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MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
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STAFF RECOMMENDATION
604 Madison Street
September 19, 2018

Application: New Construction—Infill
District: Germantown Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 08213018800
Applicant: Manuel Zeitlin
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is to construct a new low-mid rise development at the northwest corner of 6th Avenue North and Madison Street. This parcel is one-half of the SP development located on the north side of Madison Street, between 6th and 7th Avenues.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. The finished floor height be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. The stair bulkheads be reduced in size to the minimum height possible to meet code;
3. Front walkways be added from the stoops to the sidewalks;
4. MHZC staff approve following materials prior to purchase and installation: a brick sample, a stone sample, metal panel sample, all windows and doors, and a sample for the roof railing;
5. All HVAC units and other mechanicals or equipment be located on the rear façade or on the roof; and
6. The applicant return to staff for approval of all appurtenances, including, but not limited to, fencing, lighting, railings, pavers, etc.

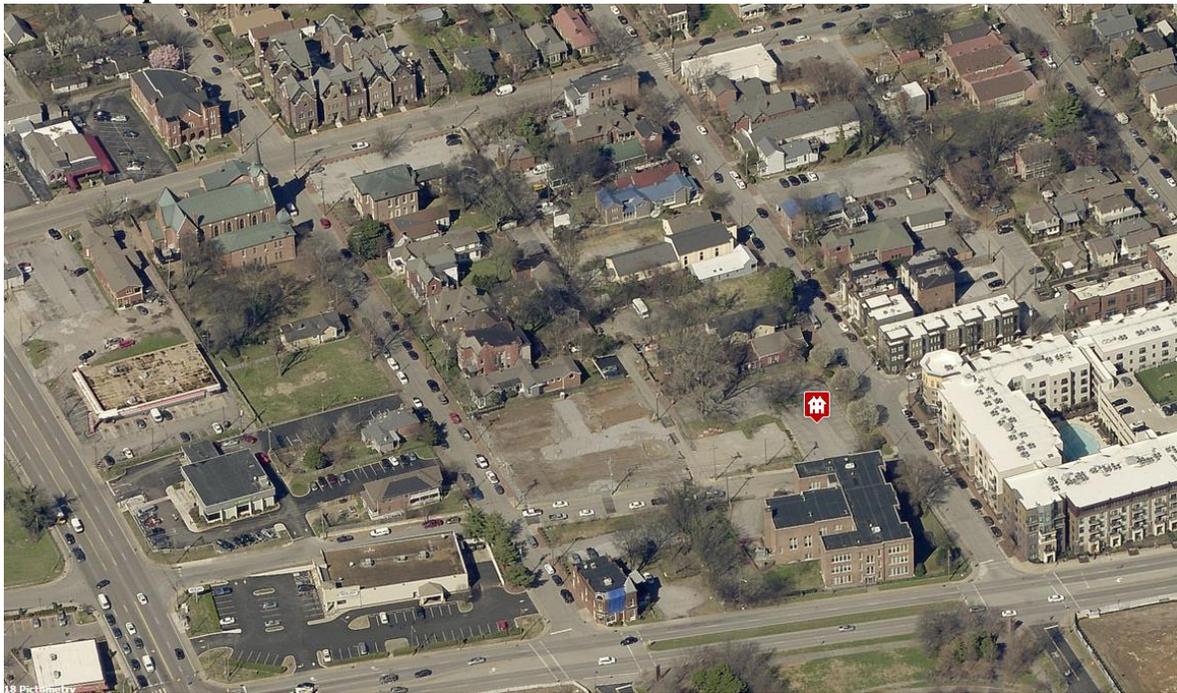
With these conditions, staff finds that the proposed project meets Sections III. and IV. of the Germantown Historic Preservation Zoning Overlay design guidelines.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III. New Construction

A. GENERAL PRINCIPLES

Germantown is an eclectic district with distinct that contain different types of development. For this reason, the district is divided into “Development Zones” for site planning and “Building Types” for building design. Each project should meet the guidelines provided for “All Development Zones” and follow the more specific guidance for the “Building Type” and the “Development Zone” in which project is located.

Each “Development Zone” identifies the “Building Types” appropriate for that zone. The “Building Types” are very similar to those found in the Planning Department’s “Community Character Manual” but with additional information and guidance specific to Germantown.

Process for Planning New Construction in Germantown:

1. Determine the proposed “Building Type.”
2. Determine the “Development Zone” in which the project will be located. Check to be sure that the desired “Building Type” is appropriate in that “Development Zone.” If so,
3. Follow the guidelines for the “Building Type” in designing the building, the guidelines for the “Development Zone” when designing the site and the “General Design Guidelines” for both the design of the building and the site.

B. BUILDING TYPES

The Commission only reviews the design of buildings, sites and improvements. Applicants should check with the Metro Codes Department to assure that the intended use is permitted.

6. Low-Mid Rise, Mixed Use & Commercial Building Type

A Low-Mid Rise, Mixed Use & Commercial types have either residences, a non-residential use or a mix of uses. At least one primary pedestrian entrance is provided along the primary street frontage. Vehicular access is from the alley. The building may occupy the full frontage of its lot, eliminating most side yards except for instances of required public pedestrian passages from the rear of the lot, or parking areas located on the side of the building. Siting of such buildings should provide desirable streetscape characteristics: pedestrian oriented businesses and shops at ground level, corner entrances, and a consistent building edge at least 12’ feet from the sidewalk. The roof form is typically flat with parapet or a pitched roof.

SUMMARY OF BUILDING TYPES:

Building Type	# of stories, depending on zone	Roof Forms	Development Zone
Low-Mid Rise, Mixed Use & Commercial	2-4	Flat with parapet or pitched	National Register, Rosa L. Parks, East, Jefferson, North

C. DEVELOPMENT ZONES

The district is divided into Development Zones to provide guidance on new construction that is specific to that area, particularly as relates to setback and height requirements.

