

DAVID BRILEY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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**STAFF RECOMMENDATION**  
**1117 McKennie Avenue**  
**November 19, 2018**

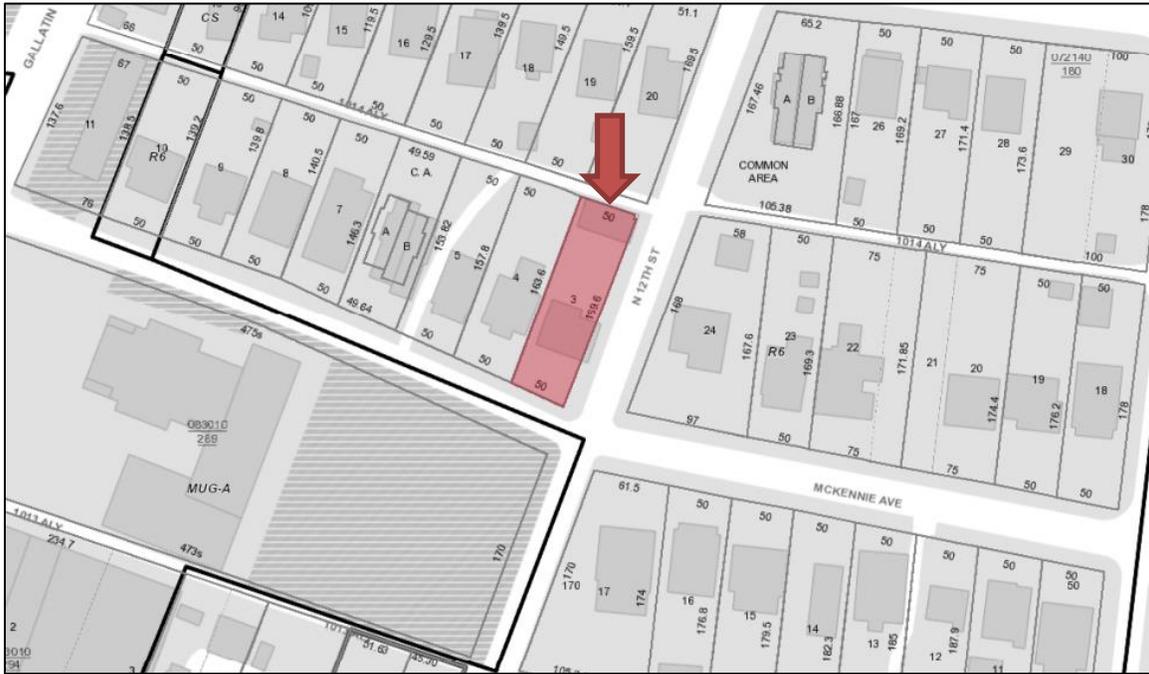
**Application:** New Construction—Outbuilding/detached accessory dwelling unit (DADU); Setback Determination  
**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 08301028400  
**Applicant:** Matt Millsap, Building Co. #7  
**Project Lead:** Paul Hoffman, paul.hoffman@nashville.gov

**Description of Project:** Application is for conversion of an existing one-story outbuilding to create a detached accessory dwelling unit (DADU). The existing outbuilding exceeds the footprint and setbacks permitted by the design guidelines and the DADU Ordinance.

