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MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
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**STAFF RECOMMENDATION**  
**1328 3<sup>rd</sup> Avenue North**  
**January 16, 2019**

**Application:** New Construction—Infill  
**District:** Germantown Historic Preservation Zoning Overlay  
**Council District:** 19  
**Map and Parcel Number:** 08209020700  
**Applicant:** Brian Haun, Allard Ward Architects  
**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

**Description of Project:** Application is to construct a plex house infill in the East Development Zone of the Germantown Historic Preservation Zoning Overlay.

**Recommendation Summary:** Staff recommends approval of the project with the following conditions:

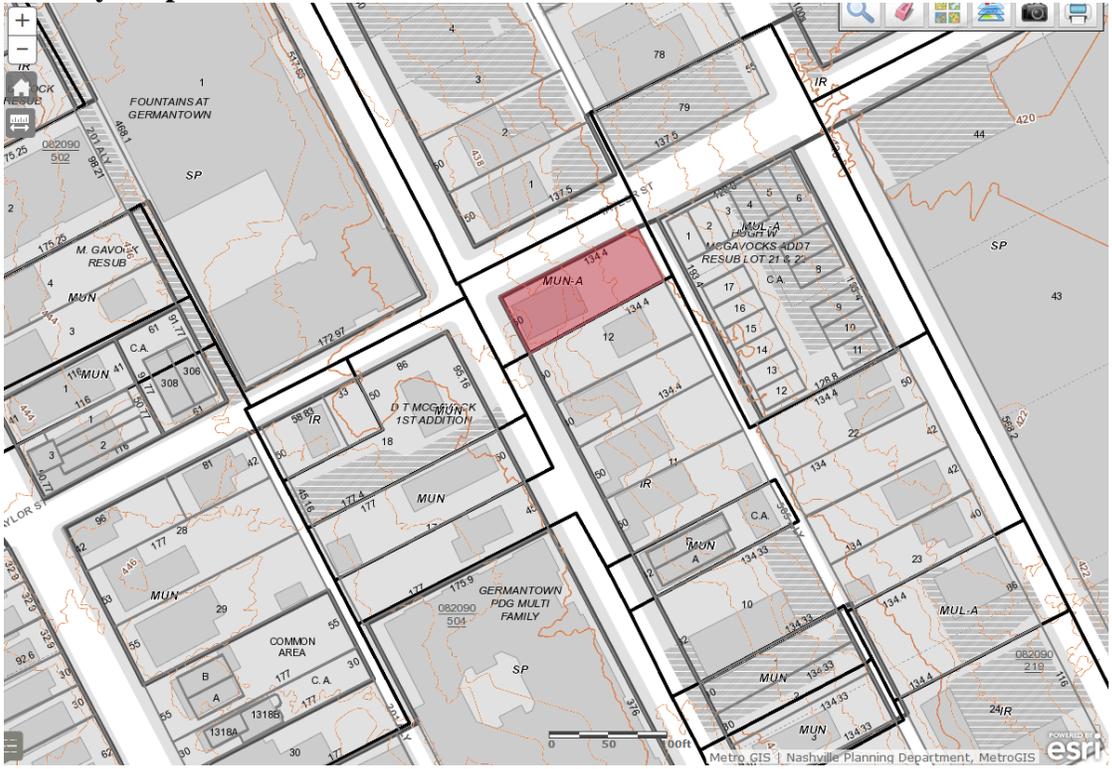
1. The finished floor height be consistent with the finished floor heights of the neighboring historic houses, to be verified by MHZC staff in the field;
2. The rooftop deck facing Taylor Street be setback five feet (5') from the Taylor Street wall;
3. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
4. Staff approve all brick and paver samples;
5. Staff approve the roof shingle color and texture;
6. Staff approve the material of the stoop steps and landings; and
7. The HVAC units and other utilities be located on the interior court, or on the roof.

With these conditions, staff finds that the proposed infill meets Section III. of the design guidelines for the Germantown Historic Preservation Zoning Overlay.

**Attachments**

- A:** Photographs
- B:** Site Plan
- C:** Elevations

**Vicinity Map:**



**Aerial Map:**



**Applicable Design Guidelines:**

**III. NEW CONSTRUCTION**

**B. BUILDING TYPES**

*The Commission only reviews the design of buildings, sites and improvements. Applicants should check with the Metro Codes Department to assure that the intended use is permitted.*

2. Plex House Building Type

A Plex-House is a single structure that contains two or more dwelling units. Each unit has its own pedestrian entry, or shares a common entry along the street frontage. Some duplexes have a corner porch on each side. Vehicular access is from the side street, or alley. Common examples of this building type include duplex, triplex, and quadplex. This building type typically has a pitched roof. Common forms in the district are side and front gables, hipped and pyramidal, hipped with gables and cross gabled forms. Mansard roof forms are atypical and general not appropriate. When used, mansard roof forms should be minimal and proportional to historic mansard roofs. Typical pitch ranges from 7/12 to 14/12.

- a. Patios, and decks are not appropriate within the front setbacks of this building type.

<b>Building Type</b>	<b># of Stories, Depending upon Zone</b>	<b>Roof Forms</b>	<b>Development Zone</b>
Plex House	1-2	Side and front gables, hipped and pyramidal, hipped with gables and cross gabled forms	National Register, East, Jefferson, North

**C. DEVELOPMENT ZONES**

4. East Development Zone. Properties that face Second Avenue North, Third Avenue North and Fourth Avenue North roughly between Monroe and Madison Streets, and the east side of Fifth Avenue North between Monroe and Madison Streets.

**D. DESIGN GUIDELINES BY DEVELOPMENT ZONE**

4. East Development Zone

- a. Appropriate Building Types: House, Plex House, House Court, Townhouse, Corner Commercial, Low-mid-Rise Mixed Use & Commercial, Civic
- b. Setbacks
  - Commercial Building Types were typically built to the front property line/sidewalk and may extend to within 5’ of the rear property line. Generally commercial building types are not appropriate on the interior of blocks.
  - Residential building types (House, Plex House, House Court, Townhouse, and Low-mid Rise Flats) are appropriate on corner and interior lots. An appropriate front setback shall be one that is approximately half-way between the setbacks of the existing buildings to either side. If the buildings on either side are unusual for the neighborhood or are not of the same development type, such as a church or school, then the average of the existing buildings of the same building type on the block face shall be used. Rear setbacks are generally deep to allow for a rear yard and outbuilding.

