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MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
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**STAFF RECOMMENDATION**  
**604 Russell Street**  
**September 19, 2018**

**Application:** Signage  
**District:** Edgefield Historic Preservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 082160123.00  
**Applicant:** Jeff Roling, Brookside Properties  
**Project Lead:** Jenny Warren, [jenny.warren@nashville.gov](mailto:jenny.warren@nashville.gov)

**Description of Project:** Application to install 'The Belvedere' signage on the exterior wall of the property and on a ground sign in the front courtyard.

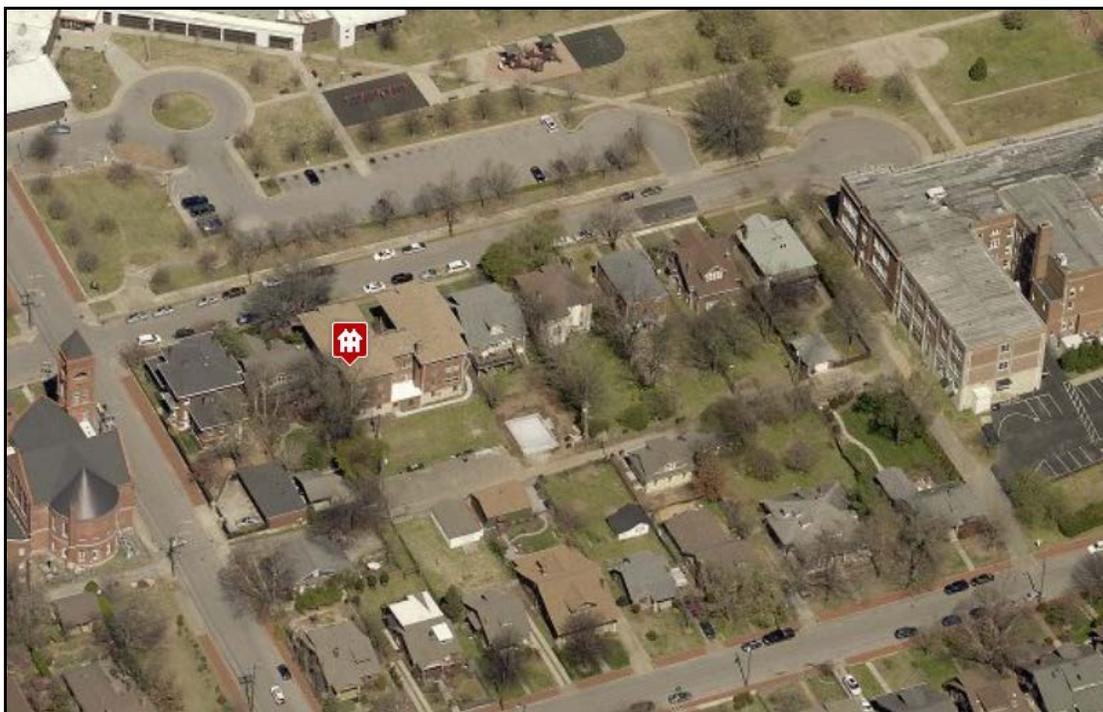
**Recommendation Summary:** Staff recommends approval of the proposed signage, with the condition that the applicant work with staff on the final lighting design and location, finding that the project meets Section III.B of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

**Attachments**  
**A:** Photographs  
**B:** Sign Plans

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **IV. APPURTENANCES TO HISTORIC AND NON-HISTORIC BUILDINGS**

#### **3. SIGNS**

- a. The maximum area of any sign on a residential lot is four (4) square feet; the maximum area of any sign on a non-residential lot is sixteen (16) square feet.
- b. The maximum height from grade of any sign is five (5) feet.
- c. Off-site signs are not permitted.
- d. There shall be no more than one sign per street frontage per lot.
- e. The size, location, method of attachment, material color, texture and design of signs shall be compatible, by not contrasting greatly, with the building to which the sign is related.
- f. No sign that flashes, blinks, revolves, or is put into motion by the atmosphere shall be permitted. Visible bulbs, neon tubing, luminous paints, or back-lit plastics should not be used as a part of any sign.
- g. Signs may be illuminated by remote light sources, provided that these light sources are shielded to protect adjacent properties from glare.
- h. Signs attached to a structure should not cover any architectural detail.