1. National Register District Development Zone: properties located within the National Register of Historic Places boundaries.
2. Werthan Complex Development Zone: properties located within the Tennessee Manufacturing Company (Werthan Bag) National Register district.
3. Rosa L. Parks Blvd. Development Zone: properties facing Rosa L. Parks Blvd. between the Werthan Complex to the north and Jefferson Street on the south.
4. East Development Zone: properties that face Second Avenue North, Third Avenue North and Fourth Avenue North roughly between Monroe and Madison Streets, and the east side Fifth Avenue North between Monroe and Madison Streets.
5. Jefferson Street Development Zone: properties primarily along Jefferson Street. The corner lot at Jefferson and Rosa Parks shall follow guidance for the Rosa L. Parks Blvd. Development Zone.
6. North Development Zone: includes properties on the north side of Van Buren Street

D. DESIGN GUIDELINES BY DEVELOPMENT ZONE

1. National Register Development Zone
 - a. Appropriate Building Types: House, Plex House, House Court, Townhouse, Corner Commercial, Low-mid-Rise Mixed Use & Commercial, Civic
 - b. Setbacks
 - Commercial Building Types were typically built to the front property line/sidewalk and may extend to within 5' of the rear property line. Generally commercial building types are not appropriate on the interior of blocks.
 - Residential building types (House, Plex House, House Court, Townhouse) are appropriate on corner and interior lots. An appropriate front setback shall be one that is approximately half-way between the setbacks of the historic buildings to either side. If the buildings to either side are not historic, are unusual for the neighborhood, or are not of the same development type, such as a church or school, then the average of the historic buildings of the same building type on the entire block face shall be used. Rear setbacks are generally deep to allow for a rear yard and outbuilding.
 - Side setbacks should be similar to the historic context in order to maintain the rhythm of the street. Often this is accomplished by matching the widths of historic buildings on the block face that are on similar sized lots.
 - Wings, porches, and secondary building elements should be at similar setbacks to existing context.
 - Corner new construction should appropriately address setbacks on both streets for corner lots.
 - Setbacks that do not meet the historic context may be appropriate for Civic Building Types
 - c. Height

- i. Traditionally residential portions of Germantown had 1 and 2 story homes next to each other; therefore 1, 1.5 and 2 story homes are appropriate. New construction should not exceed 2-stories (~35' for a pitched roof and ~30' for a flat roof) from grade to ridge or top of parapet wall as measured at the front two corners. Special features of limited height, such as towers or turrets may be acceptable, as long as they are kept to a minimum.
- ii. A height that does not meet the historic context may be appropriate for Civic Building Types, depending on the massing and siting of the building.

Summary of Development Zones. Please refer to text for additional guidance.

Development Zone	Setback	Height	Appropriate building types
National Register	Follows Historic Context	1-2 Stories	House, Plex House, House Court, Townhouse, Corner Commercial, Low-mid-Rise Mixed Use & Commercial, Civic

E. DESIGN GUIDELINES FOR NEW CONSTRUCTION IN ALL ZONES

1. General Policy

- a. This section provides design guidelines for all new construction. Additional guidance is provided based on the Building Type proposed and the Development Zone in which the project will be located.
- b. Guidelines apply only to the exterior of new construction. Public facades shall be more carefully reviewed than non-public facades. Public facades are visible from the public right-of-way, street, alley or greenway. Non-public facades are not visible from the public right-of-way, street, alley, or greenway.
- c. Construction in the District has taken place continuously from the mid- 19th century through the present and a variety of building styles and building types have resulted. This variety reflects the style, culture, and values of the District over time. New construction that imitates historic architectural styles may compromise the value of authentic historic structures by confusing genuine history with reproduction. Exterior building design should avoid the creation of themed environments that create a false sense of being in an alternate time or place. The architectural building types of new buildings should be appropriate to the general context of the historic portions of the neighborhood but may be contemporary in design.
- d. Because new buildings should relate to an established pattern and rhythm of existing buildings as viewed along both the same and opposite sides of a street, a dominance of the pattern and rhythm should be respected and not be disrupted.
- e. New construction should be consistent and compatible with existing buildings along a street in terms of height, scale, setback, relationship of materials, texture and color; roof shape; orientation; and proportion and rhythm of openings.

2. Setbacks

- a. Specific setbacks will depend the “Development Zone” in which the property is located, the “Building Type” proposed, and the immediate context.
- b. It is the intent of these guidelines to avoid the arbitrary establishment of setbacks resulting in haphazard building placement and a resulting interruption or absence of visual order within the District.

c. *Setback Determinations. The Commission has the ability to determine the bulk standard (setbacks and height) requirements (ordinance no. 17.40.410) for each lot. When the Commission finds that a setback is less than what is required by the zoning code's bulk standard is appropriate, it is called a "Setback Determination".*

- *Setback determinations may be appropriate when:*
- *The existing setbacks of the contributing primary building does not meet bulk standards;*
- *Original setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs; or*
- *Shape and size of lot makes meeting bulk standards unreasonable.*

3. Orientation

- a. The orientation of a structure's primary facade shall be consistent with those of adjacent historic buildings or existing buildings where there is little historic context. This typically means that a primary entrance faces the street and has walkways leading from the entrance to the sidewalk.
- b. Vehicular orientation is typically an access from the alley. Porte cocheres, front-yard parking and front loading driveways are atypical of the district.
- c. The intent is to encourage pedestrian oriented development, interaction with the street environment and allow for transition between the street/public domain and the interior of the building/ private domain. Entries that are visible from the street generally make a building more approachable and create a sense of association among users, customers and neighbors. Clear entries should be provided off of public streets not solely from parking lots.