- Side setbacks should be similar to the context in order to maintain the rhythm of the street. Often this is accomplished by matching the widths of historic buildings on the block face that are on similar sized lots.
- Wings, porches, and secondary building elements should be at similar setbacks to existing context.
- Corner New construction should appropriately address setbacks on both streets for corner lots.
- Patios, and decks are not appropriate for the front setbacks of residential building types.
- Setbacks that do not meet the historic context may be appropriate for Civic Building types.

c. Height

- Traditionally the residential portions of Germantown had 1 and 2 story homes next to each other; therefore 1, 1.5 and 2 story homes are appropriate. New construction should not exceed 2-stories (~35' for a pitched roof and ~30' for a flat roof) from grade to ridge or top of parapet wall as measured at the front two corners. Special features of limited height, such as towers or turrets may be acceptable, as long as they are kept to a minimum.
- A height that does not meet the historic context may be appropriate for Civic Building Types, depending on the massing and siting of the building

**Summary of Development Zones:**

<b>Development Zone</b>	<b>Setback</b>	<b>Height</b>	<b>Appropriate Building Type</b>
East	Depends on Building Type	1-2 Stories	House, Plex House, House Court, Townhouse, Corner Commercial, Low-mid-rise Mixed Use & Commercial, Civic

**E. DESIGN GUIDELINES FOR NEW CONSTRUCTION IN ALL ZONES**

**1. General Policy**

- This section provides design guidelines for all new construction. Additional guidance is provided based on the Building Type proposed and the Development Zone in which the project will be located.
- Guidelines apply only to the exterior of new construction. Public facades shall be more carefully reviewed than non-public facades. Public facades are visible from the public right-of-way, street, alley or greenway. Non-public facades are not visible from the public right-of-way, street, alley, or greenway.
- Construction in the District has taken place continuously from the mid- 19th century through the present and a variety of building styles and building types have resulted. This variety reflects the style, culture, and values of the District over time. New construction that imitates historic architectural styles may compromise the value of authentic historic structures by confusing genuine history with reproduction. Exterior building design should avoid the creation of themed environments that create a false sense of being in an alternate time or place. The architectural building types of new buildings should be appropriate to the general context of the historic portions of the neighborhood but may be contemporary in design.
- Because new buildings should relate to an established pattern and rhythm of existing buildings as viewed along both the same and opposite sides of a street, a dominance of the pattern and rhythm should be respected and not be disrupted.
- New construction should be consistent and compatible with existing buildings along a street in terms of height, scale, setback, relationship of materials, texture and color; roof shape; orientation; and proportion and rhythm of openings.

## 2. Setbacks

- a. Specific setbacks will depend the “Development Zone” in which the property is located, the “Building Type” proposed, and the immediate context.
- b. It is the intent of these guidelines to avoid the arbitrary establishment of setbacks resulting in haphazard building placement and a resulting interruption or absence of visual order within the District.
- c. *Setback Determinations. The Commission has the ability to determine the bulk standard (setbacks and height) requirements (ordinance no. 17.40.410) for each lot. When the Commission finds that a setback is less than what is required by the zoning code’s bulk standard is appropriate, it is called a “Setback Determination”.*
  - *Setback determinations may be appropriate when:*
  - *The existing setbacks of the contributing primary building does not meet bulk standards;*
  - *Original setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs; or*
  - *Shape and size of lot makes meeting bulk standards unreasonable.*

## 3. Orientation

- a. The orientation of a structure's primary facade shall be consistent with those of adjacent historic buildings or existing buildings where there is little historic context. This typically means that a primary entrance faces the street and has walkways leading from the entrance to the sidewalk.
- b. Vehicular orientation is typically an access from the alley. Porte cocheres, front-yard parking and front loading driveways are atypical of the district.
- c. The intent is to encourage pedestrian oriented development, interaction with the street environment and allow for transition between the street/public domain and the interior of the building/ private domain. Entries that are visible from the street generally make a building more approachable and create a sense of association among users, customers and neighbors. Clear entries should be provided off of public streets not solely from parking lots.

## 4. Façade Articulation

- a. New structures shall employ design techniques that avoid large expanses of unbroken façade planes and/or materials, particularly on public facades.
- b. For multi-story buildings, the width of any unbroken façade shall not exceed the building height. This width to height ratio is considered a minimum – more modulation is encouraged. Some appropriate techniques for building articulation include but are not limited to:
  - Modulating the façade by stepping back or extending forward a portion of the façade. Articulating a building’s façade vertically and/or horizontally in intervals are informed by existing patterns or structures within the Germantown is encouraged;
  - Pilasters, recesses and or projections;
  - Repeating window patterns at an interval that equals the articulation interval; and/or
  - Changing the roof line by varying parapet heights, alternating dormers, stepped roofs, gables or other roof elements to reinforce the modulation or articulation interval and changing materials with a change in building plane. Changes in a materials, texture or color are appropriate techniques – however changes solely in paint color alone are generally not sufficient to meet the intent of this guideline.

## 5. Materials

- a. The relationship and use of materials, texture, details and material color of a new buildings shall be visually compatible with and similar to or shall not contrast conspicuously with those of adjacent historic buildings.
- b. The MHZC does not review paint color on wood. The MHZC reviews the inherent color of new materials, such as masonry and metal. Generally, painting masonry materials is inappropriate for existing and new construction.
- c. The color of masonry should be similar to historic colors of the same or similar materials. Traditional brick colors range from red-oranges to dark red. The use of “antique” reproduction or multi-colored brick is not permitted.
- d. Materials not listed in section e and f may be appropriate, if they possess characteristics similar in scale, design, finish, texture, durability, workability and detailing to historic materials and meet The Secretary of the Interior’s Standards.
- e. Foundation Materials:
  - Appropriate materials: brick, limestone, pre-cast stone if of a compatible color and texture to existing historic stone clad structures in the district, split-face concrete block, parge-coated concrete block
  - Inappropriate materials: dry-stack stone and “rubble stone” veneers
  - Intervening spaces of pier foundations may be filled with an open lattice work.
  - Slab-on-grade foundations may be appropriate for commercial building types but they are generally not appropriate for residential building types.
- f. Facade Materials:
  - All facades shall be at least 80% brick. Appropriate accent materials include stucco, fiber-cement or metal panels, fiber-cement, milled and painted wood, or metal horizontal siding. A greater percentage of accent materials may be used on facades that are not visible from a public right-of-way. A greater percentage of accent materials may be appropriate to create a more varied and appropriately neighborhood scaled building façade and massing with the Werthan and Rosa Parks Development zone.
  - Lap and horizontal siding should have reveals that do not exceed 5”.
  - Inappropriate materials: T-1-11- type building panels, "permastone", E.F.I.S., vinyl, aluminum, rustic and/or unpainted wood siding, stud wall lumber, embossed wood grain materials. Stone, board-and-batten and half-timbering are uncommon cladding materials in Germantown and are generally not appropriate.
  - Texture and tooling of mortar on new construction should be similar to historic examples.
  - Four inch (4”) nominal corner boards are required at the face of each exposed corner for non-masonry walls.
  - Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing. When different wall materials are used, it is most appropriate to have such changes occur at floor lines.
- g. Accent and Trim Materials:
  - Appropriate materials: wood or fiber cement
  - Shingle siding is appropriate as an accent material and should exhibit a straight-line course pattern or a fish scale pattern and exhibit a maximum exposure of seven inches (7”).
  - Wood trim and accents were typically painted and milled. Rustic timbers and unpainted wood is generally inappropriate.
  - Composite materials may be appropriate for trim if they match the visual and durability characteristics of wood.

