



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

**STAFF RECOMMENDATION**  
**505 Buchanan Street**  
**August 15, 2018**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**Application:** New Construction—Infill  
**District:** Salemtown Neighborhood Conservation Zoning Overlay  
**Council District:** 19  
**Map and Parcel Number:** 08108046600  
**Applicant:** Axis Creative, LLC; Will Jenner, Designer  
**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

**Description of Project:** A proposal to construct a new two story house on a vacant lot. The house will be thirty-three feet (33') tall and thirty-four feet (34') wide. It will be clad with brick with a stone foundation and an asphalt shingle roof.

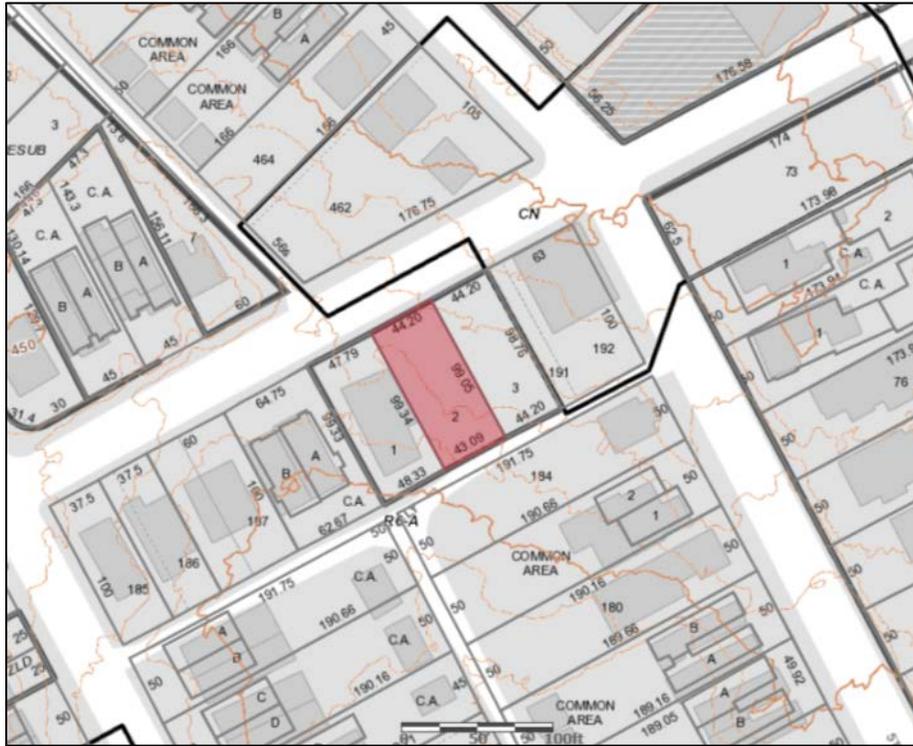
**Recommendation Summary:** Staff recommends approval of the proposed infill at 505 Buchanan Street with the following conditions:

1. The front setback shall be consistent with setbacks of the adjacent historic houses, to be verified by MHZC staff in the field;
2. The finished floor height shall be consistent with the finished floor heights of nearby historic houses, relative to natural grade, to be verified by MHZC staff in the field;
3. A window opening shall be added on the right side on the upperstory, toward the front;
4. Brick and stone samples shall be approved by MHZC Staff; and
5. The window and door selections shall be approved by MHZC Staff;
6. The roof color shall be approved by MHZC Staff;
7. The material of the front walkway and rear driveway shall be approved by MHZC Staff; and,
8. The utility connections and HVAC units shall be located behind the midpoint of the building on a non-street facing façade.

With those conditions met, Staff finds that the project will meet the design guidelines for new construction in the Salemtown Neighborhood Conservation Zoning Overlay.

**Attachments**  
**A:** Photographs  
**B:** Site Plan  
**C:** Floorplans  
**D:** Elevations

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **III. New Construction**

#### **A. Height**

1. The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings. Where there is little historic context, existing construction may be used for context. Primary buildings should not be more than 35' tall.

#### **B. Scale**

1. The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

#### **C. Setback and Rhythm of Spacing**

1. The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.
2. The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;
- Shape of lot;
- Alley access or lack thereof;
- Proximity of adjoining structures; and
- Property lines.

