

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
628 Shelby Avenue
December 19, 2018

Application: Demolition
District: Edgefield Historic Preservation Zoning Overlay
Council District: 17
Map and Parcel Number: 09304004000
Applicant: Crystal Love
Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

<p>Description of Project: The applicant requests full demolition of a contributing building.</p>	<p>Attachments A: Biographies B: Photographs C: Engineers Report D: Inspectors Report E: Rehab Estimates</p>
<p>Recommendation Summary: Staff recommends approval of the application for full demolition, finding that demolition meets sections V.B.II a. and b. for appropriate demolition.</p>	

Vicinity Map:



Aerial Map:



Applicable Design Guidelines & Ordinances:

V.B DEMOLITION GUIDELINES

- 1 . Demolition is not appropriate
 - a. if a building, or major portion of a building, contributes to the architectural or historical significance or character of the district.
- 2 . Demolition is appropriate
 - a. if a building, or major portion of a building, does not contribute to the architectural or historical character or significance of the district; or
 - b. if a building, or major portion of a building, has irretrievably lost its physical integrity to the extent that it no longer contributes to the district's architectural or historical character or significance; or
 - c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420, as amended, of the historic zoning ordinance.

Ordinance 17.40.420 D. Determination of Economic Hardship. In reviewing an application to remove an historic structure, the historic zoning commission may consider economic hardship based on the following information:

1. An estimated cost of demolition and any other proposed redevelopment as compared to the estimated cost of compliance with the determinations of the historic zoning commission;
2. A report from a licensed engineer or architect with experience in rehabilitation as to the structural soundness of the subject structure or improvement and its suitability for rehabilitation;
3. The estimated market value of the property in its current condition; its estimated market value after the proposed undertaking; and its estimated value after compliance with the determinations of the historic zoning commission.
4. An estimate from an architect, developer, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure.
5. Amount paid for the property, the date of purchase, and the party from whom purchased, including a description of the relationship, if any, between the owner of record or applicant and the person from whom the property was purchased, and any terms of financing between the seller and buyer.
6. If the property is income-producing, the annual gross income from the property for the previous two years; itemized operating and maintenance expenses for the previous two years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period.
7. Any other information considered necessary by the commission to a determination as to whether the property does yield or may yield a reasonable return to the owners.
8. Hardship Not Self-Imposed. The alleged difficulty or hardship has not been created by the previous actions or inactions of any person having an interest in the property after the effective date of the ordinance codified in this title.

(Ord. BL2012-88, § 1, 2012; Ord. 96-555 § 10.9(C), 1997)

Background: 628 Shelby Avenue is a contributing building in the Edgefield Neighborhood Conservation Zoning Overlay. It was constructed c.1920. The applicant first contacted MHZC staff to pursue an addition to the building. Following interior demolition, they observed the condition of the structure to be poor and so invested in an engineer's report.



Figure 1. 628 Shelby Avenue

Analysis and Findings: The applicant proposes to demolish the building and has provided an engineer's report from licensed engineer Matthew Hagerty and a home inspection report from Premier Home Inspection, LLC as well as two estimates.

Follows is a summary of the home inspection and engineer's reports.

	Home Inspection recommendation	Engineer
Cladding	Full replacement	Did not address
Front Porch	Full replacement	Full replacement
Foundation	Repair	Full replacement
Framing	Repair and replace	Full replacement
Electric	Replacement of knob and tube	Did not address
HVAC	Not in existence	Did not address
Windows	Full replacement	Did not address
Roof material	Full replacement	Did not address
Roof framing	Some replacement	Did not address
Chimney	Replacement	Did not address
Floor joists		Full replacement
Plumbing fixtures	Not in existence	Did not address
Plumbing drains and supply piping	Replacement	Did not address

The two reports both conclude that the house suffers from poor design and construction and termite, water and fire damage. The engineer's report states that the full foundation and framing of the home have to be replaced, while the home inspection suggests repairs. Staff noted termite and water damage in beams and joists, the perimeter of the subfloor, flooring, wall studs and ceiling joists. Staff estimates that the extent of the structural deterioration requires replacement of 100% of the foundation and framing, with the exception of the roof framing but only because it was not fully visible. Deflection is evident in the roof ridge, indicating that the ridge beam was built with smaller lumber

than required to support the roof and that full replacement of the roof system is also likely.



Figure 2. Termite-damaged floor joists



Figure 3. Termite activity carries up to ceiling joists

The engineer summarizes that the foundation is in marginal condition. In particular he notes that the structure was built with minimal crawl space clearance, which resulted in extensive termite intrusion to the framing. From the front to the rear of the house, the floor has settled three and a half inches ($3\frac{1}{2}$ “) over a distance of twenty-four feet (24’). The settling has caused the foundation and front wall to rotate. There are multiple settlement cracks throughout the foundation, which was not built with any lateral stabilization.

The engineer’s report did not detail the condition of windows, doors and cladding; however, the home inspection report states that all need to be fully replaced. Staff’s inspection noted the same.

The applicant provided a rehab estimate from Axis Creative for \$175-200 per square foot, which is in keeping with past projects reviewed by the Commission; however this estimate is not broken out. A second estimate was provided from ORCA Building Group. The company’s website states that they build custom homes and there is no reference to experience with rehabilitation. The estimate includes full replacement of foundation, framing, cladding, roofing, windows and doors and porch. Because of the amount of replacement necessary, Staff did not analyze estimated rehab based on potential post-rehab value, as the project cannot truly be a rehab project.

Based on the fact that all major elements of the building—foundation, framing, cladding, windows, doors and roofing—all have to be fully replaced, the result would not be rehabilitation of a contributing building but rather a non-contributing reconstruction.