#### **4. PUBLIC SPACES**

Landscaping, sidewalks, signage, lighting, street furniture, and other work undertaken in public spaces, by any individual, group, or agency, shall be presented to the MHZC for review of compatibility with the character of the district.

**Background:** 604 Russell Street is a circa 1920 apartment building. The building is three stories tall, with a U-shaped floor plan, which creates a small courtyard, facing onto



Russell Street and East Park beyond. Stylistically, the building exhibits four-square and craftsman detailing in its hipped roofs and dormers, exposed rafter tails, and windows. The property sits on a dead-end block of Russell Street, which ends in a traffic circle in front of Warner School.

**Figure 1: 604 Russell Street**

**Analysis and Findings:**

The proposal is for a wall sign and a monument sign, both located inside the central courtyard.

The property is listed in the 1931 City Directory as ‘The Belvedere Apartments’ and continues to operate under that name today. This application is to mount signage reading ‘The Belvedere’ onto the exterior wall of the building, and to erect a monument sign in the courtyard, reading ‘The Belvedere’ as well (Figure 2). Wall-mounted building numbers also appear in the application materials, but these are not subject to Commission review.



**Figure 2: Proposed wall and monument signage**

While the guidelines do specifically address signage, this language was written with primarily single-family residential and one-story commercial properties in mind. This apartment building, while historic, is a fairly rare building type in the district. Though the proposed work is not inappropriate in terms of the historic context, it does not meet the guidelines, which were intended for different types of structures. Thus staff is

bringing this proposal to the Commission to determine if an exception to the guidelines is appropriate in this specific instance.

Sect IV.3 of the Edgefield Design Guidelines states:

**3. SIGNS**

- a. The maximum area of any sign on a residential lot is four (4) square feet; the maximum area of any sign on a non-residential lot is sixteen (16) square feet.
- b. The maximum height from grade of any sign is five (5) feet.
- c. Off-site signs are not permitted.
- d. There shall be no more than one sign per street frontage per lot.
- e. The size, location, method of attachment, material color, texture and design of signs shall be compatible, by not contrasting greatly, with the building to which the sign is related.
- f. No sign that flashes, blinks, revolves, or is put into motion by the atmosphere shall be permitted. Visible bulbs, neon tubing, luminous paints, or back-lit plastics should not be used as a part of any sign.
- g. Signs may be illuminated by remote light sources, provided that these light sources are shielded to protect adjacent properties from glare.
- h. Signs attached to a structure should not cover any architectural detail.



**Figure 3: Wall sign above third floor windows**

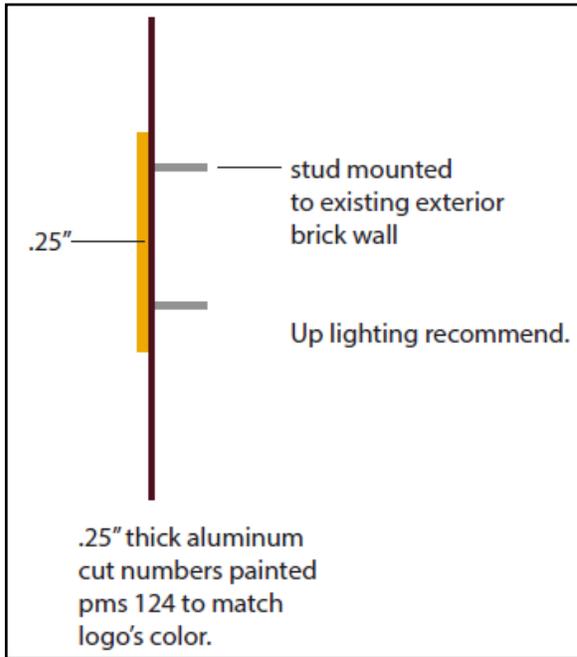
The proposed design does not meet section IV.3.a, which requires signs on residential lots to be a maximum of four (4) square feet, because the proposed wall sign is fifteen (15) square feet and the ground sign is another two and a half (2.5) square feet. However, staff finds that given the size of the historic structure at 19,000 square feet, and the large size of the lot at approximately 17,000 square feet, the signage is not disproportionately large for the site.

