  
Property Type: SINGLE FAMILY  
Neighborhood: WEDGEWOOD/W...

**918 Waldkirch Ave**  
Distance: 355 ft  
Sale Date: 8 Feb 2017  
SalePrice/SqFt: \$205.75  
Living Area: 2,950  
Property Type: SINGLE FAMILY  
Neighborhood: WEDGEWOOD/W...

**931 Bradford Ave**  
Distance: 378 ft  
Sale Date: 8 Sep 2017  
SalePrice/SqFt: \$191.19  
Living Area: 2,406  
Property Type: SINGLE FAMILY  
Neighborhood: WEDGEWOOD/W...

**927 Bradford Ave**  
Distance: 378 ft  
Sale Date: 6 Sep 2017  
SalePrice/SqFt: \$231.42  
Living Area: 2,960  
Property Type: SINGLE FAMILY  
Neighborhood: WEDGEWOOD/W...



Form of ownership or operation of the property, whether sole proprietorships, for-project or not-for-profit corporation, limited partnership, joint venture or other

~~See Attached~~

N/A

Any listing of the property for sale or rent, price asked, and offers received if any, within the previous two years, including testimony and relevant documents regarding: any real estate broker or firm engaged to sell or lease the property, reasonableness of price or rent sought by the applicant and any advertisements placed for the sale or rent of the property

*See Attached.*

2300 10th Ave S, Nashville, TN 37204



**2300 10th Ave S,  
Nashville, TN 37204**

**3 beds · 2 baths · 2,584 sqft**

**OFF MARKET**

**Zestimate®: \$560,362**

Rent Zestimate: \$2,948 /mo

**EST. REFI PAYMENT**

Est. Refi Payment:

**\$2,435/mo**

*Note: This property is not currently for sale or for rent. The description below may be from a previous listing.*

LOCATION.. RENOVATION.. NEW CONSTRUCTION-THIS HOME HAS IT ALL.. This cottage is located across from Waverly-Belmont School. It features-Covered front

## Facts and Features

 **Type**  
Single Family

 **Year Built**  
1930

 **Heating**  
Other

 **Cooling**  
Central

 **Parking**  
No Data

 **Lot**  
6,850 sqft

## INTERIOR FEATURES

### Bedrooms

Beds: 3

### Heating and Cooling

Heating: Other

Cooling: Central

### Basement

Partial basement

### Flooring

Floor size: 2,584 sqft

## Evidence of regular maintenance of the property

*in 2008 the home was rehab – Outside bricks were painted, New windows installed, and a addition add to the back of the home.*

Mr. William T. Smith

2300 10th Avenue South

2300 10th Avenue South 37204

105-13-375

J. R. Neely

April 27, 1971

April 28, 1971

May 30, 1971

1. Apply at least one coat of good outside paint or provide some other weatherproof covering for all outside trim and exposed wood.
2. Replace all rusted and defective gutters and downspouts.

DOWNSTAIRS APT.

No Orders Necessary. It is a pleasure to inform you that this apartment meets the minimum requirements of the Housing Code

NOTIFY INSPECTOR WHEN WORK IS COMPLETED.

Very truly yours,

---

William B. Burrum,  
Housing Inspection Supervisor

WBB:jmc



METROPOLITAN GOVERNMENT  
 OF NASHVILLE AND DAVIDSON COUNTY, TENNESSEE  
 700 SECOND AVENUE SOUTH, NASHVILLE, TENNESSEE 37201  
 DEPARTMENT OF CODES ADMINISTRATION