- Stucco/parge coating may be appropriate cladding for a new chimney or a foundation.
- h. Roofs and Chimneys Materials:
- Appropriate roof materials: Asphalt shingle and standing seam metal Generally, asphalt shingle roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.
  - Rolled roofing material, such as EPDM, is appropriate for low-sloped roof planes that are not visible from the right-of-way.
  - Appropriate chimney materials: masonry or stucco.
  - Inappropriate chimney materials: clapboard/lap siding.
- i. Door & Window Materials:
- Front doors shall be painted or stained wood or painted metal and be at least half-glass.
  - Tinted, reflective, or colored glass are generally inappropriate for windows or doors.
  - For new commercial structures a significant portion of the street level façade (i.e., doors and windows) shall be transparent to provide visual interest and pedestrian access.
  - Windows on residential buildings or upper level facades of commercial/mixed-use buildings may be fixed, casement, single or double hung window sashes. Single-light (also known as 1/1) window sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.
  - Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4” to 6” mullion in between.
  - Brick molding is required around doors, windows and vents within masonry walls. The use of brick molding on non-masonry buildings is inappropriate.
  - Door openings should be recessed (2” minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
- j. Walkways, Sidewalks & Curbing Materials:
- For the purpose of these design guidelines, “sidewalks” are those that parallel the street in the public realm and “walkways” are typically on private property and lead from the sidewalk to a principal entrance.
  - Materials for new appurtenances should be in keeping with the look, feel and workability of existing historic materials.
  - New sidewalks shall be brick, with the exception of sidewalks on Rosa L. Parks Blvd and Jefferson Street, which may be brick or concrete.
  - Brick, concreted, concrete pavers, stone and stepping stones are appropriate walkway materials.
  - Planting strips are not appropriate in the interior of the district but may be appropriate on Rosa L. Parks Blvd.
- k. Front Yard Fencing and Walls:
- Front yard fences can be up to 4’ in height and shall generally have an open design.
  - Appropriate materials: wood picket, metal fencing of simple design. Stone is an appropriate material for retaining walls. New stone should match existing historic retaining walls with characteristics similar in scale, design, finish, texture, durability, and detailing.
  - Inappropriate materials: chain link or women fences are generally not appropriate for front or visible side yards. Salvaged metal fencing and dry stack masonry are not appropriate for new construction.

#### 1. Rear Yard Fencing and Walls:

A rear yard is considered to be any location beyond the mid-point on the side facades of a building and surrounding the rear yard.

- Appropriate materials: wood planks, iron, and masonry and mortar may be appropriate along rear property lines. Stone with mortar and concrete are appropriate materials for retaining walls. New stone should match existing historic retaining walls with characteristics similar in scale, design, finish, texture, durability, and detailing.
- Inappropriate materials: Dry-stack masonry
- Privacy fences in rear yards can be up to 6' in height and solid in design.

### 6. Rhythm Of Solids-To-Voids & Proportions Of Openings

- a. Large expanses of featureless wall surface are not appropriate. *In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*
- b. The relationship of width to height of doors and windows and the rhythm of solids (walls) to voids (windows and doors) should be compatible with surrounding buildings.
- c. Exterior doors often have transoms, giving them a tall, narrow proportions.
- d. Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.
- e. Double-hung windows should exhibit a height to width ratio of at least 2:1.
- f. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.
- g. On corner commercial buildings, glazing shall address both streets.

### 7. Primary Entrances

- a. Within the district, front porches, stoops and hoods, and recessed entries are common on residential and commercial buildings.
- b. Primary entrances shall be in locations similar to those used historically for primary entrances.
- c. New construction (specifically residential) shall provide an entry that utilizes elements of a porch or recessed entry to create a transition from the outside (public domain) to the inside (private domain).
- c. Entrances to commercial buildings should be recessed.

### 8. Roof

- a. The roofs of new buildings should be visually compatible by not contrasting significantly with the roof shape, pitch, and orientation of surrounding buildings. See Building Type descriptions.
- b. Roof-top equipment, skylights, and roof penetrations located on or attached to the roof shall be located so as to minimize their visibility from the street. Typically screening does not meet the requirement for “minimal visibility” as it often alters the look and perceived height of a building. Generally, rooftop equipment should be placed behind the mid-point of the building. (For solar panels, please see “utilities.”)

### 9. Rooftop Decks

- a. Rooftop decks (flooring, railing and access structure) shall not be added to historic buildings.
- b. Rooftop decks are not appropriate on new construction within the National Register Development Zones but may be appropriate in other Development Zones.
- c. Rooftop decks are not appropriate for single-story new-construction.

- d. Where Rooftop decks are appropriate:
  - They should not cantilever or project from the building.
  - The lighting of roof decks should point inward and downward and not be located more than 42” above the deck. The access structure shall not be illuminated, other than safety lighting near the entrance.
  - No rooftop deck may be raised more than two feet (2') above the plane that is midway between the lowest and the highest points of the roof surface supporting the rooftop deck.
  - A rooftop deck should sit back from the front wall of the building by at least 8’ for a flat roof and 6’ behind the ridgeline for a gabled roof or mansard roof. It should sit back a minimum of 5’ from the side street-facing wall in the case of corner buildings.
- h. Mechanicals or other elements shall not be located on top of a rooftop access structure.
- i. Roof decks shall not have outside A/V equipment (for instance televisions and speakers but not including small security cameras), flags, signage, permanently installed structures such as pergolas, other than the access structure, or permanently installed furniture and appurtenances.
- j. Access structures may only serve to enclose a single-door access, stair or elevator. Access structures should have flat or slight slope roofs and not exceed 9’ in height. The 9’ may be in addition to the maximum height allowed based on context, if the rooftop access structure is positioned in a minimally visible location.