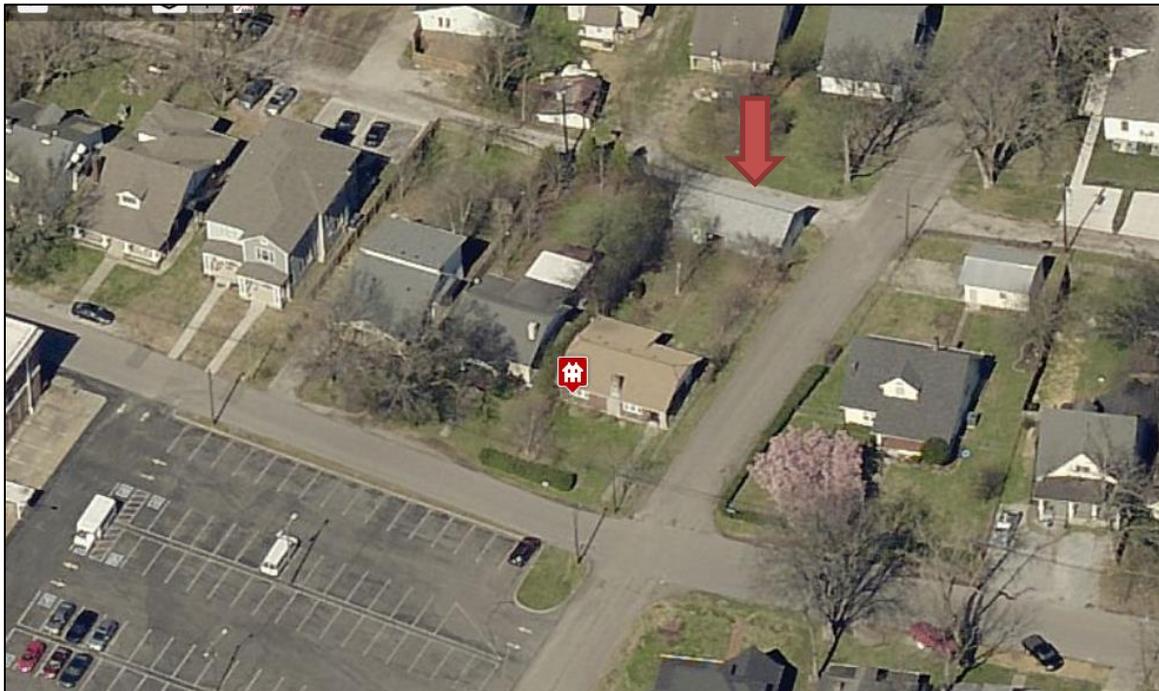
**Recommendation Summary:** Staff recommends disapproval of the application, finding that it fails to meet the requirements of Section II.B.h of the Eastwood Neighborhood Conservation Zoning Overlay Design Guidelines and Ordinance 17.16.030.G.4 or 17.16.030.G.7 for massing and setbacks.

**Attachments**  
**A:** Site Plan  
**B:** Elevations  
**C:** Photographs

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **II.B. GUIDELINES**

#### **a. Height**

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

#### **b. Scale**

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.*

#### **c. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

*The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).*

*Appropriate setbacks will be determined based on:*

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

*Appropriate height limitations will be based on:*

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

*In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:*

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

#### **d. Materials, Texture, Details, and Material Color**

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic*

*stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

*Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.*

#### **e. Roof Shape**

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall..*

#### **f. Orientation**

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

##### *Porches*

*New buildings should incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

##### *Parking areas and Driveways*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median.*

*Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

##### *Duplexes*

*Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of*

*corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.*

*In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.*

#### **Multi-unit Developments**

*For multi-unit developments, interior dwellings should be subordinate to those that front the street.*

*Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.*

*For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.*

#### **g. Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

#### **h. Outbuildings**

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

#### **Outbuildings: Height & Scale**

*· On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*

*· On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*

*· The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of*

*the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

*Outbuildings: Character, Materials and Details*

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

*Outbuildings: Roof*

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

*Outbuildings: Windows and Doors*

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

*Outbuildings: Siding and Trim*

- *Brick, weatherboard, and board-and-batten are typical siding materials.*
- *Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*
- *Four inch (4" nominal) corner-boards are required at the face of each exposed corner.*
- *Stud wall lumber and embossed wood grain are prohibited.*
- *Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*
- *Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.*

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- *Where they are a typical feature of the neighborhood; or*

- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

*Setbacks & Site Requirements.*

- *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

*Driveway Access.*

- *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
  - *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*
- Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

***Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.***

- *The lot area on which a DADU is placed shall comply with Table 17.12.020A.*
- *The DADU may not exceed the maximums outlined previously for outbuildings.*
- *No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.*

*Density.*

- *A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.*

*Ownership.*

- a. *No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.*
- b. *The DADU cannot be divided from the property ownership of the principal dwelling.*
- *The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.*
- *Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.*

*Bulk and Massing.*

- *The living space of a DADU shall not exceed seven hundred square feet.*

**17.16.030. G. Standards for Accessory Dwelling Units:**

An accessory dwelling unit should follow the design guidelines for the historic overlay and the following standards:

1. Applicability.

- a. While the following conditions listed below apply to a detached accessory dwelling they do not counter-act or over-ride the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

b. No accessory structure shall exceed two hundred square feet when there is a detached accessory dwelling on the lot.