4. Façade Articulation

- a. New structures shall employ design techniques that avoid large expanses of unbroken façade planes and/or materials, particularly on public facades.
- b. For multi-story buildings, the width of any unbroken façade shall not exceed the building height. This width to height ratio is considered a minimum – more modulation is encouraged. Some appropriate techniques for building articulation include but are not limited to:
 - Modulating the façade by stepping back or extending forward a portion of the façade. Articulating a building's façade vertically and/or horizontally in intervals are informed by existing patterns or structures within the Germantown is encouraged;
 - Pilasters, recesses and or projections;
 - Repeating window patterns at an interval that equals the articulation interval; and/or
 - Changing the roof line by varying parapet heights, alternating dormers, stepped roofs, gables or other roof elements to reinforce the modulation or articulation interval and changing materials with a change in building plane. Changes in a materials, texture or color are appropriate techniques – however changes solely in paint color alone are generally not sufficient to meet the intent of this guideline.

5. Materials

- a. The relationship and use of materials, texture, details and material color of a new buildings shall be visually compatible with and similar to or shall not contrast conspicuously with those of adjacent historic buildings.

- b. The MHZC does not review paint color on wood. The MHZC reviews the inherent color of new materials, such as masonry and metal. Generally, painting masonry materials is inappropriate for existing and new construction.
- c. The color of masonry should be similar to historic colors of the same or similar materials. Traditional brick colors range from red-oranges to dark red. The use of “antique” reproduction or multi-colored brick is not permitted.
- d. Materials not listed in section e and f may be appropriate, if they possess characteristics similar in scale, design, finish, texture, durability, workability and detailing to historic materials and meet The Secretary of the Interior’s Standards.
- e. Foundation Materials:
- Appropriate materials: brick, limestone, pre-cast stone if of a compatible color and texture to existing historic stone clad structures in the district, split-face concrete block, parge-coated concrete block
 - Inappropriate materials: dry-stack stone and “rubble stone” veneers
 - Intervening spaces of pier foundations may be filled with an open lattice work.
 - Slab-on-grade foundations may be appropriate for commercial building types but they are generally not appropriate for residential building types.
- f. Facade Materials:
- All facades shall be at least 80% brick. Appropriate accent materials include stucco, fiber-cement or metal panels, fiber-cement, milled and painted wood, or metal horizontal siding. A greater percentage of accent materials may be used on facades that are not visible from a public right-of-way. A greater percentage of accent materials may be appropriate to create a more varied and appropriately neighborhood scaled building façade and massing with the Werthan and Rosa Parks Development zone.
 - Lap and horizontal siding should have reveals that do not exceed 5”.
 - Inappropriate materials: T-1-11- type building panels, "permastone", E.F.I.S., vinyl, aluminum, rustic and/or unpainted wood siding, stud wall lumber, embossed wood grain materials. Stone, board-and-batten and half-timbering are uncommon cladding materials in Germantown and are generally not appropriate.
 - Texture and tooling of mortar on new construction should be similar to historic examples.
 - Four inch (4”) nominal corner boards are required at the face of each exposed corner for non-masonry walls.
 - Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing. When different wall materials are used, it is most appropriate to have such changes occur at floor lines.
- g. Accent and Trim Materials:
- Appropriate materials: wood or fiber cement
 - Shingle siding is appropriate as an accent material and should exhibit a straight-line course pattern or a fish scale pattern and exhibit a maximum exposure of seven inches (7”).
 - Wood trim and accents were typically painted and milled. Rustic timbers and unpainted wood is generally inappropriate.
 - Composite materials may be appropriate for trim if they match the visual and durability characteristics of wood.
 - Stucco/parge coating may be appropriate cladding for a new chimney or a foundation.
- h. Roofs and Chimneys Materials:
- Appropriate roof materials: Asphalt shingle and standing seam metal Generally, asphalt shingle roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate;

excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

- Rolled roofing material, such as EPDM, is appropriate for low-sloped roof planes that are not visible from the right-of-way.
- Appropriate chimney materials: masonry or stucco.
- Inappropriate chimney materials: clapboard/lap siding.

i. Door & Window Materials:

- Front doors shall be painted or stained wood or painted metal and be at least half-glass.
- Tinted, reflective, or colored glass are generally inappropriate for windows or doors.
- For new commercial structures a significant portion of the street level façade (i.e., doors and windows) shall be transparent to provide visual interest and pedestrian access.
- Windows on residential buildings or upper level facades of commercial/mixed-use buildings may be fixed, casement, single or double hung window sashes. Single-light (also known as 1/1) window sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.
- Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4” to 6” mullion in between.
- Brick molding is required around doors, windows and vents within masonry walls. The use of brick molding on non-masonry buildings is inappropriate.
- Door openings should be recessed (2” minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.

j. Walkways, Sidewalks & Curbing Materials:

- For the purpose of these design guidelines, “sidewalks” are those that parallel the street in the public realm and “walkways” are typically on private property and lead from the sidewalk to a principal entrance.
- Materials for new appurtenances should be in keeping with the look, feel and workability of existing historic materials.
- New sidewalks shall be brick, with the exception of sidewalks on Rosa L. Parks Blvd and Jefferson Street, which may be brick or concrete.
- Brick, concreted, concrete pavers, stone and stepping stones are appropriate walkway materials.
- Planting strips are not appropriate in the interior of the district but may be appropriate on Rosa L. Parks Blvd.

k. Front Yard Fencing and Walls:

- Front yard fences can be up to 4’ in height and shall generally have an open design.
- Appropriate materials: wood picket, metal fencing of simple design. Stone is an appropriate material for retaining walls. New stone should match existing historic retaining walls with characteristics similar in scale, design, finish, texture, durability, and detailing.
- Inappropriate materials: chain link or women fences are generally not appropriate for front or visible side yards. Salvaged metal fencing and dry stack masonry are not appropriate for new construction.

l. Rear Yard Fencing and Walls:

A rear yard is considered to be any location beyond the mid-point on the side facades of a building and surrounding the rear yard.

- Appropriate materials: wood planks, iron, and masonry and mortar may be appropriate along rear property lines. Stone with mortar and concrete are appropriate materials for retaining walls. New

stone should match existing historic retaining walls with characteristics similar in scale, design, finish, texture, durability, and detailing.