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity
- Existing or planned slope and grade

*In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:*

- *There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- *The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- *An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

#### **D. Materials, Texture, Details, and Material Color**

1. The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. The majority of historic buildings are frame with a lap siding with a maximum of a 5" reveal. Only a few historic examples are masonry.

- a. Inappropriate materials include vinyl and aluminum, T-1-11- type building panels, "permastone", and E.F.I.S. Stud wall lumber and embossed wood grain are prohibited.
  - b. Appropriate materials include: pre-cast stone for foundations, composite materials for trim and decking, cement fiberboard shingle, lap or panel siding . (Few buildings were historically brick and there are no stone examples.)
    - Lap siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.
    - Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").
    - Four inch (4") nominal corner boards are required at the face of each exposed corner.
    - Stone or brick foundations should be of a compatible color and texture to historic foundations.
    - When different materials are used, it is most appropriate to have the change happen at floor lines.
    - Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.
    - Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate for chimneys.
    - Texture and tooling of mortar on new construction should be similar to historic examples.
    - *Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.*
3. Asphalt shingle and metal are appropriate roof materials for most buildings. Generally, roofing should NOT have: strong simulated shadows in the granule colors which results in a rough, pitted appearance; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; or uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof or a dominant historic example.

## **E. Roof Shape**

1. The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. Common roof forms in the neighborhood include side, front and cross gabled, hipped and pyramidal. Typically roof pitches between 6/12 and 12/12. Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range. See page 9 for examples of common roof forms.
2. Small roof dormers are typical throughout the district and are appropriate on one-story buildings only, unless located on the rear. Wall dormers are only appropriate on the rear, as no examples are found historically in the neighborhood.

## **F. Orientation**

1. The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
2. Primary entrances are an important component of most of the historic buildings in the neighborhood and include partial- or full-width porches attached to the main body of the house or cut-away porches. Recessed entrances are not found in the overlay but in the greater Salemtown neighborhood and may be appropriate in some instances. Simple hoods over the entrance are also appropriate.
3. Porches should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals. Front, side, wrap-around and cutaway porches are appropriate. Porches are not always necessary and entrances may also be defined by simple hoods or recessed entrances.
4. Generally, curb cuts should not be added. Where a new driveway is appropriate it should be two concrete strips with a central grassy median. Shared driveways should be a single lane, not just two

driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

#### *Parking areas and Driveways*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median. Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

### **G. Proportion and Rhythm of Openings**

1. The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.
2. Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.
3. Double-hung windows should exhibit a height to width ratio of at least 2:1. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.
4. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.
5. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

### **I. Utilities**

1. Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.
2. Generally, utility connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

**Background:** The lot at 505 Buchanan Street is a vacant lot. To the right of the lot is a two-story building that was built prior to the designation of the overlay. Construction of a two-story infill building was recently approved for the adjacent lot to the left.



Vacant lot at 505 Buchanan Street

**Analysis and Findings:** The applicant is proposing to construct a two story house on the lot.

**Height & Scale:** The new building will be two stories tall with a maximum height of thirty three feet (33') from grade to the peak of the roof, with an eave height of twenty-one feet (21') above grade and a floor height of two feet (2'). The design guidelines for the Salemtown NCZO allow new construction to be two stories and up to thirty-five feet (35') tall. Staff recommends as a condition of approval that the compatibility of the floor height shall be verified by an inspection at the start of construction.

The depth of the building will be seventy feet (70') including a six foot (6') deep front porch and a ten foot (10') deep rear porch. These proportions match those of the infill recently approved on the adjacent lot to the left.

With a condition that the floor height, relative to natural grade, is consistent with surrounding historic houses, Staff finds that the height and scale of the proposed infill will be compatible with the surrounding context and meet sections III.A and III.B of the design guidelines.

**Setback & Rhythm of Spacing:** The new building will be five feet (5') from the side property lines and twenty feet (20') from the rear property line. The front setback is seventeen feet, eight inches (17'-8"). This is slightly forward of the non-contributing building two lots to the right, but matches the front setback of the nearest contributing building on this block and the recently approved infill to the left. Staff finds that the proposed infill meets Section III.C of the design guidelines, with a recommended condition that the appropriate front setback shall be verified on site before construction begins.