2. Lot Area. The lot area on which the detached accessory dwelling is to be placed shall comply with Table 17.12.020A.

3. Ownership.

- a. No more than one detached accessory dwelling shall be permitted on a single lot in conjunction with the principal structure.
- b. The detached accessory dwelling cannot be divided from the property ownership of the principal dwelling.
- c. The detached accessory dwelling shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.

4. Setbacks. The setbacks for a detached accessory dwelling shall meet the setbacks found in Section 17.12.040.E. for accessory buildings.

*The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).*

*Generally appropriate side setbacks for outbuildings is 3' for buildings with a 750 square foot footprint or less and 5' for buildings with a footprint greater than 750 square feet. Appropriate rear setbacks may be as close as 5'.*

5. Site Requirements. A detached accessory dwelling may only be located behind the principal structure.

6. Driveway Access.

- a. On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling.
- b. On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.
- c. Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

7. Bulk and Massing.

- a. The living space of a detached accessory dwelling shall not exceed seven hundred square feet.
- b. On lots less than ten thousand square feet, the footprint of a detached accessory dwelling shall not exceed seven hundred fifty square feet
- c. On lots ten thousand square feet or greater, the footprint of a detached accessory dwelling shall not exceed one thousand square feet.
- d. The detached accessory dwelling shall maintain a proportional mass, size, and height to ensure it is not taller than the principal structure on the lot. The detached accessory dwelling height shall not exceed the height of the principal structure as measured to the eave line, with a maximum eave height of ten feet for single-story and seventeen feet for two-story detached accessory dwellings.
- e. The roof ridge line of the detached accessory dwelling must be less than the primary structure and shall not exceed twenty-seven feet in height.

*In conjunction with the neighborhoods where DADUs are possible and using research of historic outbuildings, the Commission has determined that a 25' maximum is appropriate for historic neighborhoods. Please see design guidelines for outbuildings.*

8. Design Standards.

- a. The detached accessory dwelling shall be of similar style, design and material color as used for the principal structure and shall use similar architectural characteristics, including roof form and pitch, to the existing principal structure.

- b. The detached accessory dwelling may have dormers that relate to the style and proportion of windows on the detached accessory dwelling and shall be subordinate to the roof slope by covering no more than fifty percent of the roof.
- c. Detached accessory dwellings may have dormers that are setback a minimum of two feet from the exterior wall.

9. Historic Properties.

- a. Metro Historic Zoning Commission Action. Any existing or proposed detached accessory dwelling in a historic overlay district shall comply with the adopted regulations and guidelines of the applicable historic overlay.
- b. Detached accessory dwellings with a second story dwelling unit shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

10. Restrictive Covenant. Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the detached accessory dwelling is being established accessory to a principal structure and may only be used under the conditions listed above.

*Note: The "use" of a DADU will require approval from the Department of Codes and Building Safety. The MHZC reviews the exterior design only, based on the intended use.*

**Background:** 1117 McKennie Avenue is a circa 1923 cottage that contributes to the Eastwood Neighborhood Conservation Zoning Overlay. An existing outbuilding is in place at the rear of the lot.



Figure 1. 1117 McKennie

**Analysis and Findings:** The applicant proposes to convert the existing outbuilding to a detached accessory dwelling unit (DADU). The footprint and setbacks do not meet the requirements of the design guidelines or DADU Ordinance.



Figure 2. Existing outbuilding at North 12<sup>th</sup> Street and rear alley

**Partial Demolition:** The two garage doors on the outbuilding’s east façade are proposed to be removed and replaced by windows. A window opening will be added on the opposite

side. The structure is not a contributing building, and Staff reviews these changes are not detrimental to the architectural or historical integrity of the district. This portion of the application meets Section III.B.2 for appropriate demolition.

Massing Planning: No changes are proposed to the massing of the outbuilding. A floor plan was not submitted, but the applicant has stated their intention for the floorplan for the living area to be no more than seven hundred square feet (700 sq. ft.) to meet the living area requirement for a detached accessory dwelling unit (DADU). If the Commission decides to approve the project, Staff recommends a floor plan for each level, prior to issuing permit, to verify living space, since the building’s footprint of is nine hundred and twenty four square feet (924 sf) and the street-side garage door is not remaining.