- Inappropriate materials: Dry-stack masonry
- Privacy fences in rear yards can be up to 6' in height and solid in design.

6. Rhythm Of Solids-To-Voids & Proportions Of Openings

- a. Large expanses of featureless wall surface are not appropriate. *In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*
- b. The relationship of width to height of doors and windows and the rhythm of solids (walls) to voids (windows and doors) should be compatible with surrounding buildings.
- c. Exterior doors often have transoms, giving them a tall, narrow proportions.
- d. Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.
- e. Double-hung windows should exhibit a height to width ratio of at least 2:1.
- f. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.
- g. On corner commercial buildings, glazing shall address both streets.

7. Primary Entrances

- a. Within the district, front porches, stoops and hoods, and recessed entries are common on residential and commercial buildings.
- b. Primary entrances shall be in locations similar to those used historically for primary entrances.
- c. New construction (specifically residential) shall provide an entry that utilizes elements of a porch or recessed entry to create a transition from the outside (public domain) to the inside (private domain).
- c. Entrances to commercial buildings should be recessed.

8. Roof

- a. The roofs of new buildings should be visually compatible by not contrasting significantly with the roof shape, pitch, and orientation of surrounding buildings. See Building Type descriptions.
- b. Roof-top equipment, skylights, and roof penetrations located on or attached to the roof shall be located so as to minimize their visibility from the street. Typically screening does not meet the requirement for “minimal visibility” as it often alters the look and perceived height of a building. Generally, rooftop equipment should be placed behind the mid-point of the building. (For solar panels, please see “utilities.”)

9. Rooftop Decks

- a. Rooftop decks (flooring, railing and access structure) shall not be added to historic buildings.
- b. Rooftop decks are not appropriate on new construction within the National Register Development Zones but may be appropriate in other Development Zones.
- c. Rooftop decks are not appropriate for single-story new-construction.
- d. Where Rooftop decks are appropriate:
 - They should not cantilever or project from the building.
 - The lighting of roof decks should point inward and downward and not be located more than 42” above the deck. The access structure shall not be illuminated, other than safety lighting near the entrance.

- No rooftop deck may be raised more than two feet (2') above the plane that is midway between the lowest and the highest points of the roof surface supporting the rooftop deck.
 - A rooftop deck should sit back from the front wall of the building by at least 8' for a flat roof and 6' behind the ridgeline for a gabled roof or mansard roof. It should sit back a minimum of 5' from the side street-facing wall in the case of corner buildings.
- h. Mechanicals or other elements shall not be located on top of a rooftop access structure.
 - i. Roof decks shall not have outside A/V equipment (for instance televisions and speakers but not including small security cameras), flags, signage, permanently installed structures such as pergolas, other than the access structure, or permanently installed furniture and appurtenances.
 - j. Access structures may only serve to enclose a single-door access, stair or elevator. Access structures should have flat or slight slope roofs and not exceed 9' in height. The 9' may be in addition to the maximum height allowed based on context, if the rooftop access structure is positioned in a minimally visible location.

10. Utilities / Mechanical

- a. Utility connections such as gas meters, electric meters, electric service mast and power lines, phone, cable, satellite TV and HVAC condenser units should be located so as to minimize their visibility from the street.
- b. Exterior utilities and mechanical equipment shall generally be located in the rear or side yard and screened when visible from the street.
- c. Solar panels should be located on the back of pitched roofs or on outbuildings, where possible. They should be installed to be flush with the roof pitch unless hidden behind a parapet wall, in which cases; they should not protrude above the parapet wall.
- d. Satellite dishes shall be located beyond the midpoint of the building. In the case of corner lots, a satellite dish should be located on the interior side, beyond the midpoint.
- e. Modern rooftop elements such as mechanical units, ducts, antenna, and vents should not be readily visible from the public right-of-way.
- f. Security cameras should be installed in the least obtrusive location possible. Select camera models that are as small in scale as possible.

11. Sidewalks & Walkways

For the purpose of these design guidelines, "sidewalks" are those that parallel the street in the public realm and "walkways" are typically on private property and lead from the sidewalk to a principal entrance. (Please also see "materials.")

- a. Curb cuts on public streets are generally not appropriate. Removal of existing curb cuts on primary streets (where a lot can be accessed from the alley) is encouraged to bring non-conforming properties into conformance.
- b. Original sidewalks and walkways, including details such as original retaining walls, stone and concrete edgings, and brick sidewalks, etc., shall be preserved in their original state as closely as possible. Special care shall be taken to preserve existing trees and significant landscape elements.
- c. Where historic sidewalks are no longer in existence, new sidewalks should be of brick in the dominant pattern closest to the development. A typical pattern for the neighborhood is a herringbone pattern or running bond.

- d. Pathways and walkways providing access to buildings shall be serviceable and relate to the building in scale, width, placement and type of material.

12. Exterior Lighting

See "Rooftop Decks" for lighting guidance regarding rooftop decks.

- a. Exterior lighting fixtures shall be compatible in style, size, scale and material with the character of the structure and neighborhood.
- b. Lighting shall not spill onto adjacent structures, or properties.
- c. Permanently installed lighting may be used to highlight architectural features and to illuminate walkways, parking, and signage and should be a daylight color.
 - Lighting to illuminate walkways and parking should be ground-mounted with the light directed toward the ground, rather than be pole mounted.
 - Building lighting should be directed toward the façade instead of outward. Architectural features may be illuminated through uplights. It is inappropriate to wash an entire building or façade with light.
 - Ground mounted spotlights shall be screened from public view.
 - Dark metals or a color that matches the wall the light is installed on are appropriate materials for light fixtures.
 - Inappropriate types of lighting including: flashing, chasing or moving lights, neon lighting, multi-colored lighting.
 - Rope and string lighting is only appropriate in ground-floor locations where neither the fixture nor the illumination is visible from a public right-of-way or where it is located beneath ground-floor awnings or canopies.
 - See section for "signage" for illuminating of signage.