The proposed wall sign does not meet section IV.3.b, which requires signs to be a maximum of five (5) feet from grade. The owner has presented two different options for mounting the wall sign: either above the second floor windows (Figure 2) or above the third floor windows (Figure 3). Both are well above five feet from grade. Again, given the scale of the property, staff finds this signage placement to be appropriate for this specific building. Further, either of these locations would be a typical place to find

building signage on a historic property of this type.

The signage does not advertise any off-site business, and thus meets section IV.3.c.

The proposal calls for two signs, while section IV.3.d provides a limit of one sign per lot. At one hundred feet (100') wide, this lot is twice as wide as the rest of the lots on the block, which are fifty feet (50') wide. Because of the lot width; because the signs are both modest in size; and because the scale of the building is much larger than is typical in the neighborhood, staff finds that the two proposed signs are not inappropriate for this site.



**Figure 4: Profile of wall sign**

As discussed above, staff finds that the size and location of the proposed signage is appropriate. The method of attachment for the wall sign will be via a stud mounted to the existing exterior brick wall (Figure 4), which staff finds appropriate. The aluminum material and the design of both signs (Figures 5 & 6) are all compatible with the building and do not contrast greatly with its historic character. The proposed signage meets section IV.3.e.



**Figure 5: Proposed wall sign**

No part of the proposed signs will flash, blink, revolve or move in any way. The proposed signage meets section IV.3.f.

The plans note that up lighting is recommended. As the signage and any associated lighting will all be within the courtyard area, neighboring properties will be shielded from any glare by the side walls of the building. More specific information needs to be provided regarding the design and location of the lighting. Staff recommends that the applicant work with staff on the final lighting design. With this condition, the proposal meets section IV.3.g.

In either of the two proposed locations, the wall signage will not obscure any architectural features. Staff finds that the proposal meets section IV.3.h.

**Recommendation:**

Staff recommends approval of the proposed signage, with the condition that the applicant work with staff on the final lighting design and location, finding that the project meets Section III.B of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.