	Potential maximums (heights to be measured from grade)	Existing conditions (height of historic portion of the home to be measured from finished floor)	Proposed
Ridge Height	25’ unless existing building is less	19’	17’ 5”
Eave Height	10’	10’	10’

The lot is seven thousand, four hundred and seventy-six square feet (7,476 sq. ft.). Since the lot is less than 10,000 square feet, the maximum footprint allowed is seven hundred and fifty square feet (750 sq. ft.).

Proposed	50% of first floor area of principle structure	Lot is less than 10,000 square feet	Proposed
Maximum Square Footage	742 sq. ft.	750 sq. ft. (including porches)	924 sq. ft.

The footprint of the existing outbuilding is nine hundred and twenty-four square feet (924 sq. ft.), larger than the allowable seven hundred and fifty square feet (750 sq. ft.) and therefore fails to meet section II.B.h.1 of the design guidelines and 17.16.30.G. 7 of the ordinance for height and scale.

Roof Form:

Proposed Element	Proposed Form	Typical of district?
Primary form	Gable	Yes
Primary roof slope	7/12	Yes

The roof form and slopes are similar to historic outbuildings, the project meets Section II.B.h.1 of the design guidelines and section 17.16.030.G.8 of the ordinance for roof form.

Design Standards:

The proposed outbuilding has a simple design that is subordinate to the primary structure and appropriate for outbuildings. The design meets section II.B.h.2 of the design guidelines and Section 17.16.030.G.8 of the ordinance.

Materials: The doors and windows are proposed to be altered. Existing garage doors facing North Twelfth Street will be replaced with two windows. A new window will be added on the west side of the outbuilding. An existing garage door on the south side will remain. All materials are existing except for the new windows and doors.

	<b>Proposed</b>	<b>Color/Texture</b>	<b>Approved Previously or Typical of Neighborhood</b>
Cladding	Concrete block	natural	Yes
Secondary cladding	Shingles	n/a	Yes
Roofing	Asphalt shingle	Grey, matching existing	Yes
Trim	Wood	Smooth	Yes
Windows	Not specified	Needs final approval	Yes
Doors	Not indicated	Needs final approval	n/a

With the Staff's final approval of the windows and doors, Staff finds that the materials meet Section II.B.h.1.

Site Planning & Setbacks:

Outbuilding description:	Maximum square footage	Minimum Rear/Alley Setback	Minimum Side Setback for interior lot lines/street side	Distance Between Principal Building and Outbuilding
Footprint greater than 700 sq. ft., Garage doors facing alley	750 sf	5'	5'/10'	20'
Proposed	924 sf	5'	3' / 4' 9"	64'

The existing outbuilding is located five feet (5') from the rear property line. The side setbacks are three feet (3') from the left side property line, and four feet, nine inches (4' 9") from the right side. The Commission has previously approved a

reduced side setback for an existing outbuilding. In that case there were no changes to the existing structure and the outbuilding was only one story and four hundred and twenty square feet (420 sq. ft.) with part of that square footage being an open porch. Because the size of the existing outbuilding exceeds the requirements for massing and two setback determinations would be needed; on one side of three feet (3') from the required five feet (5') and on the street-side approximately five feet (5') from the required ten feet (10'); staff does not find it to be appropriate to reduce the setback requirements. Staff finds that the proposal does not meet the requirements for setbacks. The project does not meet section II.B.h.2 of the design guidelines or 17.16.30.G. 4 of the ordinance.

General requirements for DADUs:

The answer to each of these questions must be “yes” for either an outbuilding or a DADU.

	<b>YES</b>	<b>NO</b>
If there are stairs, are they enclosed?	n/a	
If a corner lot, are the design and materials similar to the principal building?	Yes	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	n/a	
If dormers are used, do they sit back from the wall below by at least 2'?	n/a	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	n/a	
Is the building located towards the rear of the lot?	Yes	

The project meets section II.B.h of the design guidelines and sections 17.16.30.G.5, 8 and 9 of the ordinance.

General Requirements for DADU:

The answer to each of these questions must be “no.”