**Roof form:** The roof of the proposed infill will be hipped with a front-to-back ridge orientation and a 7:12 pitch on all four sides. There will be no dormers, chimneys, or other penetrations on the primary roof. The full-width front porch will have two 3:12 pitched shed roofed sections to the left and right of an uncovered second story component in the center. Other than having shed roofs on the porch instead of hipped roofs, this form is similar to the front porch of the recently approved infill on the adjacent lot to the left. Staff finds that the project meets section III.E of the design guidelines.

Materials:

	<b>Proposed</b>	<b>Color/Texture/ Make/Manufacturer</b>	<b>Approved Previously or Typical of Neighborhood</b>	<b>Requires Additional Review</b>
<b>Foundation</b>	Stone veneer	Not Indicated	Yes	Yes
<b>Primary Cladding</b>	Brick	Not Indicated	Yes	Yes
<b>Primary Roofing</b>	Architectural Shingles	Not Indicated	Yes	Yes
<b>Trim</b>	Wood	Typical	Yes	
<b>Front Porch floor/steps</b>	Concrete	Typical	Yes	
<b>Front Porch Posts</b>	8" Round	Not Indicated		Yes
<b>Principal Entrance</b>	2/3 Glass French Doors	Not Indicated		Yes
<b>2<sup>nd</sup> Story Railing</b>	Wrought iron	Typical	Yes	
<b>Windows</b>	Double Hung Sash	Not Indicated		Yes
<b>Rear Porch floor/steps</b>	Wood	Typical	Yes	
<b>Rear Porch Posts</b>	Wood	Typical	Yes	
<b>Driveway</b>	Not Indicated			Yes
<b>Walkway</b>	Not Indicated			Yes

With the condition that brick and stone samples, roof color, porch columns, window and door selections, and paving materials are administratively approved, Staff finds that the project meets section III.D of the design guidelines.

Orientation: The new building will be oriented with the primary façade facing Buchanan Street directly, as is typical of historic houses nearby. The site plan indicates that there will be a walkway added in the front yard connecting the front porch to the sidewalk and a driveway in the rear to access an attached garage. As with approved infill on the adjacent lot, Staff finds that an attached rear-facing garage on the main first-floor level is appropriate because the lot is very shallow at only ninety-nine feet (99') deep whereas the standard lot in the district is one hundred seventy feet (170') on average. Because the garage faces the rear and is alley accessed, it will not be visible. Staff finds that the project will meet section III.F of the design guidelines.

Proportion and Rhythm of Openings: The windows are generally twice as tall as they are wide, as is typical of the proportions of openings on historic buildings nearby. The pattern of window placement is also compatible with nearby historic buildings, with the exception of a section of wall on the right side of the building's upperstory. This space, which is toward the front of the building, has an expanse of nineteen feet (19') without an opening. Staff recommends adding a window or windows in this area to break up the uninterrupted wall area, as historic houses nearby typically do not have any expanse of wall greater than twelve feet (12') without an opening. With this condition Staff finds that the proposed infill will meet section III.G of the design guidelines.

Appurtenances & Utilities: The proposal includes a front walkway and rear driveway, previously described. The new location of the HVAC was not indicated, therefore Staff asks that it should be located on the rear façade, or on a side façade beyond the midpoint of the house. With that condition, Staff finds that the project meets section III.I of the design guidelines.

**Recommendation:** Staff recommends approval of the proposed infill at 505 Buchanan Street with the following conditions:

1. The front setback shall be consistent with setbacks of the adjacent historic houses, to be verified by MHZC staff in the field;
2. The finished floor height shall be consistent with the finished floor heights of nearby historic houses, relative to natural grade, to be verified by MHZC staff in the field;
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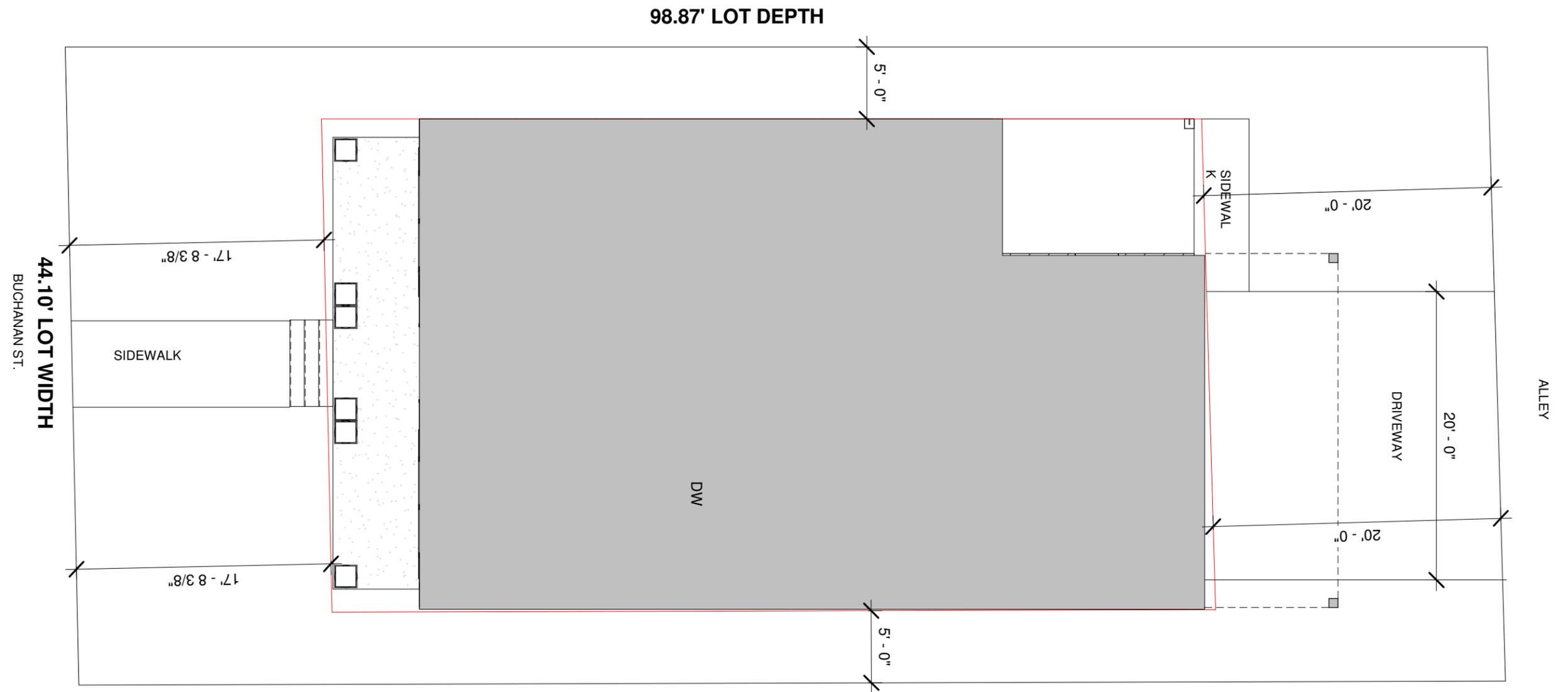
## PHOTOGRAPHS



505 (vacant), 507, and 509 Buchanan Street.