10513037500

I HEREBY CERTIFY THAT I AM THE AGENT OF THE OWNER, OR OTHER PERSON IN CONTROL OF THIS PROPERTY, AND THAT THE INFORMATION GIVEN HEREIN, AND AS SHOWN ON THE APPLICATION AND THE PERMIT, IS TRUE; AND THAT I AM AUTHORIZED BY SAID OWNER, OR OTHER PERSON IN CONTROL OF THIS PROPERTY, TO OBTAIN THIS PERMIT. I UNDERSTAND THAT IF THE CONSTRUCTION AND/OR INSTALLATION FOR WHICH THIS PERMIT IS ISSUED IS CONTRARY TO THE REQUIREMENTS OF METROPOLITAN CODES OR REGULATIONS, SAID VIOLATIONS MUST BE CORRECTED, AND THE PERMIT MAY BE VOIDED. I FURTHER CERTIFY THAT I AM IN COMPLIANCE WITH THE STATE OF TENNESSEE STATUTES RELATING TO LICENSING CONTRACTORS FOR THE WORK DESCRIBED IN THIS PERMIT. WORK MUST START WITHIN SIX (6) MONTHS AND MUST BE COMPLETED WITHIN TWO (2) YEARS OF ISSUE DATE. PERMITS BECOME INVALID IF WORK DOES NOT START WITHIN SIX (6) MONTHS OR IS SUSPENDED FOR ONE (1) YEAR AFTER START DATE. EXTENSIONS OF NINETY (90) DAYS EACH MAY BE ALLOWED IN WRITING BY THE DIRECTOR.

APPROVAL (WHERE REQUIRED)

DATE

SIGNATURE OF APPLICANT

DATE

ELECTRICAL PERMIT

09/12/2003

BUILDING PERMIT 0000 00000  
 MAP/PARCEL 105-13-0 375.00  
 SATELLITE CITY

CD 17 AREA 06 STATUS ISSUED  
 HVAC Y ELEC Y LV Y  
 BUILDING TYPE

BUILDING FROM UNIT THRU UNIT TOTAL UNITS TOTAL BLDGS  
 STREET NO 02300 LOCATED ON SIDE OF 10TH AV S  
 FT OF ELECTRIC TYPE SRVCE CHANGE

PROP DESC LOT 1 JACOB SCHMIDT HEIRS  
 OWNER SMITH, SONYA D. 1305 SOUTH OAK DR

PURPOSE

CONTRACTOR DC 00386 LOONEY, WILLIAM S. 615 429 0031  
 APPLICANT CONTRACT GT \$25,000 N  
 STATE LICENSE 49607 CE; TEMP SERV 30A 60A 100A 200A

OUTLETS	220	RESIDENTIAL:	WATER HEATER	RANGE	DRYER
BLD MET	1 TEN MET	COMMERCIAL:	WATER HEATER	RANGE	DRYER
DISPOSAL	DISHWASH	SIGN	TRAILER	OTHER	EX PANEL SIZE
SER PANEL-AMP	60 100	125	150	200 1 225	300 400
	600 800	1000	1200	1600 1601-3000	OVER 3000
LOW VOLTAGE DEVICES					
MOTORS-HP	0-1	1-10	OVER 10	MOT-GEN	SIZE
ELEC HEAT-KW	0-5	5-10	OVER 10	TOTAL KW	ELEC.HVAC
RELEASE TYPE/QTY		HVAC #	0000 00000	RELEASE #	0000 00000

PERMIT FEE 25.00 CK NO 2012 CK AMT 25.00 CSH/DBT PENALTY  
 HAD 2 METERS- REMOVING 1 METER

ELECTRICAL PERMIT NO 2003 12547 A ISSUED 09 12 2003 APPROVAL

ELECTRICAL PERMITS TIED TO BUILDING PERMIT 01-06303A OR LATER WILL BE INSPECTED UNDER 1999 NEC AND/OR THE 2000 INTERNATIONAL RESIDENTIAL CODE FOR 1 & 2 FAMILY. ROUGH-IN INSPECTION IS REQUIRED AFTER INSTALLATION BUT BEFORE COVERING. FINAL INSPECTION IS REQUIRED AT COMPLETION OF WORK.  
 \*\*\* CALL 862-6560 FOR INSPECTION. \*\*\*



**METROPOLITAN GOVERNMENT  
OF NASHVILLE AND DAVIDSON COUNTY, TENNESSEE  
700 SECOND AVENUE SOUTH, NASHVILLE, TENNESSEE 37201  
DEPARTMENT OF CODES ADMINISTRATION**