#### **10. Utilities / Mechanical**

- a. Utility connections such as gas meters, electric meters, electric service mast and power lines, phone, cable, satellite TV and HVAC condenser units should be located so as to minimize their visibility from the street.
- b. Exterior utilities and mechanical equipment shall generally be located in the rear or side yard and screened when visible from the street.
- c. Solar panels should be located on the back of pitched roofs or on outbuildings, where possible. They should be installed to be flush with the roof pitch unless hidden behind a parapet wall, in which cases; they should not protrude above the parapet wall.
- d. Satellite dishes shall be located beyond the midpoint of the building. In the case of corner lots, a satellite dish should be located on the interior side, beyond the midpoint.
- e. Modern rooftop elements such as mechanical units, ducts, antenna, and vents should not be readily visible from the public right-of-way.
- f. Security cameras should be installed in the least obtrusive location possible. Select camera models that are as small in scale as possible.

#### **11. Sidewalks & Walkways**

*For the purpose of these design guidelines, “sidewalks” are those that parallel the street in the public realm and “walkways” are typically on private property and lead from the sidewalk to a principal entrance. (Please also see “materials.”)*

- a. Curb cuts on public streets are generally not appropriate. Removal of existing curb cuts on primary streets (where a lot can be accessed from the alley) is encouraged to bring non-conforming properties into conformance.

- b. Original sidewalks and walkways, including details such as original retaining walls, stone and concrete edgings, and brick sidewalks, etc., shall be preserved in their original state as closely as possible. Special care shall be taken to preserve existing trees and significant landscape elements.
- c. Where historic sidewalks are no longer in existence, new sidewalks should be of brick in the dominant pattern closest to the development. A typical pattern for the neighborhood is a herringbone pattern or running bond.
- d. Pathways and walkways providing access to buildings shall be serviceable and relate to the building in scale, width, placement and type of material.

## **12. Exterior Lighting**

*See "Rooftop Decks" for lighting guidance regarding rooftop decks.*

- a. Exterior lighting fixtures shall be compatible in style, size, scale and material with the character of the structure and neighborhood.
- b. Lighting shall not spill onto adjacent structures, or properties.
- c. Permanently installed lighting may be used to highlight architectural features and to illuminate walkways, parking, and signage and should be a daylight color.
  - Lighting to illuminate walkways and parking should be ground-mounted with the light directed toward the ground, rather than be pole mounted.
  - Building lighting should be directed toward the façade instead of outward. Architectural features may be illuminated through uplights. It is inappropriate to wash an entire building or façade with light.
  - Ground mounted spotlights shall be screened from public view.
  - Dark metals or a color that matches the wall the light is installed on are appropriate materials for light fixtures.
  - Inappropriate types of lighting including: flashing, chasing or moving lights, neon lighting, multi-colored lighting.
  - Rope and string lighting is only appropriate in ground-floor locations where neither the fixture nor the illumination is visible from a public right-of-way or where it is located beneath ground-floor awnings or canopies.
  - See section for "signage" for illuminating of signage.

## **13. Open Space & Surface Parking**

- a. Removal or demolition of existing historic buildings, or portions of buildings, to create open space or surface parking is not appropriate.
- b. Generally, surface parking should have its vehicular access on the alley.
- c. The most appropriate treatment for vacant lots is construction of a new building; however, when that is not possible, the area may be used as open space with features such as:
  - Visual and pedestrian access into the site from the public sidewalk;
  - Walking surface of attractive pavers;
  - Pedestrian scaled site lighting;
  - Public art;
  - Outdoor seating or dining (also see design guidelines for sidewalk cafes).
- d. Open space or surface parking shall maintain the pattern of the street wall with a 3' wall, fence, planter box or other barrier located at the appropriate front-setback.
- e. Outdoor furniture (seating, tables, umbrellas, etc.) that are not permanently installed, shall not be reviewed.

- f. Signage is generally not appropriate in open space areas, with the exception of wayfinding and historical marker signage.
- g. Audio/visual equipment, such as televisions and speakers, is not appropriate on the exterior of buildings or in open space areas.
- h. Preparation equipment, service areas and furnishings that require piping including a water supply and/or drainage or a permanent utility line; readily movable appliances operated by a portable propane gas tank, such as a barbecue grill, or a furnishing using temporary piping such as a garden hose should be screened from view and shall not be covered.
- i. Food and beverage storage shall be screened from view of the public right-of-way.
- j. Open space should generally not be covered. Exceptions may be made for small garden structures.

#### **14. Sidewalk Cafes & Commercial Plazas**

*Sidewalk cafes must meet the public right-of-way encroachment requirements as required by city ordinance and cannot cause a sight distance issue or obstruct the sidewalk/pedestrian path of travel. The process for approval of an encroachment in or over a public right-of-way begins in the Metro Public Works Permits Office.*

- a. Front plazas are only appropriate for the Low-mid Rise Mixed Use & Commercial Building Type.
- b. Use of metal or wood materials with a simple open design, movable posts and rope, or narrow planter boxes, no more than 32” tall, to fence in sidewalk café areas or plazas, are appropriate.
- c. Sidewalk café or plaza elements should not be attached to the building.
- d. Sidewalk café and plaza elements shall not be covered or enclosed (roof, walls), in any way, temporarily or permanently. Tables may be covered by non-permanent canvas umbrellas.
- e. A/V equipment, such as televisions and speakers, and signage are not appropriate in sidewalk cafes or plazas.

#### **15. Parking Structures**

- a. Removal or demolition of existing historic buildings, or portions of buildings to create a parking structure is not appropriate.
- b. Parking structures, may be appropriate components of new construction when the design of such development contributes to the overall character of the district and the streetscape, and the structure is consistent with the design guidelines for new construction.
- c. Parking structures should be wrapped with retail or residential space that is a minimum of 15’ deep.
- d. Generally parking structures should be accessed from the alley.
- e. All parking structures with parking available to the public shall have a clearly marked pedestrian entrance, separate from vehicular access, on street frontages. A publicly accessible building lobby may meet this requirement.