13. Open Space & Surface Parking

- a. Removal or demolition of existing historic buildings, or portions of buildings, to create open space or surface parking is not appropriate.
- b. Generally, surface parking should have its vehicular access on the alley.
- c. The most appropriate treatment for vacant lots is construction of a new building; however, when that is not possible, the area may be used as open space with features such as:
 - Visual and pedestrian access into the site from the public sidewalk;
 - Walking surface of attractive pavers;
 - Pedestrian scaled site lighting;
 - Public art;
 - Outdoor seating or dining (also see design guidelines for sidewalk cafes).
- d. Open space or surface parking shall maintain the pattern of the street wall with a 3' wall, fence, planter box or other barrier located at the appropriate front-setback.
- e. Outdoor furniture (seating, tables, umbrellas, etc.) that are not permanently installed, shall not be reviewed.
- f. Signage is generally not appropriate in open space areas, with the exception of wayfinding and historical marker signage.
- g. Audio/visual equipment, such as televisions and speakers, is not appropriate on the exterior of buildings or in open space areas.

- h. Preparation equipment, service areas and furnishings that require piping including a water supply and/or drainage or a permanent utility line; readily movable appliances operated by a portable propane gas tank, such as a barbecue grill, or a furnishing using temporary piping such as a garden hose should be screened from view and shall not be covered.
- i. Food and beverage storage shall be screened from view of the public right-of-way.
- j. Open space should generally not be covered. Exceptions may be made for small garden structures.

15. Parking Structures

- a. Removal or demolition of existing historic buildings, or portions of buildings to create a parking structure is not appropriate.
- b. Parking structures, may be appropriate components of new construction when the design of such development contributes to the overall character of the district and the streetscape, and the structure is consistent with the design guidelines for new construction.
- c. Parking structures should be wrapped with retail or residential space that is a minimum of 15' deep.
- d. Generally parking structures should be accessed from the alley.
- e. All parking structures with parking available to the public shall have a clearly marked pedestrian entrance, separate from vehicular access, on street frontages. A publicly accessible building lobby may meet this requirement.

16. Telecommunications Facilities and Equipment

Also see ordinance for telecommunication facilities. (Article XII, Chapter 17)

- a. Appropriate locations for telecommunication facilities are:
 - Ground mounted behind a building if it is fully screened from the public right-of-way.
 - Hidden within existing poles.
 - Placed on rooftops, as long as the equipment cannot be seen from the public right-of way. Added screening is generally not appropriate as it can add to the perceived height of the building.
 - Incorporated into an existing architectural feature. If the feature is a historic one, the interior should be accessible without altering or changing the historic feature. New features should not be added to historic buildings unless there is pictorial evidence of their existence.
 - New features may be added to non-contributing buildings if the addition is appropriate for the district.
 - Attached to side elevations of non-contributing buildings if the size and design is minimal and the location is not visible from a public right-of-way.
- b. Historic materials should not be damaged or historic features obscured when installing telecommunications facilities and equipment.
- c. If a new pole is necessary (see ordinance for telecommunication facilities) in front of a building, it shall not entirely block the view of the width of the principal entrance and it should not exceed the 20' in height. It shall be painted black.
- d. If the pole is to be located adjacent to a vacant lot, it should not be located in the typically expected locations of a principal entrance for new construction, such as the corner and/or the center 10' of the lot.

- e. Generally new poles should not be made to look like something else; however, it may be appropriate to have it look like an acorn light pole if it meets the ordinance for spacing.

17. Appurtenances

Appurtenances include, but are not limited to, features such as curbs, steps, pavement, gravel, fountains, pergolas, pools and ponds, street furniture, bike racks, outdoor fireplaces/pits, vending, public art and mailboxes.

- a. Appurtenances and other work planned in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.
- b. Appurtenances related to new buildings, should be visually compatible with the environment established by surrounding existing buildings and the site on which they are located. They should not contrast greatly with the style of associated buildings in terms of design, size, materials, material color and location and should not contrast greatly with comparable original features of surrounding buildings.
- c. Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate. Screened group mailboxes (cluster mailboxes) are appropriate for the House Court Building Type. For denser Building Types, such mailboxes should be located inside a building's common area.
- d. Permanently installed front-yard fixtures such as fountains, ponds, or waterfalls are atypical for the district and not appropriate for new construction. They may be appropriate as new construction in front of historic buildings if there is documentary, physical, or pictorial evidence showing a similar original feature.
- e. An appropriate location for flags is attached to the front of a building, on a porch or near a front entrance. Front yard, free-standing flag poles are atypical, except in front of Civic Building types.
- f. Swimming pools are to be located in the rear yard or appropriately screened from view and set back from the street; fencing around swimming pools required by zoning ordinance must comply with these design guidelines.
- g. Structures such as gazebos and pergolas that are appropriately sized to the scale of the principle building should generally be located in rear or side yards.
- h. Historic curbing, edging, brick sidewalks and stone retaining walls should be retained.
- i. Vending/ATMs should be located inside. In instances where outside locations are necessary, they are only appropriate for new construction and should only be located on buildings directly associated with the use of the vending. For instance, an ATM is only appropriate on a bank building. Where such is appropriate, they should not be located on primary facades and should be pedestrian oriented rather than vehicular oriented.
- j. Foundation/basement access doors shall be located on the side or rear of the building.
- k. Dumpsters and other trash containers shall be located with techniques that minimize interruption to the sidewalk network and the pedestrian environment. The most appropriate location for dumpsters and trash containers is in the rear yard or alley and screened from public view.

Background: 604 Madison Street is a vacant lot located within the National Register of Historic Places development zone (Figure 1).



Figure 1. The northwest corner of Sixth Avenue North and Madison Street

This application is for a final SP (Specific Plan) review to construct a mixed-use development northwest corner of 6th Avenue North and Madison Street. The SP also includes the parcel at 608 Madison Street, which is across the alley to the west, at the northwest corner of 7th Avenue North and Madison Street.