Staff finds that demolition is appropriate because the necessary repairs will result in a building that no longer contributes to the historic character of the district and will result in a building that has irretrievably lost its physical integrity; thereby meeting sections V.B.II.a and b of the design guidelines.

Recommendation:

Staff recommends approval of the application for full demolition, finding that demolition meets sections V.B.II a. and b. for appropriate demolition.

ATTACHMENT A

BIOGRAPHIES FOR REPORT RESEARCH & WRITERS

Tim Walker is the Director of the Metropolitan Historical Commission, which is the steward of two commissions which guide historic preservation projects for Metropolitan Nashville and Davidson County. Walker has a Bachelor of Architecture (Magna Cum Laude) from the University of Tennessee at Knoxville and a Master of Science in Public Service Management from Cumberland University. Tim has 25 years of experience in the fields of architecture and historic preservation.

Robin Zeigler is the Historic Zoning Administrator with the Metropolitan Historic Zoning Commission. She has been a local preservation specialist for more than 12 years working as the Senior Historic Preservation Planner for the Planning Division of the Salt Lake City Corporation and the Preservation Planner for the City of Bowling Green in Kentucky. In addition she has taught historic preservation planning as an adjunct professor at Western Kentucky University. She is a former board member of the National Alliance of Preservation Commissions. Zeigler holds a graduate degree from Middle Tennessee State University's Public History Program.

Paul Hoffman is a Historic Preservationist 1 with the Metropolitan Historic Zoning Commission. For more than a decade prior to joining MHZC, he worked on rehabilitation and preservation projects on historic structures in middle Tennessee, including the Tennessee State Capitol, Ryman Auditorium, Belmont Mansion, and Rosenwald schools in Sumner County. Paul earned his M.A. in the historic preservation program at Middle Tennessee State University, specializing in early Tennessee history and building pathology.

ATTACHMENT B: PHOTOGRAPHS
Staff site visit on April 20, 2018 and December 6, 2018











This is only an estimate, as an actual cost cannot be done with the circumstances of the existing house and foundation. The whole project will have to be engineered and everything will have to be done methodically in order to maintain the integrity of the existing structure. We will attempt to lift the house above the existing foundation to replace the entire foundation and restructure or re-do the existing footers. After Reviewing the house, almost everything will need replaced or reconstructed. We cannot guarantee work of the existing structure, not can we guarantee the structure is even stable enough to even start the rehab

	X	EST COST	NOTES
PLANNING COSTS	10080		
PRELIM BOUNDARY SURVEY			
PLANS		1500	PLANS WILL NEED TO BE DONE BY ENGINEER
DESIGNER FEE		2000	1\$ per sqft - min 2000\$
ADDRESS FEE		0	
DEMO PERMIT		80	
ADMINISTRATIVE FEE		1500	
BUILDING PERMIT		1000	
BUILDERS RISK INSURANCE		450	
NES TEMP SERVICE CONNECT FEE		550	
PROJECT MANAGER		3000	
OTHER PLANNING COSTS			
RECURRING COSTS	1500		
UTILITY BILLS		750	
PORTABLE TOILET		750	
DUMPSTER		880	
MISC LOT CLEANUP		2000	
LOT PREP COSTS	12100		
CLEAR LOT		500	
TREE REMOVAL		0	
SILT FENCING		225	1/2 IF HPR
TEMPORARY DRIVE		375	
DEMOLITION		6000	ORDER SEE WHAT CAN BE REHABBED AND WHAT NEEDS REPLACED
FILL REQUIRED AFTER DEMOLITION		0	
EXCAVATION		5000	EXISTING FOUNDATION AND FOOTERS
RETAINER WALLS		0	

OTHER LOT PREP COST		0	
TOTAL PLANNING AND PREP COST		26560	
FOOTINGS COSTS			
	13350		
FOOTINGS TURN KEY		6200	EXISTING FOOTERS NEED REPLACED, 1 AT A TIME
STAKE FOOTINGS		250	\$250 per trip
ENGINEER FOOTING INSPECTION		1000	EXISTING AND NEW
CONCRETE PUMP FOOTINGS		2900	LINE PUMP \$600 + TIME, + INCONVIENT COST
OTHER FOOTING COSTS		3000	EST.
FOUNDATION COSTS	31050		
FOUNDATION TURN KEY		12500	WHOLE FOUNDATION NEEDS ENGINEERED AND REPLACED
PIN FOUNDATION WALL		250	
FOUNDATION MATERIALS		6000	
FOUNDATION LABOR		4200	
BLOCK CORE FILL TURN KEY		0	
CONCRETE PUMP TRUCK COREFILL FOUNDATION		0	SEE LINE 40
CONCRETE PUMP MIX TO CORE FILL		3200	
CONCRETE LABOR		0	
WATERPROOFING/FOUNDATION DRAIN TURN KEY		650	
CRAWL SPACE ROCK		750	
CRAWL SPACE ROCK LABOR		0	
VENTS/CRAWL SPACE DOOR		300	
OTHER FOOTING/ BRACING HOUSE		3200	WILL NEED TO TRY AND SUSPEND HOUSE TO DO FOOTERS AND FOUNDATION
FRAMING COSTS	22875		
FRAMING PACKAGE		12000	\$11SQFT i-JOIST,\$12TRUSS
DECK FRAMING PACKAGE		0	
PORCH FRAMING PACKAGE		0	
FRAMING PUNCH ITEMS		250	
FRAMING LABOR		10000	EACH BOARD WILL NEED REPLACE IN EXISTING HOUSE
DECK FRAMING LABOR		0	\$8
PORCH FRAMING LABOR		0	\$8
SCREW FLOORS DOWN		500	\$250 TO TEAR UP EXISTING AND 250 TO REPLACE
TERMITE TREATMENT		125	
OTHER FRAMING COSTS/PUNCH WORK			
DOOR AND WINDOW COSTS	6900		
WINDOW PACKAGE AND WINDOW TAPE		5400	REPLACE ALL WINDOWS AND DOORS