#### **16. Telecommunications Facilities and Equipment**

*Also see ordinance for telecommunication facilities. (Article XII, Chapter 17)*

- a. Appropriate locations for telecommunication facilities are:

- Ground mounted behind a building if it is fully screened from the public right-of-way.
  - Hidden within existing poles.
  - Placed on rooftops, as long as the equipment cannot be seen from the public right-of way. Added screening is generally not appropriate as it can add to the perceived height of the building.
  - Incorporated into an existing architectural feature. If the feature is a historic one, the interior should be accessible without altering or changing the historic feature. New features should not be added to historic buildings unless there is pictorial evidence of their existence.
  - New features may be added to non-contributing buildings if the addition is appropriate for the district.
  - Attached to side elevations of non-contributing buildings if the size and design is minimal and the location is not visible from a public right-of-way.
- b. Historic materials should not be damaged or historic features obscured when installing telecommunications facilities and equipment.
  - c. If a new pole is necessary (see ordinance for telecommunication facilities) in front of a building, it shall not entirely block the view of the width of the principal entrance and it should not exceed the 20' in height. It shall be painted black.
  - d. If the pole is to be located adjacent to a vacant lot, it should not be located in the typically expected locations of a principal entrance for new construction, such as the corner and/or the center 10' of the lot.
  - e. Generally new poles should not be made to look like something else; however, it may be appropriate to have it look like an acorn light pole if it meets the ordinance for spacing.

## **17. Appurtenances**

Appurtenances include, but are not limited to, features such as curbs, steps, pavement, gravel, fountains, pergolas, pools and ponds, street furniture, bike racks, outdoor fireplaces/pits, vending, public art and mailboxes.

- a. Appurtenances and other work planned in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.
- b. Appurtenances related to new buildings, should be visually compatible with the environment established by surrounding existing buildings and the site on which they are located. They should not contrast greatly with the style of associated buildings in terms of design, size, materials, material color and location and should not contrast greatly with comparable original features of surrounding buildings.
- c. Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate. Screened group mailboxes (cluster mailboxes) are appropriate for the House Court Building Type. For denser Building Types, such mailboxes should be located inside a building's common area.
- d. Permanently installed front-yard fixtures such as fountains, ponds, or waterfalls are atypical for the district and not appropriate for new construction. They may be appropriate as new construction in front of historic buildings if there is documentary, physical, or pictorial evidence showing a similar original feature.
- e. An appropriate location for flags is attached to the front of a building, on a porch or near a front entrance. Front yard, free-standing flag poles are atypical, except in front of Civic Building types.

- f. Swimming pools are to be located in the rear yard or appropriately screened from view and set back from the street; fencing around swimming pools required by zoning ordinance must comply with these design guidelines.
- g. Structures such as gazebos and pergolas that are appropriately sized to the scale of the principle building should generally be located in rear or side yards.
- h. Historic curbing, edging, brick sidewalks and stone retaining walls should be retained.
- i. Vending/ATMs should be located inside. In instances where outside locations are necessary, they are only appropriate for new construction and should only be located on buildings directly associated with the use of the vending. For instance, an ATM is only appropriate on a bank building. Where such is appropriate, they should not be located on primary facades and should be pedestrian oriented rather than vehicular oriented.
- j. Foundation/basement access doors shall be located on the side or rear of the building.
- k. Dumpsters and other trash containers shall be located with techniques that minimize interruption to the sidewalk network and the pedestrian environment. The most appropriate location for dumpsters and trash containers is in the rear yard or alley and screened from public view.

**Background:** The existing structure at 1328 3<sup>rd</sup> Avenue North is a c. 1940s frame structure that was formerly a church (Figures 1 & 2). It is located at the southeast corner of 3<sup>rd</sup> Avenue North and Taylor Street. When the Germantown neighborhood was re-surveyed in 2016, the structure was deemed non-contributing. MHZC staff issued an administrative demolition permit for the structure in January 2019.



Figure 1. The 3<sup>rd</sup> Avenue North façade of 1328 3<sup>rd</sup> Avenue North.



Figure 2. The Taylor Street façade of 1328 3<sup>rd</sup> Avenue North.

**Analysis and Findings:** Application is to construct plex house infill in the East Development Zone of the Germantown Historic Preservation Zoning Overlay.

**Building Type:** The applicant is proposing a four-unit plex structure, which is appropriate for this development zone and meets the base zoning. Staff finds that the infill meets Section III.B. of the design guidelines.

**Height and Scale:** The proposed infill will be two stories with a maximum height of thirty-four feet, five inches (34'5") from grade at the front. The lot slopes down towards the rear, allowing for a raised basement in sections of the development. In the immediate vicinity, there is a mixture of older one-story homes and newer, 4-story apartment complexes. Staff finds that the proposed number of stories and height meet the design guidelines.

The infill will be forty feet (40') wide at the front, and it is on a fifty-foot (50') wide lot. The 3<sup>rd</sup> Avenue façade, towards the back, has two two-story bays that extend one foot, four inches (1'4") further out. The infill will extend almost the entire depth of the lot, stopping just five feet (5') from the rear property line. The immediate context contains a combination of one-story historic structures that have widths that are largely between twenty-four and thirty-four feet (24'-34') and large, three to four story apartment complexes that cover multiple lots. Given the varying sizes of buildings in the immediate context, staff finds that the proposed height and scale of the development meets Section III.D.4.c. of the design guidelines.

**Setbacks:** The infill meets all base zoning setbacks. It is five feet (5') from the right side property line and five feet (5') from the rear property line. On the Taylor Street side property line, the infill is largely five feet (5') from the side property line, but two bays towards the rear of property extend out by one foot, four inches (1'4"), so at those locations, the setback is three feet, eight inches (3'8"). Staff finds these side and rear setbacks to be appropriate for this site.

The front façade will be five feet (5') from the property line, and staff finds this shallow front setback to be appropriate. The lot next door to this one is largely vacant, with a non-contributing outbuilding located at the back of the lot. There is no adjacent front setback for comparison to this site. In addition, the historic one-story houses on the street sit very close to the front property line, and the large new apartment building catty-corner from the site sits on the property line, as does the townhouse development to across the alley at 2<sup>nd</sup> Avenue North and Taylor Street. Staff finds that the proposed setback meets Sections III.D.4.b. and III.E.2. of the design guidelines.

Orientation: The main portion of the house is oriented towards 3<sup>rd</sup> Avenue North. The front façade contains two identical, side by side, entries behind a shallow stoop. Staff finds this to be appropriate. On Taylor Street, two additional entries lead to the other two residential units. They are also behind small stoops and appropriate for this type of plex building type.

Vehicular access to the site will be via the rear alley, which is appropriate. Parking for six cars will be provided via attached parking at the basement level. Staff finds this to be appropriate. A short walkway and stairs will lead from the existing sidewalk to the front stoops on 3<sup>rd</sup> Avenue North, and the two entries on Taylor Street will have brick walkways connecting to the sidewalk. Staff finds that the proposed orientation meets Sections III.B.2. and III.E.3. of the design guidelines.

Façade Articulation: The infill's design does not include any large expanses of unbroken wall space. The long façade along Taylor Street is broken up with different roof forms, bays, and wall planes. Staff finds that the proposed façade articulation meets Section III.E.4. of the design guidelines.