**Figure 6: Proposed monument sign**



*The Belvedere*

604

*The Belvedere*

WALL SIGNAGE, LOCATION OPTION #1



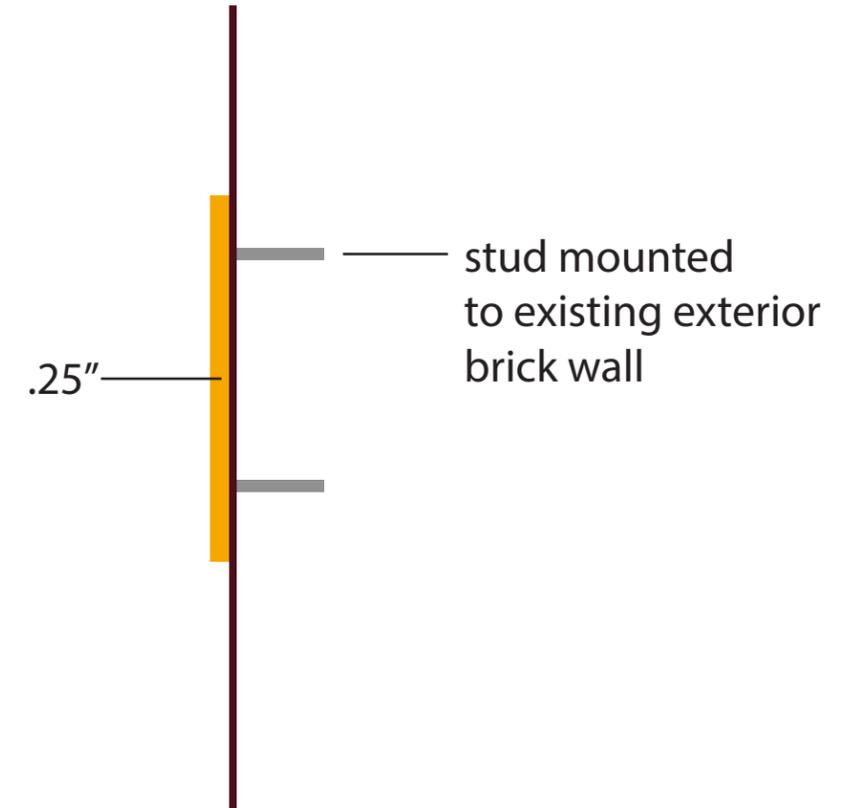
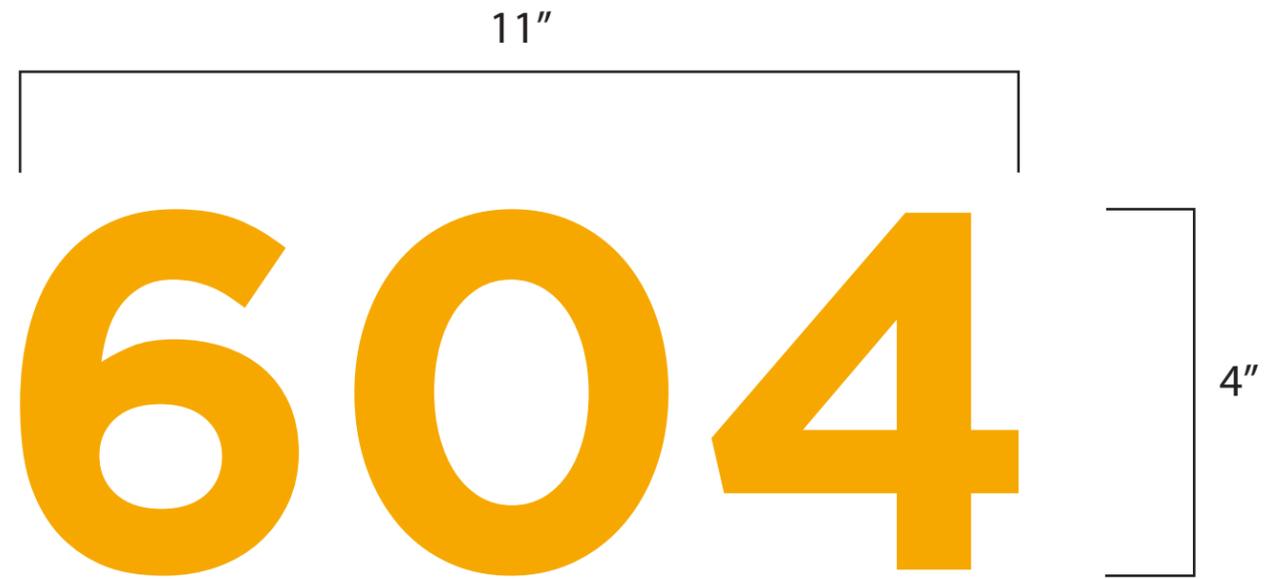
*The Belvedere*