WINDOW INSTALLATION LABOR		0	
EXTERIOR DOOR PACKAGE		1500	\$850 FRONT, \$275 HALF GLASS BACK AND OTHER
DOOR INSTALLATION LABOR		0	
GARAGE DOOR COSTS		0	
ROOFING COSTS	5000		
ROOFING TURN KEY		5000	3200 FOR MATERIAL AND LABOR + 1800 TO REPLACE EXISTING
ROOF TOP DECKS/TPO TURNKEY		0	
INSULATION COSTS	1800		
INSULATION WALLS		900	\$1.85 sqft labor and materials,%50,%25,%25
INSULATION CRAWL SPACE		450	
INSULATION ATTIC		450	
PLUMBING COSTS	6900		
PLUMBING ROUGH IN		3120	(ICE/HOSE 1, DW 1, WASHER BOX) %60,%40
PLUMBING TRIM OUT		2080	
PLUMBING ROUGH IN VALVES, TUBS		700	\$175 SHOWER VALVES, \$175 TUB VALVES, \$400 TUB
PLUMBING WATER HEATER		500	
PLUMBING TANKLESS WATER HEATER		0	
PLUMBING WASHER PAN/AIR CHAMBER/EXTRAS		500	
ELECTRICAL COSTS	8625		REPLACE ALL ELECTRICAL
ELECTRICAL TEMPORARY SERVICE INSTALLATION		375	
ELECTRICAL ROUGH IN		3000	
ELECTRICAL TRIM OUT		2100	\$75 PER EAVE LIGHT (AVG 4)
ELECTRICAL UNDERGROUND SERVICE		2000	CK\$750,\$400 DITCH POLE-MTRB,\$500 PER DITCH TO HOUSE,\$625 ROCK,\$20LFT
ELECTRICAL RECESS LIGHTING		900	\$50 PER CAN AVG 18
ELECTRICAL SMOKE/CARBON DETECTORS		250	
GAS MECHANICAL HVAC COSTS	5875		
HAVC ROUGH IN		2880	%60,%35,%5/ \$2400 PER TON
HVAC EQUIPMENT SET		1680	
HVAC TRIM OUT		240	
BLOWER DOOR TESTING		275	\$200 PLUS \$75 PER ADDT UNIT
ADDITION GAS SUPPLY LINES		800	\$300 PER IF NEEDED, \$500 FOR TANKLESS WH
OTHER GAS MECHANICAL HVAC COSTS		0	
EXTERIOR FINISH COSTS	12000		
HARDIE SIDING TURN KEY		12000	\$10LFT , 12in BAND \$7.50 LFT, 10IN BAND \$7LFT, 12IN BOTTOM BAND \$10LFT,
METAL SIDING TURN KEY		0	
WOOD SIDING COSTS TURNKEY		0	

DRYWALL/TRIM/PAINT COSTS	18600		
DRYWALL MATERIALS		2700	
DRYWALL LABOR		3000	\$18.50 PER SHEET
INTERIOR TRIM MATERIALS		3000	
INTERIOR TRIM LABOR		3700	ROOMS OF CROWN INCLUDED
PAINT TURN KEY		4400	\$4.50
PAINT MATERIALS		1800	
FINISH FLOORING COSTS	6700		
HARDWOOD MATERIALS		3300	\$3.25 PER SQFT SAND AND FINISH
HARDWOOD LABOR		0	3.75 PER SQFT
ENG HW TURNKEY (PREMIER) 5IN HAND SCRAPED		0	\$5.50
CARPET MATERIALS		900	\$25 FOR HIGH END, \$17 FOR AVERAGE
CARPET LABOR		0	
TILE BACKSPLASH		0	50SF, \$500 LABOR, \$1000 MATERIALS
TILE MATERIALS		1200	
TILE LABOR		800	
TILE EXTRAS		500	PANS,SHAMPOO BOX, BENCH
CABINET AND COUNTERTOP COSTS	8800		
CABINETS TURN KEY		5600	
GRANITE/OTHER COUNTERTOPS TURN KEY		3200	
COUNTERTOP EXTRAS		0	
INTERIOR FINISH COSTS	5650		
LIGHT FIXTURES		1500	
PLUMBING FIXTURES		1750	
DOOR HARDWARE TURNKEY		200	
BATH HARDWARE TURN KEY		200	
MIRRORS TURN KEY		200	
SHOWER DOOR TURN KEY		0	
APPLIANCES		1800	
OTHER INTERIOR FINISH COST		0	
INTERIOR PUNCH COSTS		0	
GUTTER COSTS	500		
GUTTERS TURN KEY		500	4.60 LINEAR FOOT
GUTTER DRAINAGE MATERIAL AND LABOR		0	
GRADING/CONCRETE/LANDSCAPE COSTS	13500		
CONCRETE DRIVE		2500	