10513037500

I HEREBY CERTIFY THAT I AM THE AGENT OF THE OWNER, OR OTHER PERSON IN CONTROL OF THIS PROPERTY, AND THAT THE INFORMATION GIVEN HEREIN, AND AS SHOWN ON THE APPLICATION AND THE PERMIT, IS TRUE; AND THAT I AM AUTHORIZED BY SAID OWNER, OR OTHER PERSON IN CONTROL OF THIS PROPERTY, TO OBTAIN THIS PERMIT. I UNDERSTAND THAT IF THE CONSTRUCTION AND/OR INSTALLATION FOR WHICH THIS PERMIT IS ISSUED IS CONTRARY TO THE REQUIREMENTS OF METROPOLITAN CODES OR REGULATIONS, SAID VIOLATIONS MUST BE CORRECTED, AND THE PERMIT MAY BE VOIDED. I FURTHER CERTIFY THAT I AM IN COMPLIANCE WITH THE STATE OF TENNESSEE STATUTES RELATING TO LICENSING CONTRACTORS FOR THE WORK DESCRIBED IN THIS PERMIT. WORK MUST START WITHIN SIX (6) MONTHS AND MUST BE COMPLETED WITHIN TWO (2) YEARS OF ISSUE DATE. PERMITS BECOME INVALID IF WORK DOES NOT START WITHIN SIX (6) MONTHS OR IS SUSPENDED FOR ONE (1) YEAR AFTER START DATE. EXTENSIONS OF NINETY (90) DAYS EACH MAY BE ALLOWED IN WRITING BY THE DIRECTOR.

APPROVAL (WHERE REQUIRED)

DATE

SIGNATURE OF APPLICANT

DATE

*[Handwritten Signature]*

10 31 03

**APPLICATION FOR GAS/MECH PERMIT**

BLDG PERMIT 0000 00000 M/P 105-13-0 375.00 CD 17 AREA 06 STATUS ISSUED

SAL CITY	BLDG PERMIT TYPE	HVAC Y	GAS Y
BLDG FROM UNIT	THRU UNIT NO OF DW UNITS	NO OF BLDGS	

STREET NO 02300 LOCATED ON SIDE OF 10TH AV S FLOOD PLAIN N  
FEET OF ZIP 37204

PROP DESC LOT 1 JACOB SCHMIDT HEIRS  
OWNER SMITH, SONYA D. ADDR 1305 SOUTH OAK DR

**PURPOSE**

CONTR TYPE HC NUM 09524 NAME SKILLCRAFT COMPANY INC, THE 615 367 2071

APPLICANT # HV 00476 MECH PERMIT TYPE ADD ON /HVAC

AMOUNT OVER \$25,000 N	2 LB N	FUEL TYPE	NAT	LPG	OIL	ELECT
	ELECT PERMIT			GAS CONNECTION		

HWH HEATERS	RANGE COOK EQ	FURNACE BOILER	1 DRYER FIRPLAC	DEC APL PKG UNT	OVENS DAMPERS
-------------	---------------	----------------	-----------------	-----------------	---------------

PWD VNT DCT SYT	2 REF UNT CFM TOT	AR HNDL EXH FAN	CONDENS EXH CFM	1 GRS HD GAS PIP	UND PIP UNDERGROUND
-----------------	-------------------	-----------------	-----------------	------------------	---------------------

TOT BTU/1000H	115 TONS	5 KW	GRAND TOT BTU OVER 1200	175000
LPG TANKS (GAL)	26-500	501-1200	MXHE	MXCE

ADD TO FEE \$ PERCENT  
PERMIT AMT 38.00 CHK # 3020 CHK AMT 38.00 CSH/DBT AMT

MECH PERMIT 2003 06922 G ISSUED 10 31 2003 NGC APPR PERMIT APPR

GAS/MECH PERMITS TIED TO BUILDING PERMIT 2002-08441A OR LATTER WILL BE INSPECTED UNDER 2000 STANDARD GAS/MECH CODES AND/OR THE 2000 INTERNATIONAL RESIDENTIAL CODE FOR 1 AND 2 FAMILY. ROUGH-IN INSPECTION IS REQUIRED AFTER INSTALLATION BUT BEFORE COVERING. FINAL INSPECTION IS REQUIRED AT COMPLETION OF WORK. \*\*\* CALL 862-6570 FOR INSPECTION \*\*\*

## Real estate taxes for the previous two years

See attached

2  
0  
1  
7



**Charlie Cardwell, Metropolitan Trustee**  
 700 Second Avenue South, Suite 220  
 P.O. Box 196358  
 Nashville, TN 37219-6358

Printed Date: **06/25/2018**  
 ACCOUNT # **10513037500**  
 BILL # **2017-140080**  
 MTG - NATIONSTAR MORTGAGE LLC

**2017 REAL PROPERTY TAX STATEMENT**

RETAIN THIS PORTION FOR YOUR TAX RECORDS.