	<b>YES</b>	<b>NO</b>
Does the lot NOT comply with Table 17.12.020A of the zoning code? (It isn't zoned two-family or doesn't have adequate square footage to be a legally conforming lot.)		No
Are there other accessory buildings on the lot that exceed 200 square		No

feet?		
Is the property zoned single-family?		No
Are there already two units on the property?		No
Does the property owner NOT live on site or does NOT plan to move to this location once the DADU is complete?		No
Is the planned conditioned living space more than 700 square feet?		No

A floor plan was not submitted, but the applicant has stated their intention for the floorplan for the living area to be no more than seven hundred square feet (700 sq. ft.) to meet the living area requirement for a detached accessory dwelling unit (DADU). Staff recommends a floor plan for each level, prior to issuing permit, if approved, to verify living space. The project meets section II.B.8.a of the design guidelines and sections 17.16.30.G.1,2,3, and 8 of the ordinance.

**Recommendation Summary:** Staff recommends disapproval of the application, finding that it fails to meet the requirements of Section II.B.h of the Eastwood Neighborhood Conservation Zoning Overlay Design Guidelines and Ordinance 17.16.030.G.4 and 17.16.030.G.7 for massing and setbacks.



**MAP REFERENCE**  
Parcel ID for subject property is ( 08301028100 ) on Davidson County Property Map.

**DEED REFERENCE**  
Owner : PARKHURST, DANIEL SETON, as of record in DB-20170829 0068827  
Registers Office, Davidson County, Tennessee.

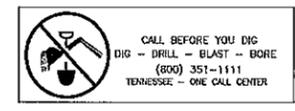
**PLAT REFERENCE**  
Being Lot # 3 on the Plan of Eastland Baptist Church Subdivision of Blocks B and C of Young Wilhoite's Plan of The Douglas Property, as of record in Plat Book 421, Page 155, Register's Office for Davidson County, TN.

- SURVEYOR'S NOTES**
- This Property is located in the 6th Council District of Davidson County Tennessee.
  - Bearings, Elevations and Coordinates shown are based on Tennessee State Plane NAD83. (NAVD83)
  - The property is located in areas designated as "Zone X" (areas determined to be outside the 0.2 % annual chance floodplain) as noted on the current FEMA Firm Community Panel # 47037C025341, effective on 4-5-2017.
  - Utilities shown herein were taken from visible structures and other sources available to me at this time. Verification of existence, size, location and depth should be confirmed with the appropriate utility sources.
  - A Title Report was not provided for the preparation of this survey, therefore this survey is subject to the findings of an accurate title search.
  - No Stream determinations were provided to this surveyor, therefore this survey does not address the existence or non-existence of any water of the state, jurisdictional stream, buffers or wetlands.
  - This survey does not address the owner of any fence nor address any adverse claim of ownership of any adjoining property. Removal of any property line fence should be coordinated with adjacent owner.
  - Property is currently Zoned R6. Setbacks per current zoning, verify with Metro Codes Administration.  
Front Building Setback = Contextual Average = 30.1' Minimum  
Rear Building Setback = 20' Minimum  
Side Building Setback = 5' & 10' Minimum

**SURVEYOR'S CERTIFICATE**

I hereby certify that this survey was actually made on the ground under my direct supervision, using the latest recorded deeds, and other information, that there are no encroachments or projections other than those shown; and that this survey exceeds the minimum requirements for a Category 1 Urban Land Survey pursuant to Chapter 0820-3, Section .05 of the Department of Insurance Standards of Practice for Land Surveyors, and that this survey is true and correct to the best of my knowledge and belief.

Jason A. Garrett, TN RLS # 2861



- Symbol Legend**
- Symbol Denotes
  - IRON ROD (OLD)
  - BENCHMARK
  - CATCH BASIN
  - FIRE HYDRANT
  - SEWER MANHOLE
  - EXISTING TREE
  - WATER VALVE
  - WATER METER
  - IRON ROD (NEW)
  - UTILITY POLE
  - Circle
  - Point
  - Crs. 4



**Boundary & Topographic Survey**  
 1117 Mckennie Avenue  
 Nashville, Davidson County, Tennessee, 37206

Rev.	Date	Revision Description
1	8-13-2018	Added D.A.D.U. setbacks.