ROCK FOR CONCRETE DRIVE		800	
PORCH/SIDEWALK/HVAC PADS CONCRETE		600	
ROCK FOR PORCH/SIDEWALK		600	
LANDSCAPE		2500	\$1500 FOR MINIMAL
SOD		1000	\$60/100SQFT, PLUS \$120 DELIVERY
SOD WATERING COSTS		0	
ROUGH AND FINISH GRADE		2500	
STORM WATER ENGINEERING/TREATMENT		3000	
OTHER GRADING/CONCRETE/FENCE		0	FENCE \$15 LF, \$200 PER GATE
CLEAN UP COSTS	850		
ROUGH CLEAN		500	
FINAL CLEAN		350	.25 SF
ESTIMATED/ACTUAL BUILDER COST TO BUILD		\$ 168,975	
HEATED AND COOLED SQUARE FOOTAGE	760		
ESTIMATED/ACTUAL COST PER SQUARE FOOT H/C		222.3355263	
PROFIT/LOSS ESTIMATED COST VS. ACTUAL COST			
BUILDER FEES/CHANGE ORDERS			
BUILDER/DEVELOPER FEE		5000	
CHANGE ORDER			
CHANGE ORDER			
CHANGE ORDER			
PLANNING AND PREP COST		26560	
VERTICAL BUILD COST	222.335526	168975	
BUILDER FEE		\$ 50,000	
CHANGE ORDER		0	

ESTIMATED/ACTUAL INVESTOR COST	323.072368	\$ 245,535	TOTAL ESTIMATED COST TO BUILD
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Prepared For:

Crystal Love

To Crystal:

I visited the site at 628 Shelby and viewed the 760sf existing house. From my perspective it seems like major work will need to be done fix the foundation, wall and roof framing, plumbing, electrical, and mechanical. New windows and doors will be required as well. All new exterior siding and interior drywall will be needed. New interior finishes and fixtures as well. Exterior concrete. It's in my professional opinion that the cost per square foot would be between \$175/sf and \$200/sf. I believe these costs to be prohibitive of re-using the existing structure in its current condition.

Sincerely,

AXIS CREATIVE, LLC
Axis@AxisCreativeGroup.com
615.669.0755
2610 Westwood Dr.
Nashville, TN 37204



628 Shelby Avenue, Nashville, TN

INSPECTION DATE: March 19, 2018

PREPARED FOR: Crystal Love

TOTAL NUMBER OF PAGES IN REPORT: 18

**PREPARED BY: Brent Scott
PREMIER HOME INSPECTION LLC.
640 Broadmor Boulevard, Suite 100
Murfreesboro, TN., 37129
615-481-7293 (Office)
615-893-6305 (Fax)**





When reading this report, any references made from right to the left and front to rear are made from facing the house from the street. The report summary is not comprehensive. The summary is only a portion of the entire report. The entire report should be read and understood with actions taken as needed before the close of escrow.

GLOSSARY OF INSPECTION RATINGS:

DEFICIENT: Denotes a system or component which is considered significantly deficient or is unsafe. Significant deficiencies need repair or replacement and/or additional evaluation by a licensed contractor or certified technician. Safety hazards and/or safety enhancement recommendations are also listed as deficiencies.

IMPROVE: General information and marginal items. Please note, some items that are marginal can, over time, turn into major concerns if not attended to, repaired or replaced.



REPORT SUMMARY

GENERAL COMMENT: This house is in overall very poor condition. The house is not safe for habitation. Several life safety issues were observed. I recommend having the entire house evaluated by a licensed general contractor with repairs made or demolition performed.

EXTERIOR:

DEFICIENT

- The wood cladding on the exterior walls, trim at doors and windows, soffits and fascia appear to be beyond repair. Several areas of gaps were noted in the wood cladding, trim, soffits and fascia. Much of the siding is loose and cracked. Areas of the framing are exposed. Evidence of moisture intrusion was noted. Replacement is recommended by a licensed contractor.



- Soft wood was noted on the front porch. The front porch is falling in and is unsafe. Replacement is recommended by a licensed contractor.



EXTERIOR CONTINUED:

DEFICIENT

- **The front porch steps have settled. The risers have different heights. This is presenting a fall hazard. Replacement is recommended by a licensed contractor.**



- **The front porch ceiling is damaged and appears to be sagging. Repairs/replacement should be made as needed by a licensed contractor.**

- **Missing and damaged gutters and downspouts were noted at the roof eaves. Gutters and proper downspouts are recommended by a licensed contractor to maintain proper drainage/moisture control.**



- **Cracking and low spots were noted in the sidewalk. This is causing a potential trip/fall hazard. Replacement is recommended by a licensed contractor.**



EXTERIOR CONTINUED:

DEFICIENT

- **Lead base paint testing is outside the scope of this inspection. The paint on the exterior of the home has cracked and falling off. There is possibly lead in the paint due to the age of the home. It is recommended to have the paint tested by a qualified professional with remediation performed as needed by a qualified specialist.**



- **Missing stones and cracks were noted in the columns on the front porch. Repairs should be made as needed by a licensed contractor.**

- **A damaged sanitary drain cleanout was noted in the rear yard. Replacement of the cap is recommended.**



- **Both exterior doors and framing are damaged. Repair/replace as needed.**



ELECTRICAL:

DEFICIENT

- **Knob and tube wiring was visible in the attic and interior walls. Knob and tube wiring should be removed to maintain safety. The service panel does not appear to be serviceable. The wires at the breakers in the service panel have been cut. Power was noted at the main breaker. There was not faceplate installed. This is a latent electrocution and fire hazard. A faceplate should be installed as soon as possible. No outlets were noted. Exposed wires were noted on the rear eve. The exposed wire should be contained in proper conduit. It is recommended to have the existing electrical components removed and replaced as needed by a licensed electrical contractor to maintain safety and function.**



HVAC:

DEFICIENT

- **No heating or cooling components were present at the time of inspection. It is recommended to have the house inspected by a licensed HVAC contractor with corrections made as needed.**

WINDOWS:

DEFICIENT

- **The windows are in very poor condition. The windows do not appear to be serviceable. Replacement is recommended by a licensed contractor.**



ROOF:

DEFICIENT

- **The roof is in poor condition. Damaged, lifted and missing shingles were noted. No flashings were noted at the chimney. Moisture intrusion was visible in the attic. Damaged roof sheathing was noted in the attic. Areas of deflection were noted in the roof structure. Replacement of the roof covering and areas of the roof decking should be expected. Further investigation of the roof and components is recommended by a licensed roofing contractor with corrections made as needed.**



CHIMNEY:

DEFICIENT

- **The chimney over the roof is damaged. No proper cap was noted. The liner in the visible area of the chimney in the house is damaged. It is recommended to replace the chimney. Further investigation of the chimney is recommended by a licensed chimney specialist with corrections made as needed.**



STRUCTURE:

DEFICIENT

- **The structure of this house in very poor condition. Extensive damage from wood destroying insects was visible on the exposed floor joists, wall studs and areas of the ceilings. Replacement of much of the framing should be expected. Sagging was noted in areas of the floors, ceilings and walls. Deflection was noted in the ridge on the roof. Cracks were noted in areas of the foundation walls. Further investigation of the home is recommended by a structural engineer with corrections made as needed.**



PLUMBING:

DEFICIENT

- **No plumbing fixtures or appliances were installed. The visible areas of the plumbing drains and supply piping do not appear to be serviceable. Replacement is recommended by a licensed plumbing contractor.**



INTERIORS:

DEFICIENT

- **No wall coverings were noted on the interior walls. Missing floor coverings were noted throughout the home. Damaged and missing ceiling coverings were noted. Missing doors were noted. Repairs/replacement should be made as needed by a licensed contractor.**



CRAWLSPACE:

DEFICIENT

- **The crawlspace was not accessible for inspection. The opening at the rear wall is too small to enter. The only areas of the crawlspace visible were from the areas of missing floor coverings in the interior. Most of the crawlspace was not accessible/visible. It is recommended that the crawlspace be made accessible. Further investigation is recommended by a licensed contractor with corrections made as needed.**



Property Information

PROPERTY ADDRESS:

628 Shelby Avenue,
Nashville, TN

INSPECTED BY:

NAME: Brent Scott
License: TN #222

CLIENT INFORMATION:

NAME: Crystal Love

INSPECTION CONDITIONS:

INSPECTION DATE: March 19, 2019

REPORT DATE: March 19, 2019

REPORT DELIVERED: By email

WEATHER CONDITIONS: Rain with temperatures in the 60s.

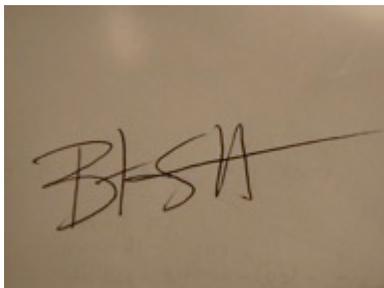
PRESENT DURING INSPECTION: Inspector

BUILDING OCCUPIED: No

RAIN IN LAST 3 DAYS: Yes

A Home inspection is a limited, non-invasive visual examination of a residential dwelling, performed for a fee, which is designed to identify observed material defects within specific components of said dwelling. Components may include any combination of mechanical, structural, electrical, plumbing, or other essential systems or portions of the home, as identified and agreed to by the Client and Inspector, prior to the inspection process. A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection and not the prediction of future conditions. A home inspection will not reveal every concern that exists or ever could exist, but only those material defects observed on the day of the inspection. A Material defect is a condition with a residential real property or any portion of it that would have a significant adverse impact on the value of the real property or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect. An Inspection report shall describe and identify in written format the inspected systems, structures, and components of the dwelling and shall identify material defects observed. Inspection reports may contain recommendations regarding conditions reported or recommendations for correction, monitoring or further evaluation by professionals, but this is not required. The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. This report does not address mold, lead base paint, radon, asbestos, cockroaches, rodents, pesticides, treated lumber, mercury, carbon monoxide or other similar items. This report does not address underground sewer disposal, water supply, or fuel service delivery. Although some imported (i.e. Chinese) drywall may contain chemicals harmful to human health, determining their presence requires a specialized inspection and laboratory testing which lies beyond the scope of a limited, non-invasive, visual home inspection. If you wish to have materials in the home tested, the inspector recommends that you contact a contractor qualified to perform indoor environmental testing.

This inspection report is prepared exclusively for the person named above. The use of this report by any unauthorized persons is prohibited.



Brent Scott Tn License #222.



EXTERIOR COMPONENTS

BUILDING EXTERIOR:

WALL COVERINGS: Wood.

WALL TRIM: Wood

EVES: Closed eaves.

PORCH/PATIO:

PORCH: Wood

PATIO: N/A

DRIVEWAY/SIDEWALKS:

DRIVEWAY TYPE: N/A

SIDEWALK TYPE: Concrete.

DECK:

N/A

SLOPE AND GRADING:

SLOPE: Relatively flat.



COMMENT: It is important to maintain the caulk around all exterior doors and windows to prevent moisture and pest intrusion. Wall insulation and R-value is not verified, conditions inside the wall cannot be judged. However, all wall and floor cracks can be a potential source for moisture entry. To prevent seepage, it is recommended that all cracks be sealed. Property maintenance is a must; this includes painting, caulking and sealing of all exterior surfaces. Unsealed cracks around windows, doors, and thresholds can allow moisture penetration, which is the key cause of the deterioration of any surface. Many times evidence of any such penetration can only be observed during a rainfall.