*The Belvedere*

WALL SIGNAGE LOCATION OPTION #2

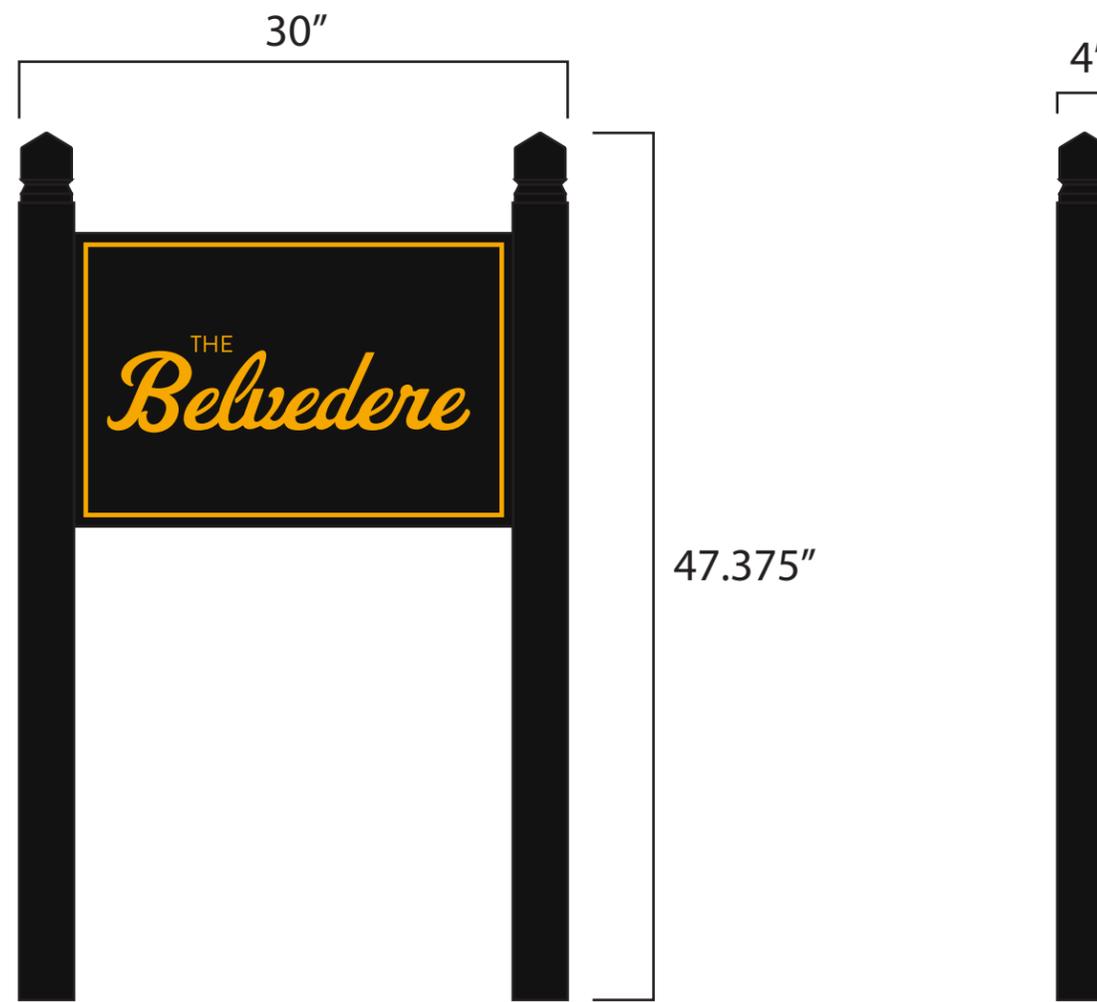
Address numbers

Remove existing black and white address numbers.