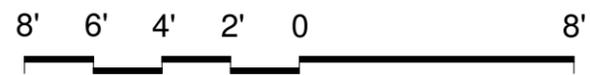
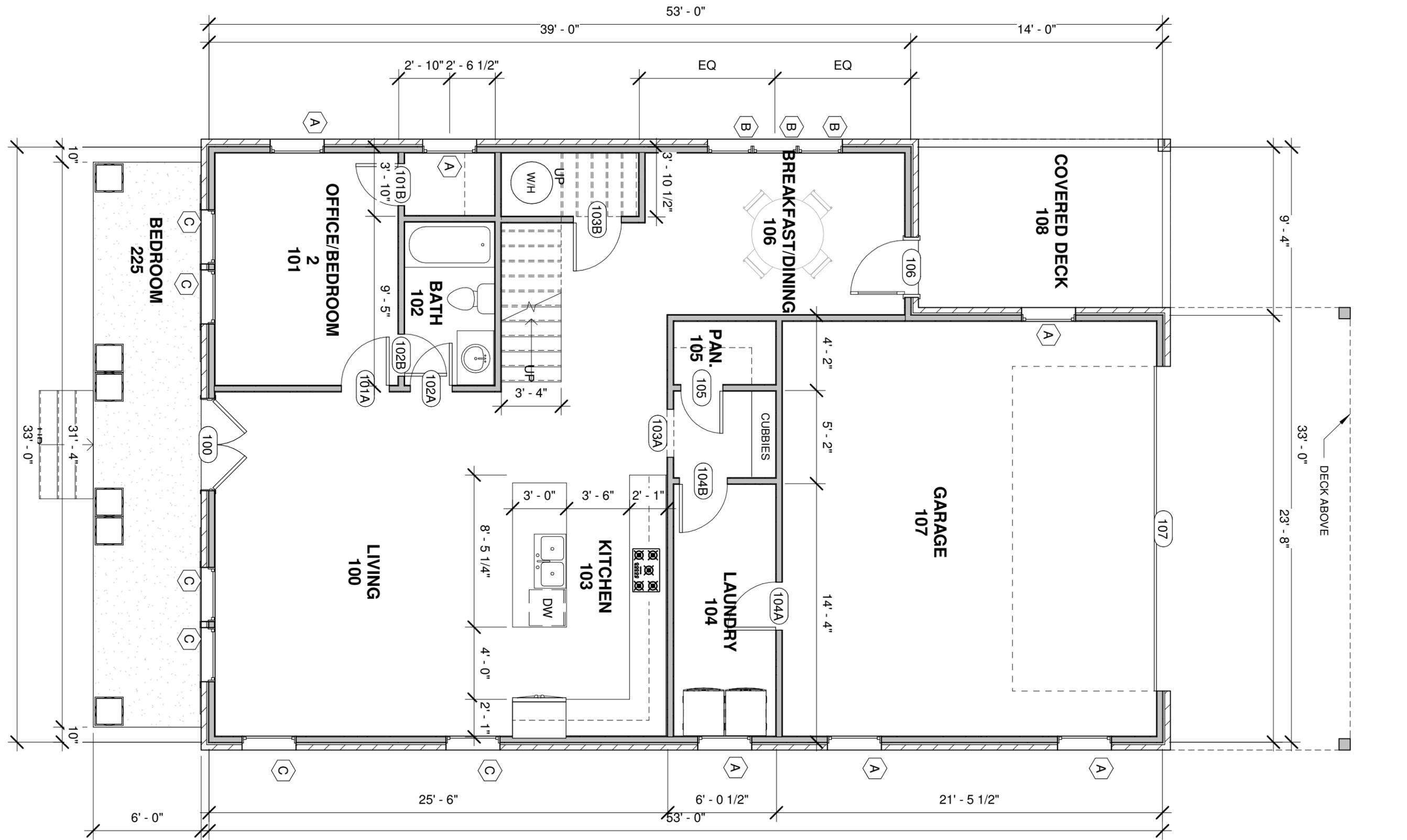


1725 5<sup>th</sup> Avenue North, a commercial building at the corner of 5<sup>th</sup> Avenue North and Buchanan Street. The vacant space to the right includes 503 Buchanan, for which infill was approved in May 2018, and 505 Buchanan Street.