LIMITATIONS OF EXTERIOR INSPECTION

As detailed in the pre-inspection contract, this is a visual inspection only. The visual inspection of the exterior was limited (but not restricted to):

- A representative sample of exterior components was inspected.
- The inspection does not include an assessment of geological conditions and/or site stability.



ROOF

ROOF COVERING: The roof is covered with composite asphalt and fiberglass shingles. The roof is in poor condition. Damaged, lifted and missing shingles were noted. No flashings were noted at the chimney. Moisture intrusion was visible in the attic. Damaged roof sheathing was noted in the attic. Areas of deflection were noted in the roof structure. Replacement of the roof covering and areas of the roof decking should be expected. Further investigation of the roof and components is recommended by a licensed roofing contractor with corrections made as needed.

Ventilation: Gable.

Gutters / Downspouts: Metal

Methods of Inspection:

The roof was inspected from the ground using binoculars.



LIMITATIONS OF ROOFING INSPECTION

As detailed in the pre-inspection contract, this is a visual inspection only. The visual inspection of the roofing system was limited (but not restricted to):

- The entire underside of the roof sheathing is not inspected for evidence of wear, hail, etc.
- Evidence of prior leakage may be disguised by interior finishes.
- The roof is covered with asphalt shingles. An asphalt shingle has an expected life expectancy of 12-30 years in this area depending on shingle quality and efficiency of ventilation. Roofs with dormers, valleys, chimneys, skylights, etc., should be checked at least every two years and annually as they approach the end of their life, by a licensed roofer. Due to constantly changing environmental conditions and other factors, there is no guarantee a roof will not leak at any time.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.



ATTIC COMPONENTS

ROOF FRAMING:

RAFTERS: 2x4

RIDGE BEAM: None

ROOF SHEATHING: Wood plank

ATTIC FLOORING: None.

FLOOR FRAMING: Not visible.

INSULATION:

FLOOR INSULATION TYPE: Blown insulation was used in the attic area. Areas behind knee walls and dormers may not be visible at the time of inspection.

CERTIFICATE POSTED: None

VENTILATION:

ATTIC VENTILATION TYPE: Passive Ventilation, gable

ATTIC ACCESS:

LOCATION: Rear room Ceiling.

TYPE: Ceiling hatch. The attic was inspected by standing on a ladder in the attic opening.



LIMITATIONS OF ATTIC INSPECTION

As detailed in the pre-inspection contract, this is a visual inspection only. The visual inspection of the attic space was limited (but not restricted to):

- Rolled or blown insulation between the ceiling joists. The areas below the insulation are not visible for inspection.
- Areas are not accessible due to low clearance between ceiling joists and roof.

The inspection of the insulation, vapor barriers and ventilation system is limited only to unfinished, accessible areas that are visible. No invasive inspection methods are used. The presence of a required vapor barrier or the type and density of insulation installed behind finished surfaces can not be verified.



CRAWLSPACE, BASEMENT, FOUNDATION and STRUCTURE CONTINUED:

The crawlspace was not accessible for inspection. The opening at the rear wall is too small to enter. The only areas of the crawlspace visible were from the areas of missing floor coverings in the interior. Most of the crawlspace was not accessible/visible. It is recommended that the crawlspace be made accessible. Further investigation is recommended by a licensed contractor with corrections made as needed.



ELECTRICAL SYSTEM

SERVICE ENTRANCE:

LOCATION: Above ground, rear wall of home.
SERVICE ENTRY CONDUCTOR: Aluminum
METER LOCATION: Rear wall of home.
SERVICE GROUND/BONDING CONDUCTOR: Ground rod.

MAIN DISCONNECT:

MAIN DISCONNECT SIZE/RATING: 200 Amps
MAIN DISCONNECT TYPE: Breaker
MAIN DISCONNECT LOCATION: In the service panel.

SERVICE PANEL:

SERVICE PANEL LOCATION: In the rear room.
PANEL TYPE: Breaker
SIZE OF SERVICE- PANEL: 200 @ 120/240 volts. Replacement recommended.
DISTRIBUTION WIRING: Replacement recommended.
BRANCH/AUXILLARY PANELS: None.
RECEPTACLES: None present.
GROUND FAULT CIRCUIT INTERRUPTERS: GFCI protected outlets are recommended in the exterior, garage, kitchen and bathrooms. GFCI outlets should be tested monthly for proper function and safety.



Smoke detectors are recommended throughout the home. Smoke detectors should be tested monthly for proper function and safety.

Carbon Monoxide detectors are recommended in any home where gas appliances are present. It is recommended that all electrical panels be labeled properly.

LIMITATIONS OF ELECTRICAL INSPECTION

As detailed in the pre-inspection contract, this is a visual inspection only. The inspection does not include low voltage systems, telephone wiring, intercoms, alarm systems, TV cable, timers, smoke or carbon monoxide detectors.

Please refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.



PLUMBING SYSTEM

WATER SUPPLY AND DRAIN PIPING:

No plumbing fixtures or appliances were installed. The visible areas of the plumbing drains and supply piping do not appear to be serviceable. Replacement is recommended by a licensed plumbing contractor.