<b>Owner Address</b> SMITH, SONYA D. 2300 10TH AVE S NASHVILLE, TN 37204	
<b>Property Address</b> 2300 10TH AVE S	
<b>Classification</b> Residential	
<b>Subdivision</b> LOT 1 JACOB SCHMIDT HEIRS	
<b>Acres</b> 0.15	<b>Council District</b> 17
Land Value	\$ 208,000.00
Improvement Value	\$ 186,000.00
Personal Property	\$ 0.00
<b>Total Value</b>	<b>\$ 394,000.00</b>
Exemption	No
Equalization Factor	0.0000
Assessed %	25
Assessed Value	\$ 98,500.00
Tax Rate	3.1550
Base Tax	\$ 3,107.68
Rollback Tax	\$ 0.00
Interest Due	\$ 0.00
Prior Payments	\$ 3,107.68
Balance Due	\$ 0.00

**Your taxes are distributed as follows:**

Fund Description	Rate	GSD Tax	USD Tax	Amount
GSD GENERAL FUND	1.28800	1,268.68	0.00	1,268.68
GSD DEBT SERVICE	0.29700	292.55	0.00	292.55
GSD SCHOOL DEBT SERVICE	0.12600	124.11	0.00	124.11
GSD SCHOOLS GENERAL PURPOSE	0.99400	979.09	0.00	979.09
USD GENERAL FUND	0.33400	0.00	328.99	328.99
USD DEBT SERVICE	0.06600	0.00	65.01	65.01
USD FIRE PROTECTION	0.05000	49.25	0.00	49.25
<b>Total Base Tax</b>	<b>3.1550</b>	<b>\$ 2,713.68</b>	<b>\$ 394.00</b>	<b>\$ 3,107.68</b>

Payment History

Original Tax Due	3,107.68
Adjustments	0.00
Interest Accrued	0.00
Previous Base Tax Payments	3,107.68
Previous Interest Payments	0.00
<b>Current Base Tax Due</b>	<b>0.00</b>
<b>Current Interest Due</b>	<b>0.00</b>
<b>Total Current Amount Due</b>	<b>0.00</b>
<b>Amount Due Next Month</b>	<b>0.00</b>

ADA (615) 862-6330

CUT OR TEAR ALONG THIS LINE

**PAY ONLINE AT: [nashville.gov/trustee](http://nashville.gov/trustee)**

**Charlie Cardwell, Metropolitan Trustee**  
 700 Second Avenue South, Suite 220  
 P.O. Box 196358  
 Nashville, TN 37219-6358

ACCOUNT 10513037500	BILL # 2017-140080
PROPERTY ADDRESS 2300 10TH AVE S	
Taxes must be paid by <b>June 30, 2018</b> MTG - NATIONSTAR MORTGAGE LLC	
AMOUNT REMITTED	

**Current Amount Due : \$ 0.00**

To avoid interest, total tax must be paid in full by : June 30, 2018

Important: Return this portion with your payment. Use the address below for current payment only. Make check payable to:

Address Change  
 Credit Card Payment

SMITH, SONYA D.  
 2300 10TH AVE S  
 NASHVILLE, TN 37204

Metropolitan Trustee  
 Real Property Tax Dept.  
 PO BOX 196358  
 Nashville, TN 37219-6358



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Charlie Cardwell, Metropolitan Trustee  
700 Second Avenue South, Suite 220  
P.O. Box 196358  
Nashville, TN 37219-6358

Printed Date: 01/12/2018  
ACCOUNT # 10513037500  
BILL # 2016-141095  
MTG - CITIMORTGAGE, INC

**2016 REAL PROPERTY TAX DELINQUENT STATEMENT**

RETAIN THIS PORTION FOR YOUR TAX RECORDS.