Issue Date: 8-13-2018  
 Project ID: MCKENNIE AVE III7  
 Drafted By: KW/BM  
 Field Crew: AK  
 Checked By: JG

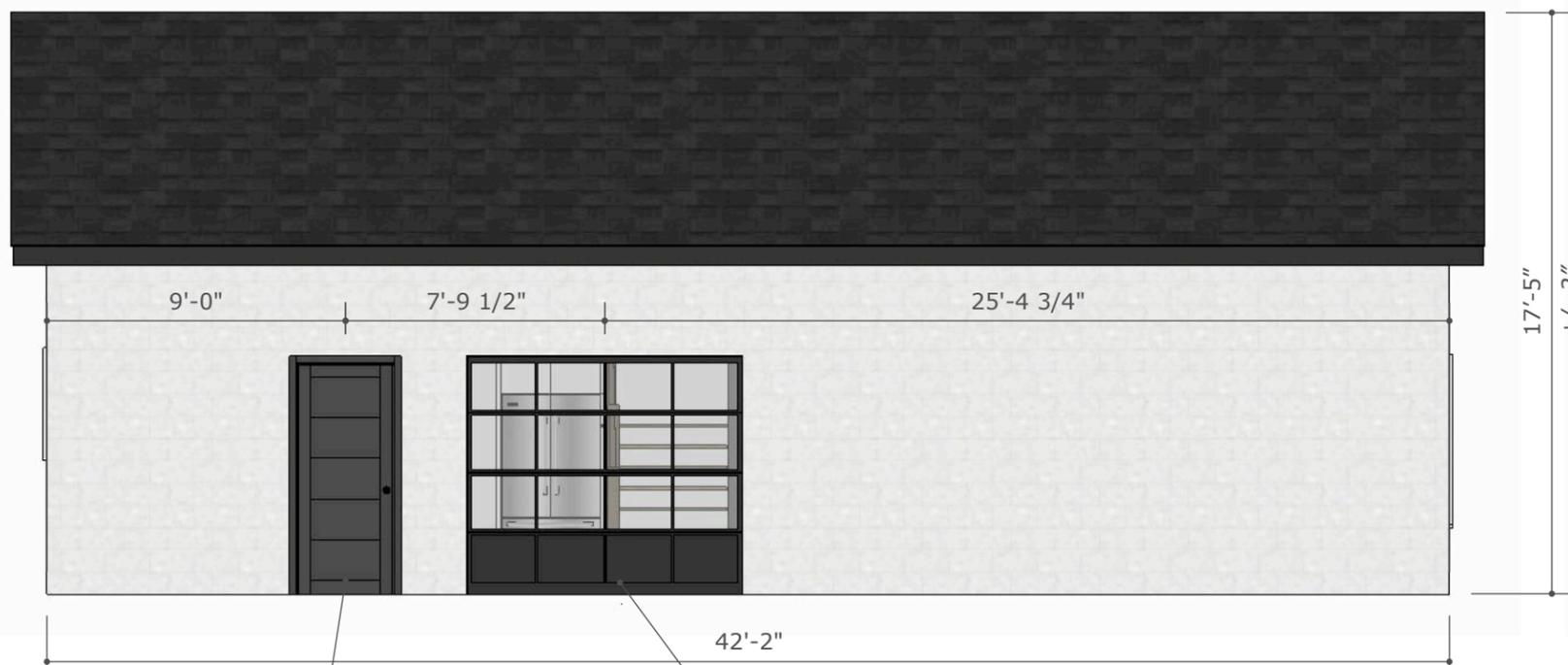
Sheet Title:  
**Boundary & Topographic Survey**