In May 2015, the Commission approved the bulk, height, massing, roof form, and site layout for the project as part of a preliminary SP review. The SP (BL2015-1252) was approved by Metro Council on August 10, 2015 and was effective August 14, 2015. The SP zoning allows for a mixed use development, with a maximum height of three stories, and with a maximum number of seventy-five (75) dwelling units.

In 2016, MHZC approved the design details for a previous design for both parcels. In July 2017, MHZC approved substantially revised drawings for the part of the development located at 608 Madison, at the corner of 7th Avenue North. That part of the development is currently under construction (Figures 2 & 3)

In September 2017, MHZC adopted revised design guidelines for the Germantown Historic Preservation Zoning Overlay. The new design matches closely what was approved in July 2017 for the western portion of the SP development, but does not meet several key guidelines in the revised Germantown design guidelines.



Figure 2. 7th Avenue North view of the development at 7th Avenue North and Madison Street. The applicant proposes a nearly identical design to what was approved at this site.



Figure 3. Madison Street view of the development at 7th Avenue North and Madison Street. The applicant proposes a nearly identical design to what was approved at this site.

Analysis and Findings: Application is to construct a new low-mid rise development at the northwest corner of 6th Avenue North and Madison Street. This parcel is one-half of the SP development located on the north side of Madison Street, between 6th and 7th Avenues.

Building Type: The applicant is proposing a low-mid rise development. Staff finds that this type of building is appropriate for this larger lot, which is over twenty-six thousand square feet (26,000 sq. ft.) and is one hundred and sixty-five feet (165') wide along 6th Avenue North and one hundred and seventy-six feet (176') deep along Madison Street. This building type is supported for this location within the National Register District Development Zone. This building type also meets the 2015 SP rezoning. Staff finds that the infill meets Section III.B. of the design guidelines.

Height and Scale: The proposed infill will vary between two and three stories. The two-story portion will be located on the northern end of the block along 6th Avenue North, transitioning the development to the lower-scaled one-story historic houses to the north. The two-story portion will have a main height of approximately twenty-six feet (26'), although the stair bulkhead will add height to the structure, bringing it to a total height of thirty feet (30').

The part of the development along Madison and along the southern part of 6th Avenue North will be three-stories in scale. It will have a main height of thirty-six feet (36'). The top of the railing will sit at about thirty-nine feet (39') above grade and the bulk head will bring the maximum height to forty-five feet, ten inches (45'10"). The SP Zoning allowed for the new construction on the site to be up to forty-six feet (46'). The design guidelines state that buildings in the National Register Zone, buildings should be limited to two stories and a maximum height of thirty feet (30') if the roof is flat. That said, staff finds that this proposed height and scale, with a reduction in the bulk head height, is appropriate for several reasons.

First, this design is identical in height, scale, and design to a project approved just across the alley to the west at 7th Avenue North and Madison Street (Figures 4,5,6,7). In July 2017, MHZC found this same design next door to be appropriate for the historic context, although just two months later the design guidelines were changed and the height and scale of new construction were restricted under the new design guidelines. This proposed development is a continuation of the development to the west, and is also part of an overall SP plan that was adopted by MHZC, Planning, and the City Council, all of which determined that this height and scale is appropriate in this location. The SP allows for up to three stories and a maximum height of forty-six feet (46').



Figure 4. The 7th Avenue North elevations previously approved and currently under construction



Figure 5. The Madison Street elevations previously approved and currently under construction



Figure 6. The current proposal for Madison Street, which is nearly identical to the previously approved elevation for the southern/right building at 7th Avenue North



Figure 7. The current proposal for 6th Avenue north. These facades are nearly identical to those approved for the Madison Street and 7th Avenue North buildings.

In addition, this site is at the southern edge of the residential neighborhood, although it is located within the National Register district. The context supports three stories where three stories are proposed. Across 6th Avenue North is the four-story Vista development, approved by MHZC in 2010; it is over fifty-feet (50') in height (Figure 8). Three-story infill townhouses approximately forty-feet (40') tall are located at the northeast corner of Madison Street and 6th Avenue North (Figures 9 & 10). Across Madison Street is the three-story Elliott School, which is also over forty feet (40') tall to its parapet (Figure 11). The three-story townhouses are proposed for locations where historic and new construction is also three to four stories in height. Where the context is smaller scale, to the north end of the lot, the proposed infill is just two-stories in height.



Figures 8 & 9 Show the four story Vista Germantown development (left) and the three story townhouses across Madison Street (right).



Figure 10 (left) shows two to three-story townhouses across 6th Avenue North from the site, and Figure 11 (right) is the Elliott School, directly across Madison Street from the site.

Although staff finds that the main height and scale to be appropriate, staff has concerns about the height of the proposed roof stair bulkheads. At nine feet (9') tall above the parapet, they seem taller than necessary. Staff recommends that that the bulkheads be reduced in height to their minimum size to meet code.

With the condition that the stair bulkheads be reduced in size to the minimum height possible to meet code, staff finds that the proposed height and scale meets the historic context and Sections III.B.6. and III.D.1.c. of the design guidelines.

Setbacks: The proposed townhouses meet all the setbacks established in the 2015 SP Zoning. It will be about ten feet (10') from the 6th Avenue North property line and a minimum of four feet (4') from the Madison Street property line. It will be close to

ninety feet (90') from the rear property line. Along the north property line, which abuts a one-story historic house, the infill will be approximately seven feet (7') from the property line; within this seven feet (7') will be a five foot (5') landscape buffer. Staff finds that the proposed setbacks meet Sections III.D.1.b. and III.E.2. of the design guidelines.

Orientation: The development consists of six townhouses. Five of the six townhouses are oriented towards 6th Avenue North, each with a door and a stoop facing 6th Avenue North. The corner townhouse has two entries on Madison Street, which staff finds to be appropriate. Staff recommends that front walkways be added from the sidewalk to the front stoops of each of the townhouses. Vehicular access to the site will be via the alley, which is appropriate. Each of the townhouses has attached parking, which is appropriate for a low-mid-rise development like this one. The western half of the lot will be reserved for parking for the residential units planned for the Elliott School. Staff finds that the proposed orientation meets Section III.E.3. of the design guidelines.