<b>Owner Address</b> SMITH, SONYA D. 2300 10TH AVE S NASHVILLE, TN 37204	
<b>Property Address</b> 2300 10TH AVE S	
<b>Classification</b> RESIDENTIAL	
<b>Subdivision</b> LOT 1 JACOB SCHMIDT HEIRS	
<b>Acres</b> 0.15	<b>Council District</b> 17
Land Value	\$ 140,000.00
Improvement Value	\$ 139,900.00
Personal Property	\$ 0.00
Total Value	\$ 279,900.00
Exemption	No
Equalization Factor	0.0000
Assessed %	25
Assessed Value	\$ 69,975.00
Tax Rate	4.5160
Base Tax	\$ 3,160.07
Rollback Tax	\$ 0.00
Interest Due	\$ 0.00
Prior Payments	\$ 3,160.07
Balance Due	\$ 0.00

**Your taxes are distributed as follows:**

Fund Description	Rate	GSD Tax	USD Tax	Amount
GSD GENERAL FUND	1.82500	1,277.04	0.00	1,277.04
GSD DEBT SERVICE	0.42300	295.99	0.00	295.99
GSD SCHOOL DEBT SERVICE	0.18000	125.96	0.00	125.96
GSD SCHOOLS GENERAL PURPOSE	1.41600	990.85	0.00	990.85
USD GENERAL FUND	0.48000	0.00	335.88	335.88
USD DEBT SERVICE	0.11200	0.00	78.37	78.37
USD FIRE PROTECTION	0.08000	55.98	0.00	55.98
<b>Total Base Tax</b>	<b>4.5160</b>	<b>\$ 2,745.82</b>	<b>\$ 414.25</b>	<b>\$ 3,160.07</b>

**Payment History**

Original Tax Due	3,160.07
Adjustments	0.00
Interest Accrued	0.00
Previous Base Tax Payments	3,160.07
Previous Interest Payments	0.00
Current Base Tax Due	0.00
Current Interest Due	0.00
Total Current Amount Due	0.00
Amount Due Next Month	0.00

ADA (615) 862-6330

CUT OR TEAR ALONG THIS LINE



2  
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6  
Charlie Cardwell, Metropolitan Trustee  
700 Second Avenue South, Suite 220  
P.O. Box 196358  
Nashville, TN 37219-6358

**PAY ONLINE AT: nashville.gov/trustee**

ACCOUNT 10513037500	BILL # 2016-141095
PROPERTY ADDRESS 2300 10TH AVE S	
Taxes must be paid by <b>January 31, 2018</b> MTG - CITIMORTGAGE, INC	
AMOUNT REMITTED	

**Current Amount Due : \$ 0.00**

To avoid interest, total tax must be paid in full by : January 31, 2018

Important: Return this portion with your payment. Use the address below for current payment only. Make check payable to:

Address Change  
 Credit Card Payment

SMITH, SONYA D.  
2300 10TH AVE S  
NASHVILLE, TN 37204

Metropolitan Trustee  
Real Property Tax Dept.  
PO BOX 196358  
Nashville, TN 37219-6358

Evidence of due diligence conducted prior to purchase, that would have revealed the existence of the overlay.

*N/A*

## Feasibility of alternative uses for the property that could earn a reasonable economic return

*The property is set across the street from a Metro School - Waverley Belmont elementary and a building that is mixed use commercial and residential - It is not feasible to use the property other than a Non-conforming Duplex*

Any inspection reports conducted prior to purchase, if the building has been purchased in the last 12 months

*N/A*

- Evidence that all avenues for reuse were attempted, which may include actions such as:

- Applied for 20% Rehab Tax Credits and the results
- Applied for historic preservation grant with the Tennessee Historical Commission and the results
- Researched and applied for any other financial assistance that may be available for historic resources, the business planned, or rehabilitation and the results
- Worked with MHZC Staff on the possibility of an addition that would make rehab more viable
- Considered construction of detached accessory dwelling unit

Any additional information requested

Any additional information requested