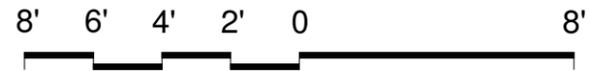
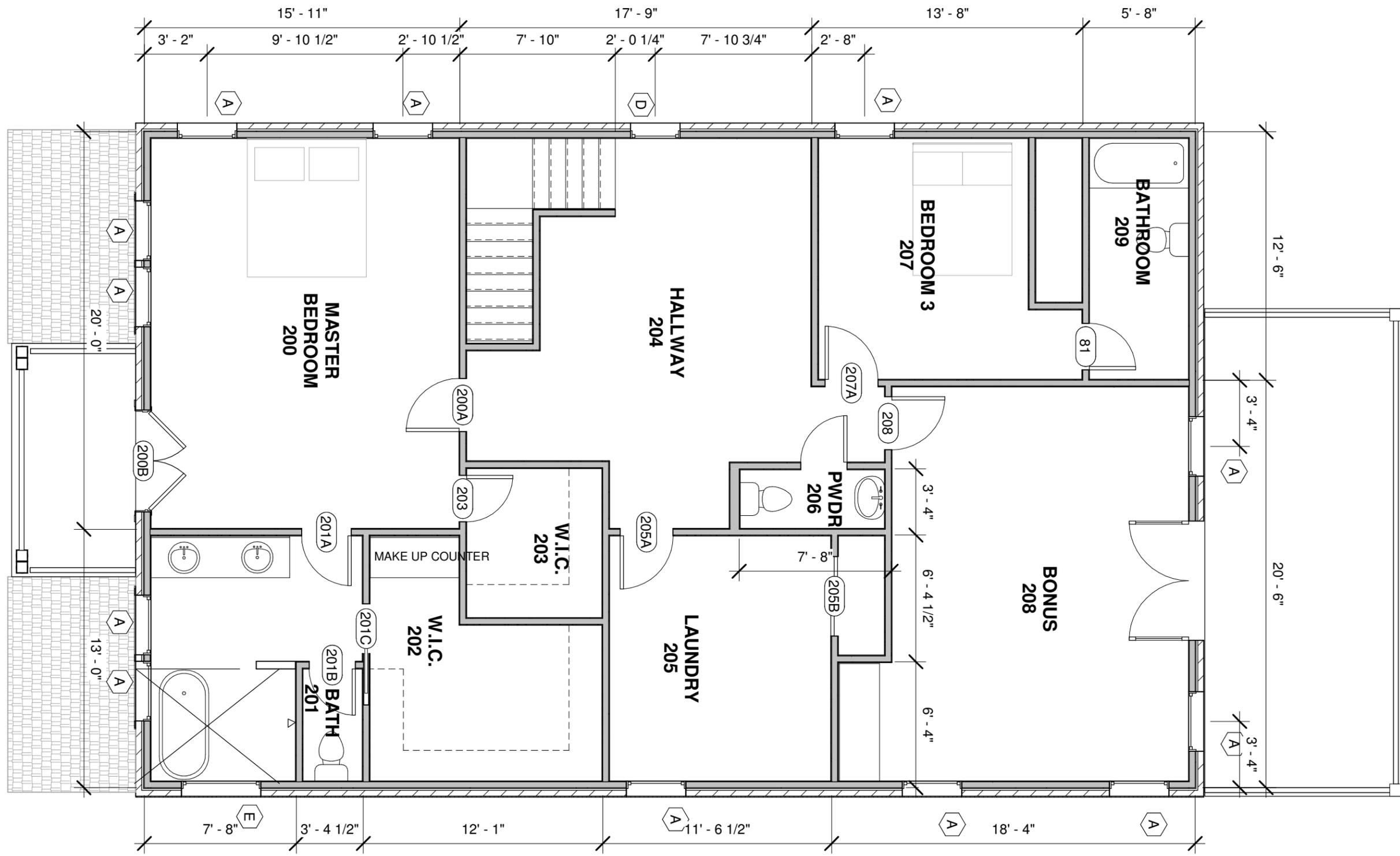
505 BUCHANAN

SITE PLAN



505 BUCHANAN

1ST FLOOR PLAN



2ND FLOOR PLAN

505 BUCHANAN

T.O. ROOF  
31' - 0"

ROOF BEARING  
19' - 0"

SECOND FLOOR  
10' - 0"

L.1-T.O.PLATE  
9' - 0"

FIRST FLOOR  
0"

GRADE  
-2' - 0"



ARCHITECTURAL SHINGLES,  
COLOR TBD, HISTORIC APPROVED

HARDIE TRIM PEDIMENT

OWNER SELECTED, HISTORIC APPROVED  
FRONT DOOR

1X6 WINDOW TRIM HEAD/SILL  
1X4 WINDOW TRIM JAMBS

24" ROUND COLUMNS,  
STYLE AND TYPE APPROVED BY  
HISTORIC

DBL HUNG WINDOWS,  
TO BE APPROVED BY HISTORIC

WROUGHT IRON RAILING

BRICK VENEER,  
COLOR TO BE APPROVED BY HISTORIC

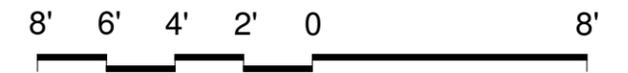
ARCHITECTURAL SHINGLES,  
COLOR TBD, HISTORIC APPROVED

8" ROUND COLUMNS,  
STYLE AND TYPE APPROVED BY  
HISTORIC

CAST IN PLACE CONCRETE PORCH  
STONE VENEER,  
COLOR TO BE APPROVED BY HISTORIC

CAST IN PLACE CONCRETE STEPS

OWNER SELECTED, HISTORIC APPROVED  
FRONT DOOR



FRONT ELEVATION

505 BUCHANAN

T.O. ROOF  
31' - 0"