Façade Articulation: The infill's design does not include any large expanses of unbroken wall space on the primary façades. The north elevation does have longer spaces of wall without a window or door opening; staff finds these to be acceptable because they are located in the back half of the façade and will not be highly visible from the street. The façades on both 6th Avenue North and Madison Street modulate in plane slightly and change in material to break up the length of the wall. In addition, the roof lines vary slightly, with a lower two-story portion and with a semi-circular detail on the southern-most townhouse parapet. Staff finds that the proposed façade articulation meets Section III.E.4. of the design guidelines.

Materials:

	Proposed	Color/Texture/ Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Cast Stone	Unknown	Yes	Yes
Primary Cladding	Brick	Unknown	Yes	Yes
Secondary Cladding	Flatlock Metal Tile	Unknown	Yes	Yes
Additional Cladding	Cast Stone	Unknown	Yes	Yes
Sills on Front Façade	Cast Stone	Unknown	Yes	Yes
Roof railing	Metal Mesh	Unknown	Yes	Yes
Windows	Aluminum Clad	Unknown	Yes	Yes
Principle Entrance	Full light	Unknown	Yes	Yes

The design guidelines state that all facades should be at least 80% brick. The two most public facades of this development, that facing 6th Avenue North and that facing Madison Street, contain approximately sixty-seven percent (67%) brick. Staff, however, finds that the proposed percentage of brick to be appropriate for these public facades for three reasons. First, the facades are still predominately brick, even though they fall short of the 80% figure. Second, the brick portions of the façade project out from the areas to be clad in metal panels. Therefore, they will have more prominence along the façade. Lastly, the design and materials for the development are identical to those approved by MHZC in July 2017 for the western portion of the development, along 7th Avenue North and Madison (See Figures 4 -7). It is appropriate for the proposed proportion of brick to metal panels to be consistent between the two portions of the development.

The rear façade, which will likely be at least partially visible from Madison Street and from the alley, is approximately thirty-six percent (36%) brick, while the north façade is approximately ninety percent (90%) brick. Staff finds that the rear façade's low percentage of brick is appropriate, even if it is visible from the street, because it is a secondary façade. Historically, it was not uncommon for side and rear facades to be use cheaper and more utilitarian materials than those used on primary facades.

Staff recommends the approval of the following materials prior to purchase and installation: a brick sample, a stone sample, metal panel sample, all windows and doors, and a sample for the roof railing. With staff's final approval of all material choices, staff finds that the proposed materials meet Section III.E.5. of the design guidelines.

Rhythm of Solids to Voids and Proportions of Openings: The windows on the infill are generally at least as tall as they are wide, thereby meeting the historic proportion of window openings. The infill's design does not include any large expanses of unbroken wall space on the primary facades. The north elevation does have longer spaces of wall without a window or door opening; staff finds these to be acceptable because they are located in the back half of the façade and will not be highly visible from the street. Staff finds that the proposed fenestration pattern meets Section III.E.6. of the design guidelines.

Primary Entrances. Each residential unit has its own primary stoop entrance, leading to either 6th Avenue North or Madison Street. Staff finds that the primary entrances meet Section III.E.7. of the design guidelines.

Roof Form: All of the roof forms are flat, which are appropriate for low to mid-rise developments within the Germantown National Register area. Staff finds that the proposed roof forms are common in the historic district and meet Section III.E.8. of the design guidelines.

Rooftop Decks. The design guidelines state that "Rooftop decks are not appropriate on new construction within the National Register Development Zones." The proposed development does include rooftop decks. Although the rooftop decks do not meet the

current design guidelines, MHZC approved nearly identical rooftop decks on the western portion of the development in July 2017, just two months before the design guidelines were revised. Because this infill is a continuation of a previously-approved development next door that had similar rooftop decks, staff finds that the rooftop decks are appropriate for the remainder of the development.

Utilities/Mechanicals: The locations of the HVAC units and other mechanicals were not indicated on the plans. Staff recommends that they be located on the rear façade, or on the roof.

Sidewalks and Walkways: Staff recommends that front walkways be added from the sidewalk to the front stoops so as to comply with Section III.E.11. of the design guidelines.

Exterior Lighting: No exterior lighting was shown on the plans. Staff recommends approval of all lighting fixtures prior to purchase and installation to ensure compliance with Section III.E.12. of the design guidelines.

Appurtenances: Staff recommends approval of all appurtenances, including, but not limited to, fencing, lighting, railings, pavers, etc., in order to ensure compliance with Section III.E.17. of the design guidelines.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. The finished floor height be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. The stair bulkheads be reduced in size to the minimum height possible to meet code;
3. Front walkways be added from the stoops to the sidewalks;
4. MHZC staff approve following materials prior to purchase and installation: a brick sample, a stone sample, metal panel sample, all windows and doors, and a sample for the roof railing;
5. All HVAC units and other mechanicals or equipment be located on the rear façade or on the roof; and
6. The applicant return to staff for approval of all appurtenances, including, but not limited to, fencing, lighting, railings, pavers, etc.

With these conditions, staff finds that the proposed project meets Sections III. and IV. of the Germantown Historic Preservation Zoning Overlay design guidelines.