LIMITATIONS OF PLUMBING INSPECTION

As prescribed in the pre-inspection contract, this is a visual inspection only. The inspection of the plumbing system was limited by (but not restricted to) the following conditions:

- Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, and beneath the yard were not inspected.
- Water quality is not tested. The effect of the lead content in solder and or supply lines is beyond the scope of the inspection.
- There are a wide variety of residential water heaters that range in capacity from fifteen to one hundred
- City sewer service, septic tanks, fuel tanks and underground pipes as well as pipes inside walls are not part of the inspection. Water quality testing, irrigation and fire suppression systems are not part of the home inspection. Any valve which is not operated on a daily basis will tend to dry out and cause brittleness of the washers and packing. Additionally, so can an accumulation of corrosion and sediment. Operating these valves will often result in excessive dripping and /or the valve not shutting off completely. Drain pipes are inspected by flushing every drain that has an operating fixture, looking for blockages or slow drains. However this is not a definitive test and only a video inspection of the main line would confirm its actual condition. Blockages will occur; generally older systems are prone to be more problematic. It is recommended that you ask the sellers if they have ever experienced any drainage problems or have the main waste line video inspected by a qualified professional before the close of escrow.

Please refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.



HEATING/COOLING SYSTEM

No heating or cooling components were present at the time of inspection. It is recommended to have the house inspected by a licensed HVAC contractor with corrections made as needed.



WINDOWS/DOORS/INTERIORS

WINDOWS AND DOORS:

WINDOW FRAME TYPE: Wood. Replacement recommended.

WINDOW PANES: Single Glazed

INTERIOR DOORS: N/A

GARAGE DOOR(s): N/A

INTERIOR ROOMS:

WALL FINISHES: N/A

CEILING FINISHES: Drywall

FLOOR COVERINGS: Linoleum in right/rear room. No other floor coverings noted.

KITCHEN APPLIANCES:

N/A

LAUNDRY APPLIANCES:

N/A



LIMITATIONS OF INTERIOR INSPECTION:

As detailed in the pre-inspection agreement contract, this is a visual inspection only. Assessing the quality and condition of the interior finishes is subjective. Issues such as cleanliness, cosmetic flaws, quality of materials, architectural appeal and color are not in the scope of this visual inspection. Comments will be general, except where functional concerns exist. No comment is offered on the extent of cosmetic repairs that may be needed after removing existing wall hangings, floor coverings and furniture.

Please refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.



MATTHEW HAGERTY, PE # 121076
837 RUSSELO DR.
NASHVILLE, TN 37209
615-358-8535

Match 14th, 2018

C/O: Crystal Love, Owner

Structural Observance for 628 Shelby Ave., Nashville, TN 37206



On Tuesday, March 13th, 2018, Matthew Hagerty, PE, performed a structural observance at the above-mentioned structure.

Disclaimer: The professional opinions offered are based on visual observations of apparent conditions existing at the time of the observance. Latent and concealed defects and deficiencies are excluded. Destructive testing, subsurface investigation, structural calculations and lateral analysis as well as preparation of design drawings detailing any recommended repairs or improvements are beyond the scope of the services provided. An independent Geotechnical Engineer and/or geologist should be retained if a complete geotechnical investigation is desired. Owner/Agent/Buyer is granted a single use of this report for one transaction. Owner/Agent/Buyer agrees that this report is not intended for use in any legal action without written consent from Matthew Hagerty.

Findings:

Foundation: The original foundation is comprised of a stone perimeter footing with interior stone piers on a flat building pad, on a flat site, originally constructed in 1920. The original and subsequent additions construction, soils report and building permit were not available for review to verify the structure was done in conformance with construction documents. However, the quality of visible construction and building materials appears to be in conformance to building code/standards at the time of original construction. The structure is in a continued service providing condition with the following recommendations. Due to the lack of clearance in certain areas, not all of the crawl space was accessible during the inspection.

The stone foundation is in marginal condition and contains the following structural and related issues:

- a. There were sections at the rear of the house that did not appear to have a foundation (See Photo #1). Gaps in the foundation do not provide adequate support for the structure.
- b. There was minimal crawl space clearance that prevented access to some areas of the crawl space (See Photo #2). This condition can cause dry rot, and termite intrusion to the floor framing.
- c. The front porch piers have settled and rotated (See Photo #3). This has caused issues to the framing above.
- d. The floor elevation was measured throughout with a liquid high-precision altimeter "zip level" to compare the floor elevation for flatness. This is important to check because in some situations floors can settle, due to varying causes, usually stemming from soil settlement in parts or entirely throughout foundations. These floor measurements showed the floor diaphragm to be drastically outside the normal, acceptable tolerances of 1" of vertical displacement to every 20' lateral feet of distance. From the front to the rear of the structure, the foundation has settled approx. 3-1/2". This is most likely due to the issues noted above with the floor frame structure, support framing and site/crawl space drainage. This has even caused the front wall of the house to rotate (See Photo #4).
- e. No foundation bolting, lateral resistance elements, straps or other related lateral hardware found throughout the structure. This condition does not provide lateral stability to the structure.
- f. There were multiple settlement cracks through the foundation (See Photo #5). This settlement had caused structural damage to the foundation.
- g. There were multiple gaps between the stones in the foundation (See Photo #6). These gaps create weak spots in the foundation, which can cause settlement of the structure and allow pests to enter the crawl space.
- h. Sections of the crawl space were excavated next to the foundation (See Photo #7). This excavation undermines the foundation and can cause settlement and structural damage to the structure.

Recommended Action: Due to the extent of damage to the existing foundation, missing sections and gaps in the foundation, lack of lateral restraint for the foundation, lack of crawl space clearance, rotating of the porch piers and undermining of the foundation, I recommend to replace the foundation of the house and porch in its entirety with a new foundation.