1711 Hayes Street  
 Nashville, TN 37203  
 client@elliotts.com  
 (615) 490-3236

**ELLIOTT SURVEY**



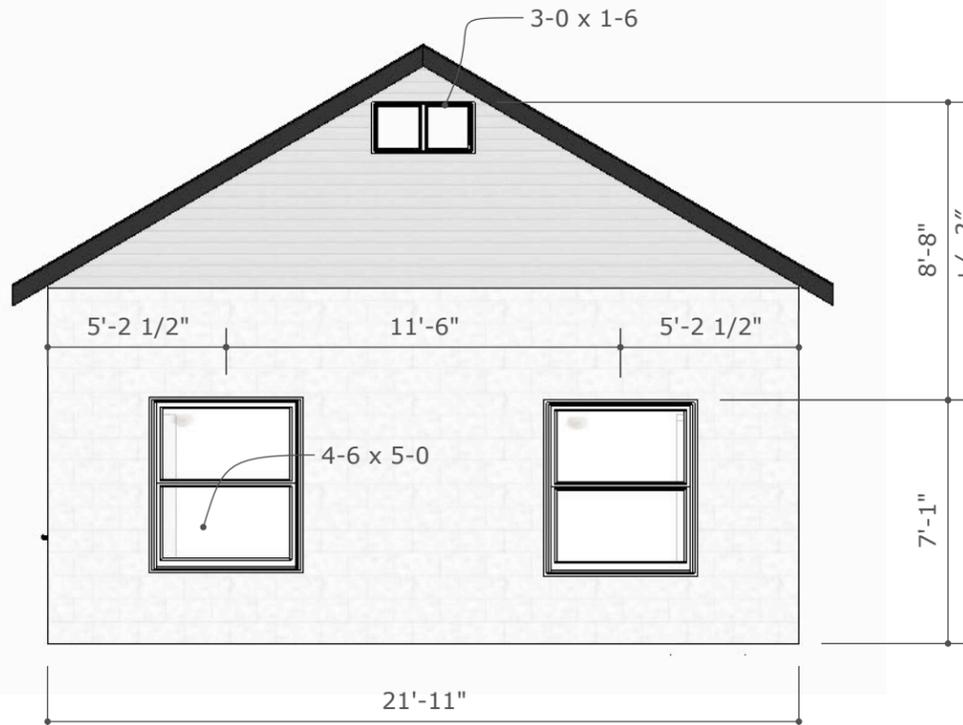
BENCHMARK (NAVD88)  
 HYDRANT TAG BOLT  
 N: 677176.58



EXISTING PEDESTRIAN DOOR OPENING WILL NOT CHANGE

EXISTING GARAGE DOOR OPENING WILL NOT CHANGE

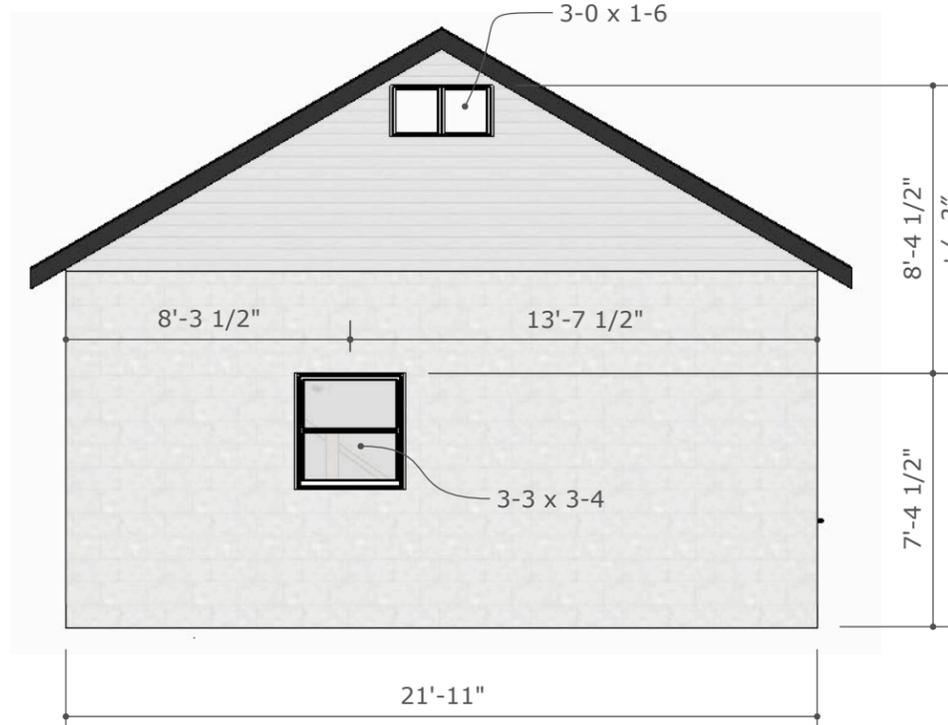
SOUTH ELEVATION



(STREET SIDE) EAST ELEVATION



(ALLEY SIDE) NORTH ELEVATION



WEST ELEVATION