Context Photos:



Elliott School, across Madison Street from the site (Sixth Avenue North façade seen here)



Elliott School, across Madison Street from the site (Sixth Avenue North façade seen here)



Vista Germantown, catty corner across Sixth Avenue North and Madison Street from the site



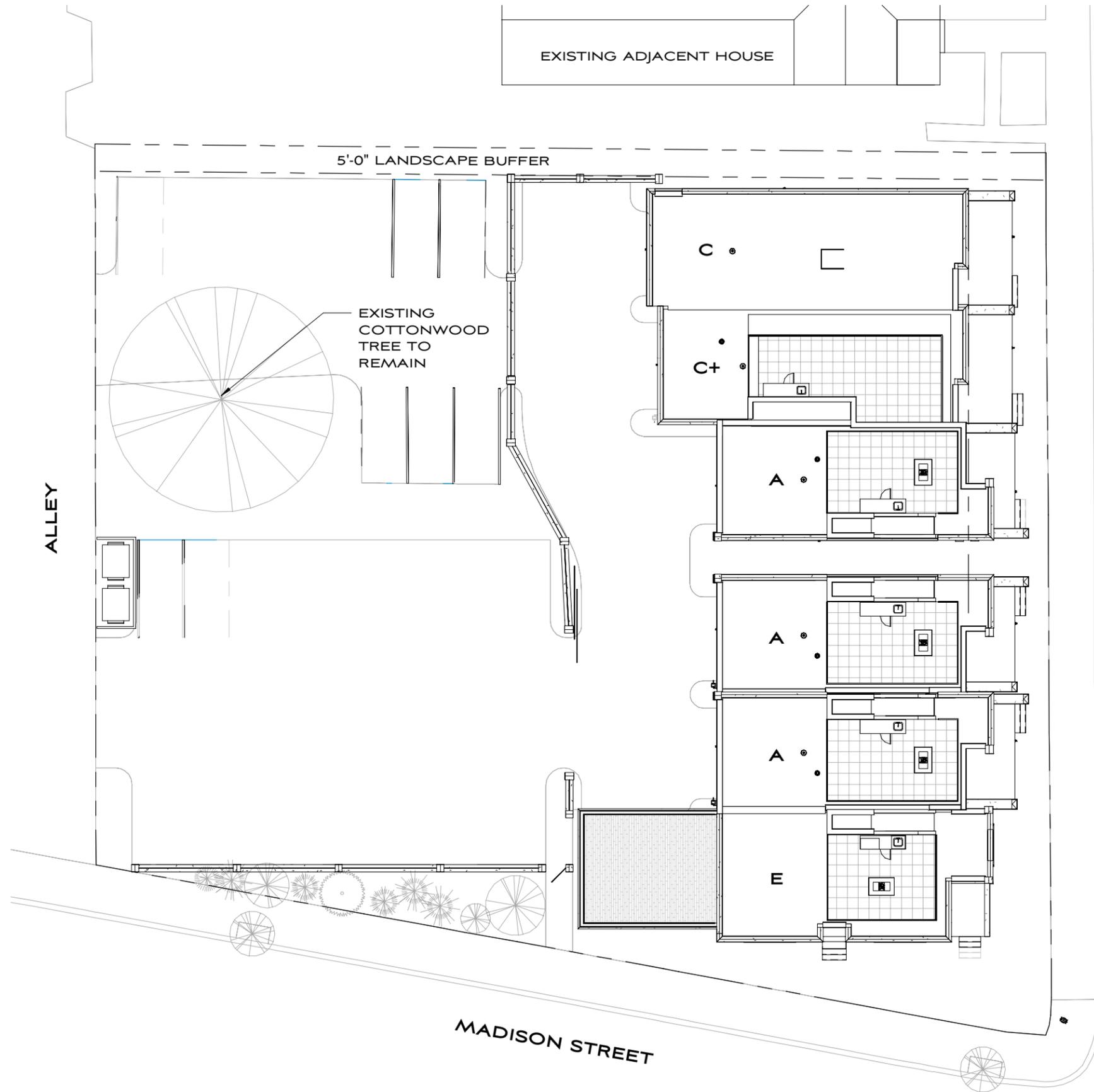
Northeast corner of Sixth Avenue North and Madison Street, across Sixth Avenue North from the site.



Townhouses on 6th Avenue North, just north of Madison Street



1211 and 1213 Sixth Avenue North, to the north of the site



GERMANTOWN TOWNHOMES
 6TH & MADISON, NASHVILLE, TN

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**EAST
 SITE**

09.07.2018



6TH & MADISON 3D



EXISTING COTONWOOD TREE TO REMAIN

LANDSCAPED BRICK & METAL DECORATIVE SCREEN WALL AT SURFACE PARKING

MESH GUARDRAIL
CAST STONE MASONRY VENEER W/ WEEPS

ALLEY FACING DUMPSTER ENCLOSURE BEYOND



MADISON STREET ELEVATION

FLATLOCK METAL TILE (COLOR B) OVER MOISTURE BARRIER ON PLYWOOD SUBSTRATE

FLATLOCK METAL TILE (COLOR A) OVER MOISTURE BARRIER ON PLYWOOD SUBSTRATE

BRICK VENEER OVER (2) LAYERS OF BUILDING WRAP ON 5/8" PLYWOOD SHEATHING. ALLOW MIN. 1" AIR SPACE

ALUMINUM CLAD WINDOW

BRICK VENEER OVER (2) LAYERS OF BUILDING WRAP ON 5/8" PLYWOOD SHEATHING. ALLOW MIN. 1" AIR SPACE

FULL FROSTED GLASS ALUMINUM CLAD DOOR W/ TRANSOM AND FROSTED SIDELITE

CAST STONE MASONRY VENEER W/ WEEPS



45'-6 1/2"

45'-10"

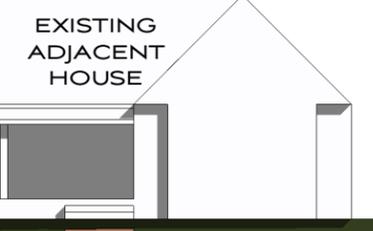
FLATLOCK METAL TILE (COLOR A) OVER MOISTURE BARRIER ON PLYWOOD SUBSTRATE

MESH GUARDRAIL

FLATLOCK METAL TILE (COLOR B) OVER MOISTURE BARRIER ON PLYWOOD SUBSTRATE

ALUMINUM CLAD WINDOW

CAST STONE SILL/ACCENT



EXISTING ADJACENT HOUSE

6TH AVENUE ELEVATION



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