Materials:

	<b>Proposed</b>	<b>Color/Texture/Make/Manufacturer</b>	<b>Approved Previously or Typical of Neighborhood</b>	<b>Requires Additional Review</b>
<b>Foundation</b>	Brick	Unknown	Yes	Yes
<b>Cladding</b>	Brick	Unknown	Yes	Yes
<b>Secondary Cladding</b>	Cement Fiberboard Lap Siding	Smooth, 5" reveal	Yes	No
<b>Primary Roofing</b>	Architectural Dimensional Shingle Roof	Unknown	Yes	Yes
<b>Secondary Roofing</b>	EPDM (not visible from street)	Unknown	Yes	No
<b>Trim</b>	Wood or Cement Fiberboard	Smooth faced	Yes	No

<b>Front Stoop Steps/Landing</b>	Not indicated	Unknown	Unknown	Yes
<b>Side Entry Stoop Steps/Landing</b>	Not indicated	Unknown	Unknown	Yes
<b>Windows</b>	Aluminum Clad	Unknown	Yes	Yes
<b>Doors</b>	1/3 Light, material unknown	Unknown	Yes	Yes
<b>Driveway</b>	Brick pavers	Unknown	Yes	Yes
<b>Front and Side Walkways</b>	Not indicated	Unknown	Unknown	Yes

The public facades facing 3<sup>rd</sup> Avenue North and Taylor Street are at least eighty percent (80%) brick, which is appropriate and meets the design guidelines. The portion of the building that sits close to the alley is also at least eighty percent (80%) brick. The interior court facades have a higher percentage of lap siding, which staff finds to be appropriate because these facades will not be visible from the street.

Staff recommends the approval of the following materials prior to purchase and installation: a brick sample, shingle roof color and texture, all windows and doors, the front and side stoop steps and landing material, and the brick pavers for the walkways and driveways. With staff’s final approval of all material choices, staff finds that the known materials meet Section III.E.5. of the design guidelines.

Rhythm of Solids to Voids and Proportions of Openings: The windows on the infill are generally at least tall as they are wide, thereby meeting the historic proportion of window openings. The windows on the ground floor are generally taller than those on the second floor. There is no stretch of wall space without a window or door opening on either the 3<sup>rd</sup> Avenue North or the Taylor Street facades. Staff finds that the proposed fenestration pattern meets Section III.E.6. of the design guidelines.

Primary Entrances. The front doors facing 3<sup>rd</sup> Avenue North have the appearance of a duplex structure; they are located behind a shallow stair and stoop, which is appropriate for the district. The side entries along Taylor Street read more like townhouse entries, which is appropriate for this plex building type. Staff finds that the entrance designs meet Section III.E.7. of the design guidelines.

Roof Form: The primary roof form is a side gable with a 7/12 pitch. Further back, the roof switches to 5/12 hip and gable forms. Staff finds that the proposed roof forms are common in the historic district and meet Sections III.B.2. and III.E.8. of the design guidelines.

Rooftop Decks: The residential units have rooftop decks, which can be appropriate in this development zone. Three of the four rooftop decks are located on the interior court of the structure, and will not be visible from the street. There is a rooftop deck facing Taylor Street that extends up to the edge of the building. The design guidelines state that rooftop decks “should sit back a minimum of 5’ from the side street-facing wall in the case of corner buildings.” Staff therefore recommends that this rooftop deck be setback five feet (5’) from the edge of the 3<sup>rd</sup> Avenue North wall. With this condition, staff finds that the proposed roof decks meet Section III.E.9. of the design guidelines.

Utilities/Mechanicals: The location of the HVAC units was not indicated on the plans. Staff recommends that they be located on the interior of the development, or on the roof, not visible from the street.

Sidewalks and Walkways: Walkways are shown to each of the four entries, which meets Section III.E.11. of the design guidelines. The applicant is not indicating any changes to the dimensions of the existing sidewalks on 3<sup>rd</sup> Avenue North or Taylor Street, but does show that the concrete sidewalk on Taylor Street will be brick pavers.

Exterior Lighting: No exterior lighting was shown on the plans. Staff recommends approval of all lighting fixtures prior to purchase and installation to ensure compliance with Section III.E.12. of the design guidelines.

Appurtenances: Staff recommends approval of all appurtenances, including, but not limited to, lighting, walkways, gutters, gates, etc., in order to ensure compliance with Section III.E.17. of the design guidelines.

**Recommendation Summary:** Staff recommends approval of the project with the following conditions:

1. The finished floor height be consistent with the finished floor heights of the neighboring historic houses, to be verified by MHZC staff in the field;
2. The rooftop deck facing Taylor Street be setback five feet (5’) from the Taylor Street wall;
3. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
4. Staff approve all brick and paver samples;
5. Staff approve the roof shingle color and texture;
6. Staff approve the material of the stoop steps and landings; and
7. The HVAC units and other utilities be located on the interior court, or on the roof.

With these conditions, staff finds that the proposed infill meets Section III. of the design guidelines for the Germantown Historic Preservation Zoning Overlay.

**Context Photos:**



1328 3<sup>rd</sup> Avenue North and the historic house at 1400 3<sup>rd</sup> Avenue North, across Taylor Street



Taylor Street façade of the new construction at the southwest corner of 2<sup>nd</sup> Avenue North and Taylor Street, across the rear alley from 1328 3<sup>rd</sup> Avenue North.