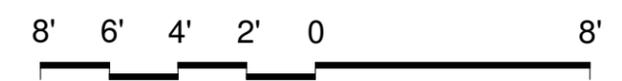
ROOF BEARING  
19' - 0"

SECOND FLOOR  
10' - 0"

L.1-T.O.PLATE  
9' - 0"

FIRST FLOOR  
0"

GRADE  
-2' - 0"



LEFT ELEVATION

505 BUCHANAN

T.O. ROOF  
31' - 0"

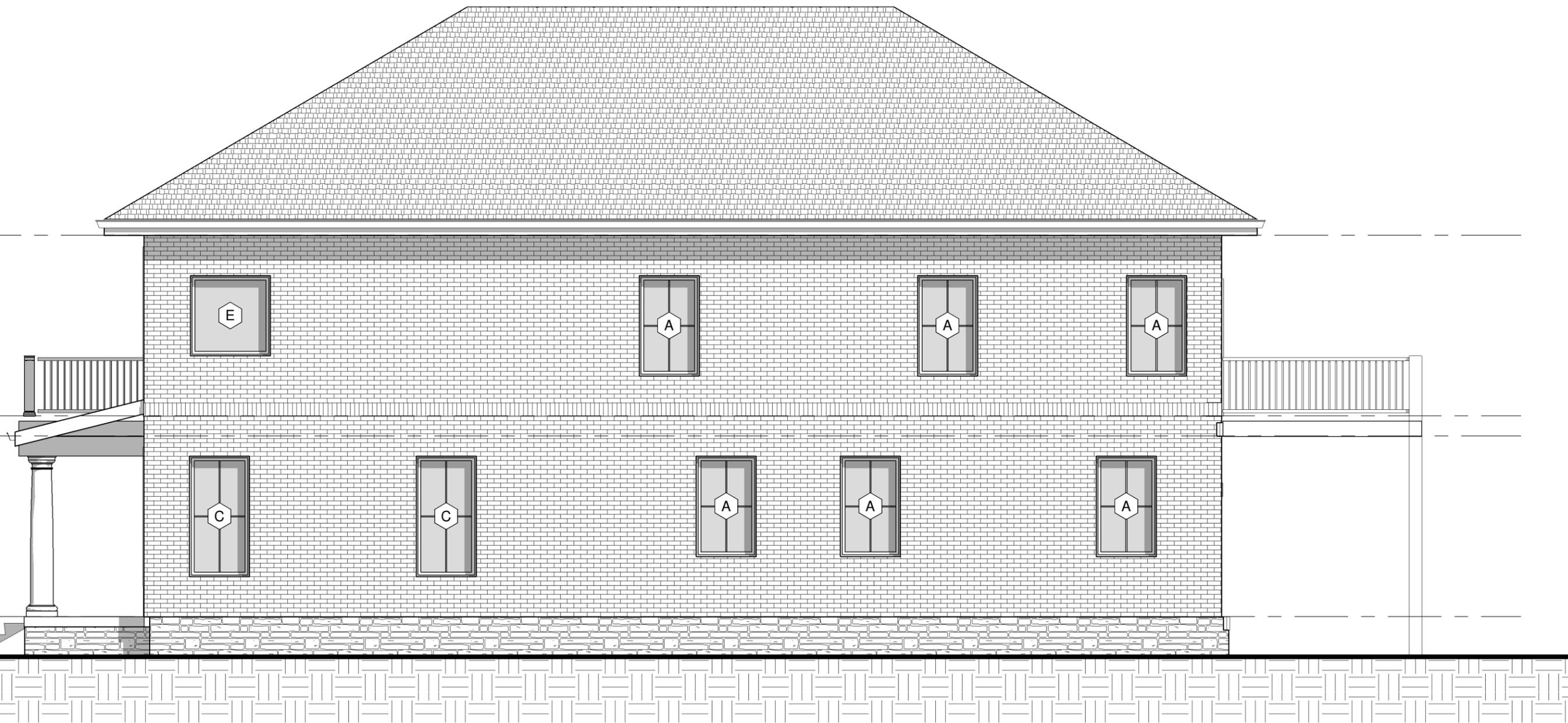
ROOF BEARING  
19' - 0"

SECOND FLOOR  
10' - 0"

L.1-T.O.PLATE  
9' - 0"