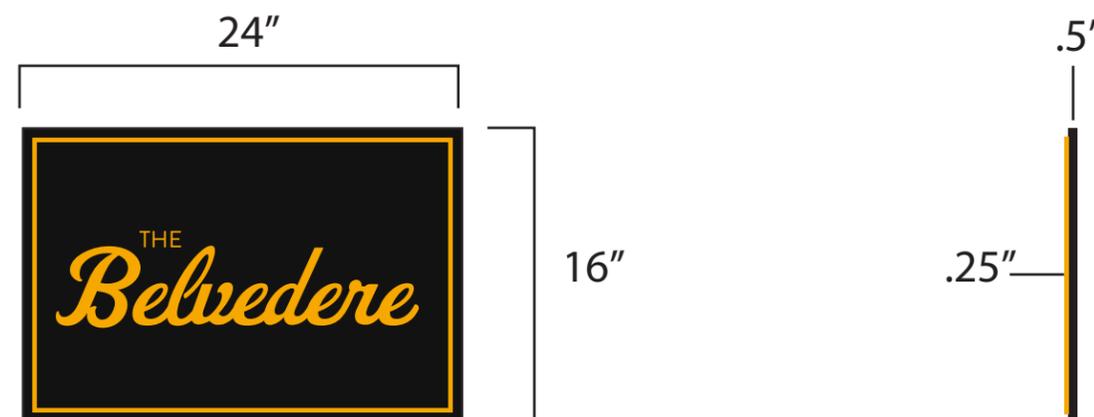


.25" thick aluminum cut numbers painted pms 124 to match logo's color.

Garden Sign



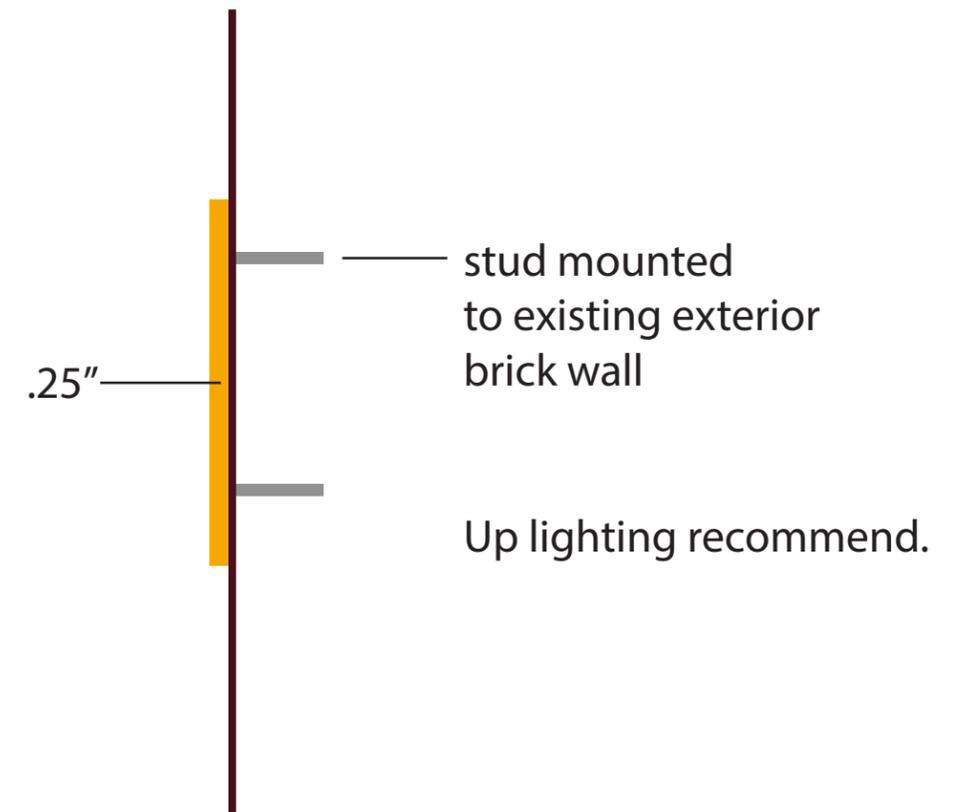
Custom fabricated posts installed in cement for garden based sign



.5" 1/2" thick aluminum sign, painted black. Raised 1/4" thick interior frame and logo painted to match PMS 124. Attached to custom posts.  
.25"

24"

THE  
*Belvedere*



.25" thick aluminum  
cut numbers painted  
pms 124 to match  
logo's color.