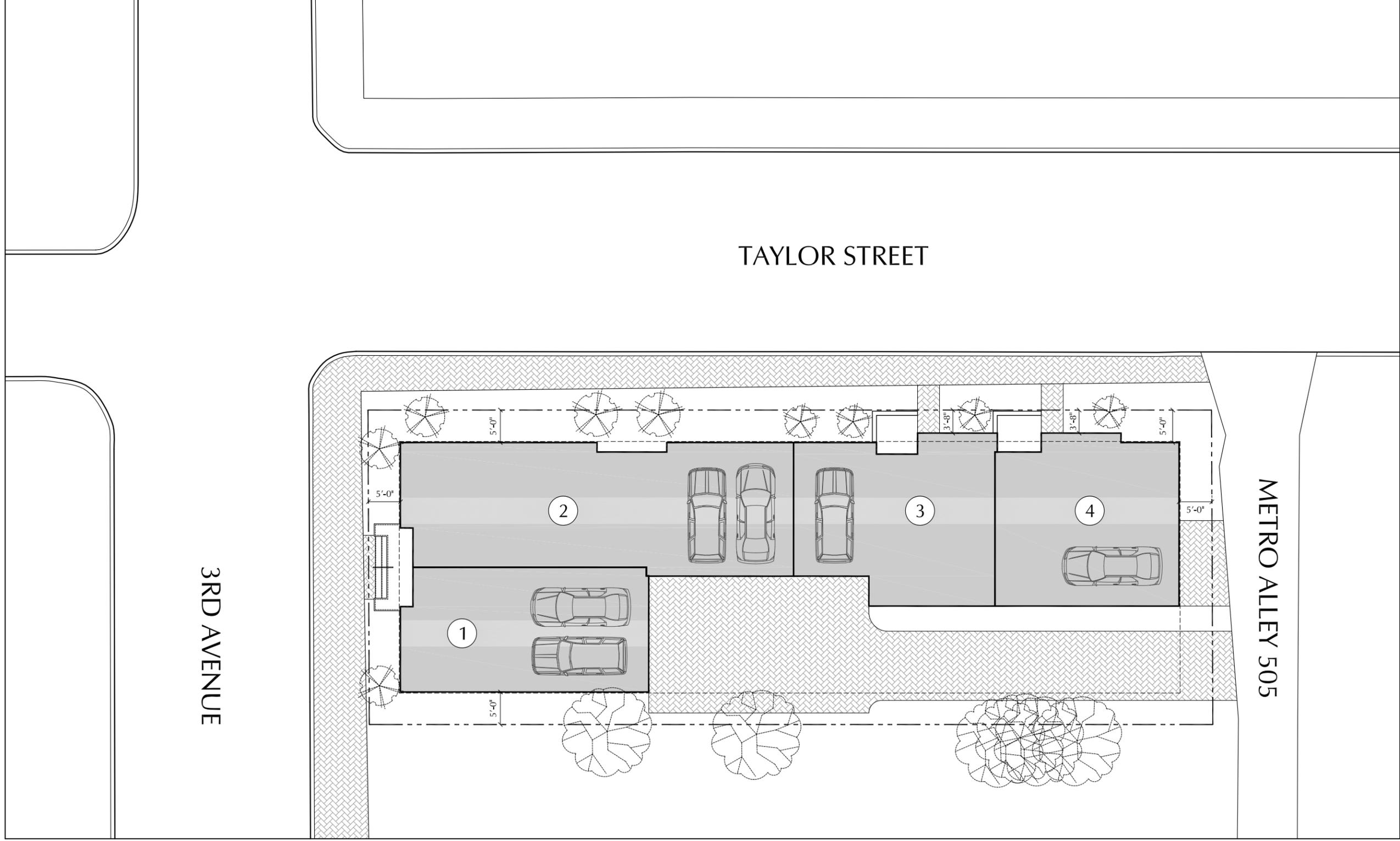
Houses to the right of the site, along the east side of 3<sup>rd</sup> Avenue North



New multi-family development at the northwest corner of 3<sup>rd</sup> Avenue North and Taylor Street, catty-corner from the site.



Historic houses and new multi-family infill occupy the west side of 3<sup>rd</sup> Avenue, across the street from the site.



3RD AVENUE

TAYLOR STREET

METRO ALLEY 505



1

Site Layout



Scale: 1/16"=1'-0"

**ALLARD WARD**  
**A R C H I T E C T S**  
 1618 Sixteenth Avenue South  
 Nashville, Tennessee 37212  
 allardward.com  
 Tel: 615.345.1010  
 Fax: 615.345.1011

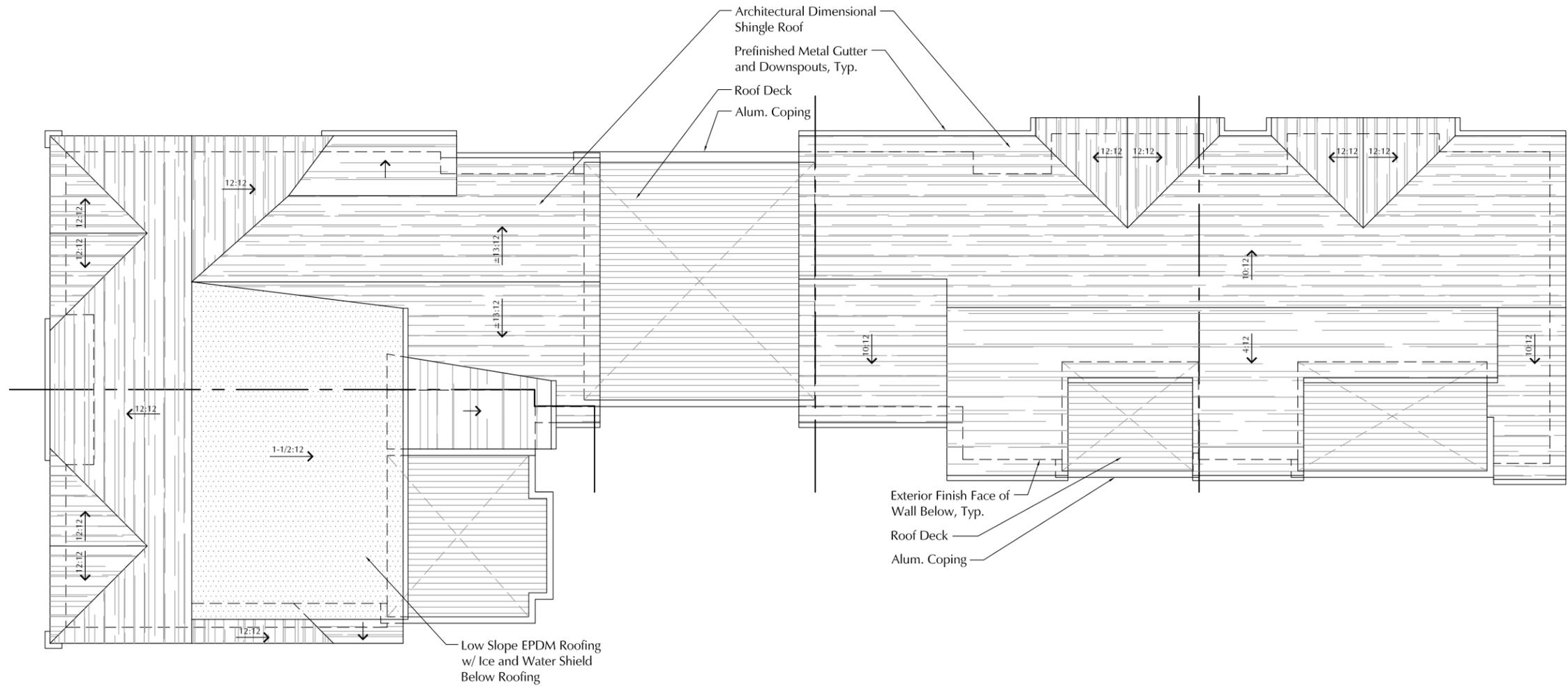
Drawings:  
 Site Layout  
 Date:  
 12.31.18