FIRST FLOOR  
0"

GRADE  
-2' - 0"

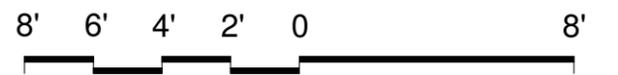
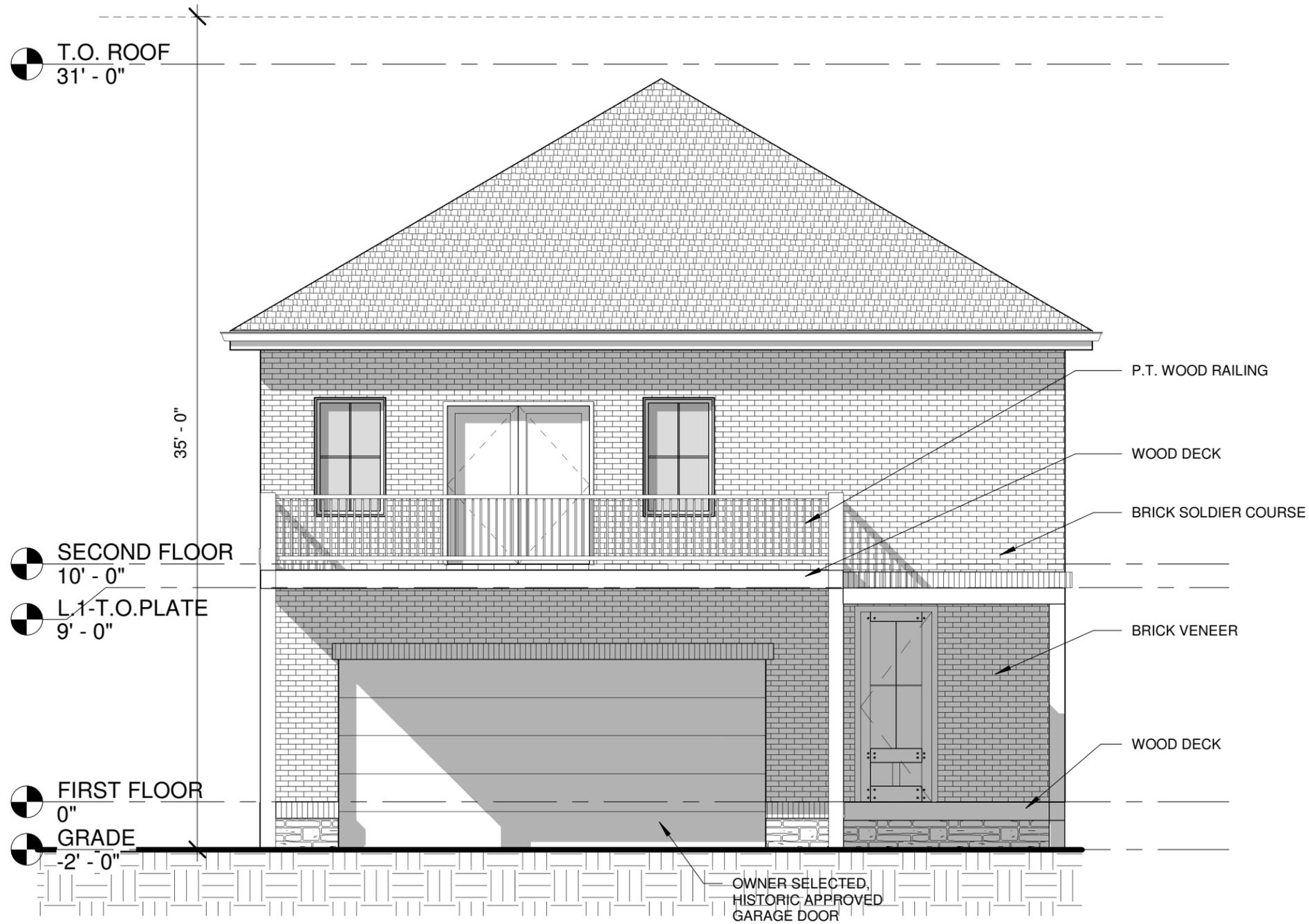


505 BUCHANAN

JENNER  
ARCHITECTURE DESIGN

RIGHT ELEVATION

07/22/18



REAR ELEVATION

505 BUCHANAN