Photo #1: Missing Section of Foundation



Photo #2: Minimal Clearance Height of Crawl Space



Photo #3: Settlement/Rotation of Porch Piers



Photo #4: Wall out of Plumb



Photo #5: Settlement Cracking of Foundation



Photo #6: Gaps in Foundation



Photo #7: Excavated Soil and Undermining of Foundation

Floor, Wall, Ceiling and Roof Frame. The structure's framing is in overall poor/dilapidated condition, comprised of flooring supported by varied sized joists and girders connected to randomly placed posts on soil, wood or concrete piers. The spacing of the floor joists is varied, as well as the sizes. Wall framing was undersized, poorly constructed, sagging and showing signs of damage. Ceiling and roof framing was also show signs of damages. The following items were noted as defective/deficient:

- a. The rim joist alone support the exterior walls and roof (See Photo #8). This condition marginally supports the structure. A lateral event, such as a strong wind event, could cause overturning of the structure at this location.
- b. Most of the floor piers have multiple shims supporting the floor girders (See Photo #9). This condition does not properly attach the floor girder to the piers and can cause settlement of the floor.
- c. Mold on the floor framing was seen in the crawl space (See Photo #10). This can cause health issues and deterioration of the framing.
- d. Through the majority of the framing of the house, there was either fire damage, termite damage or water damage (See Photos #11-20). The fire damage was located next to the chimney. Termite damage was seen on the floor framing, wall framing and ceiling framing at almost every part of the house. Water damage was seen on the flooring and floor joists, exterior siding, eaves, rafter and soffits, exterior porch subfloor and roof, interior ceiling and ceiling joist and roof sheathing.

e. Multiple area of the house were framed with under-designed and overstressed structural members (See Photo #21-23). The front porch beam, header beams and roof rafters are all overstressed and excessively sagging.

Recommended Action: Due to the extent of mold, damage, poor design and construction, it is recommended that the entire framing system be removed and replaced. Professionally engineer and install all new framing.



Photo #8: Rim Joist Supporting Structure



Photo #9: Shimmed Post



Photo #10: Mold on Framing



Photo #11: Fire Damage on Wall Stud



Photo #12: Termite Damage on Floor Joist



Photo #13: Termite Damage on Wall Stud



Photo #14: Dry Rot on Siding



Photo #15: Water Damage on Ceiling



Photo #16: Water Damage on Ceiling Joist



Photo #17: Water Damage on Roof



Photo #18: Exterior Dry Rot



Photo #19: Exterior Dry Rot at Porch



Photo #20: Dry Rot on Porch



Photo #21: Excessive Sagging of Porch Beam



Photo #22: Sagging of Header



Photo #23: Roof Sagging

Drainage. The exterior landscaping and hardscape are flat around the property. Due to the water intrusion potential of the structure, we recommend the following items be modified:

There are no rain gutters with downspouts throughout the roof perimeter, extending down to an area that slopes away from the foundation. Rather, the roof drainage drops directly against the exterior of the foundation and flows around/through the structure. There is also no drainage measure for sloping the soil away from the foundation.

Recommended Action: Install rain gutters/downspouts around the roof perimeter, directed to the lower elevation and away from the support structure. Install an exterior drainage system to properly control the surface and subsurface drainage of the lot.

Summary:

The condition of the existing foundation is poor, and should be completely replaced with a new foundation system concurrent with current building code. Insufficient framing, termite, water damaged and under-designed wood elements are required to be replaced and brought up to current building codes. Drainage improvements should be implemented as noted above.

Sincerely,

Matthew Hagerty, PE
Tennessee Professional Engineer License #121076

Disclaimer: This inspection report has been developed and prepared to address observations, site conditions and evaluations relating to professional construction standards at the time of construction for this type of structure. Current Building Code (2015 International Building Code) has been revised from the time of original construction, and is only used as a basis of knowledge, not as a comparison. This inspection report is contingent only on what was visible at the time of inspection, and excludes any hidden, latent or other defects/situations which were undetectable to the naked eye during inspection. MGCE-Nashville assumes no liability for all unforeseen problems. This report should not be construed as a warranty of any kind, express or implied.

LIMITATIONS

The conclusions and recommendations stated in this report are based on a visual survey of the structure. Deficiencies which were not apparent at the time of this survey are not included in this report. This survey is limited to the structural areas. This report is designed to give a general status of the structure's structural system. You have not requested or authorized any destructive testing, subsurface investigation, structural calculations or seismic analysis and you have not provided Matthew Hagerty with a geotechnical report. It in no way precludes the possibility of hidden damage nor guarantees that additional damage may not occur following the survey.

INITIAL ASSESSMENT REPORT ONLY

This report is intended to be used for information purposes only. The information presented should not be used by others to make repair recommendations or as construction documents. The recommendations presented in this report are intended to give general direction for repairs. Complete repair detail will be specified as a part of the construction documents.

AREA THIS REPORT IS LIMITED TO

This report is limited to the substructure only. No investigation was made as to the structural integrity (specifically the lateral stability) of the superstructure section of the residence.

LIMITATION OF LIABILITY

In using this report Buyer/Owner/Agent agrees that the liability of Matthew Hagerty, its officers, agents, employees, affiliates, parents and subsidiaries, and each of them, to all construction contractors and subcontractors used on this observance and to the extent such liability arises from professional acts, errors and/or omissions, shall be limited in the aggregate to a sum that is no greater than the total fee of Matthew Hagerty for services rendered on this observance.

Buyer/Owner/Agent agrees that they will require of all construction contractors and subcontractors, and will include in all contracts and subcontracts, an identical limitation of liability provision in favor of Matthew Hagerty.