**AS1.0**

A New Development for:  
**3rd Ave and Taylor St.**

1328 3rd Avenue North  
 Nashville, TN 37208

MHZC PRESERVATION PERMIT APPLICATION



1

# Roof Plan



Scale: 3/32"=1'-0"

Drawings:  
Roof Plan  
Date:  
12.31.18

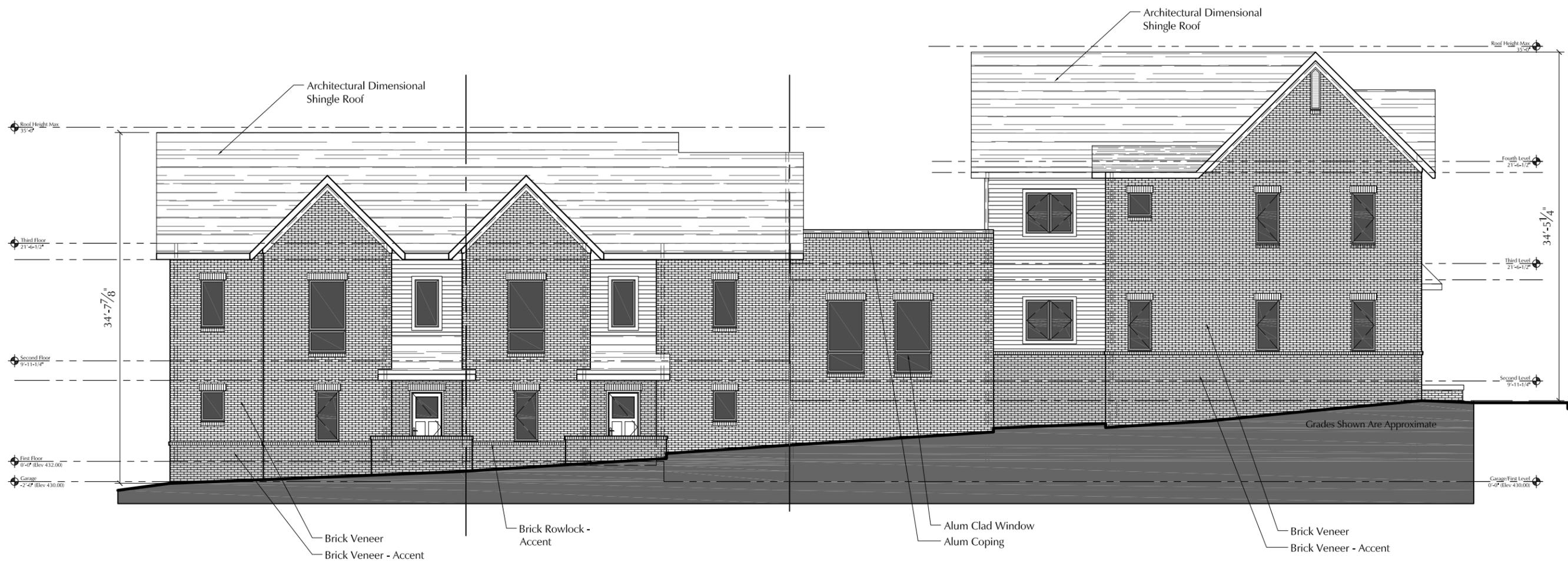
**ALLARD WARD**  
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Nashville, Tennessee 37212  
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Fax: 615.345.1011

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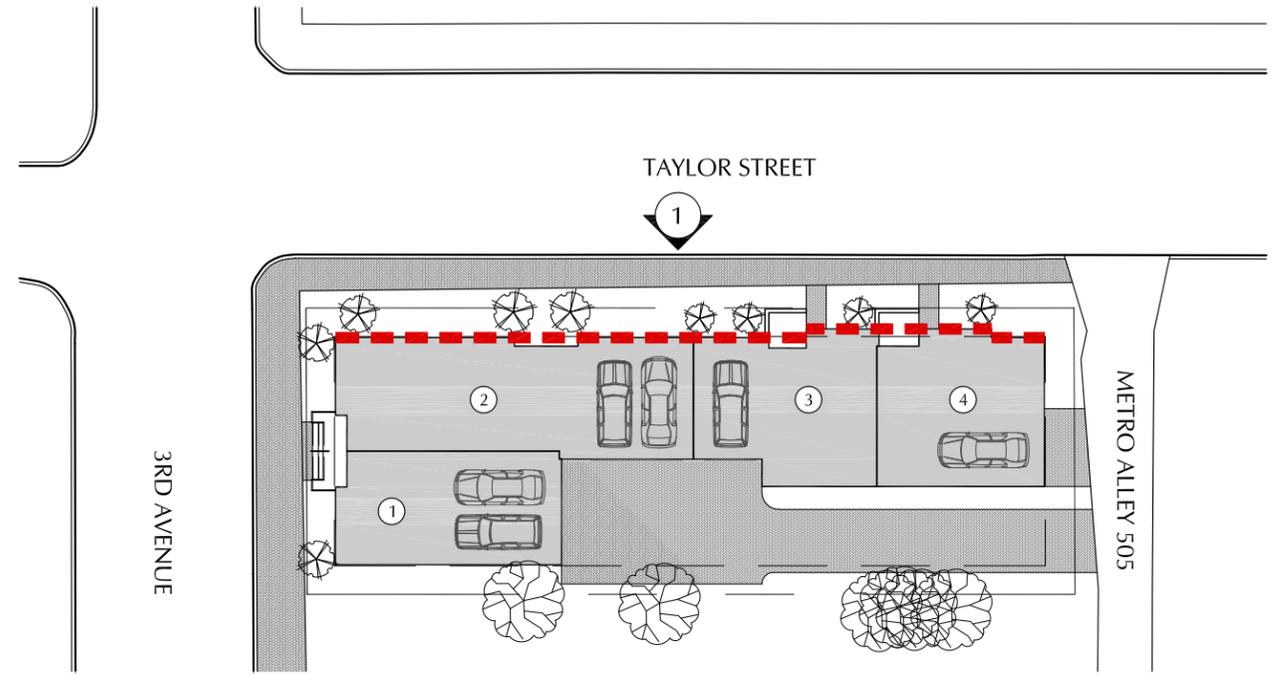
1328 3rd Avenue North  
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**A1.0**



1 North Elevation  
 Scale: 3/32" = 1'-0"



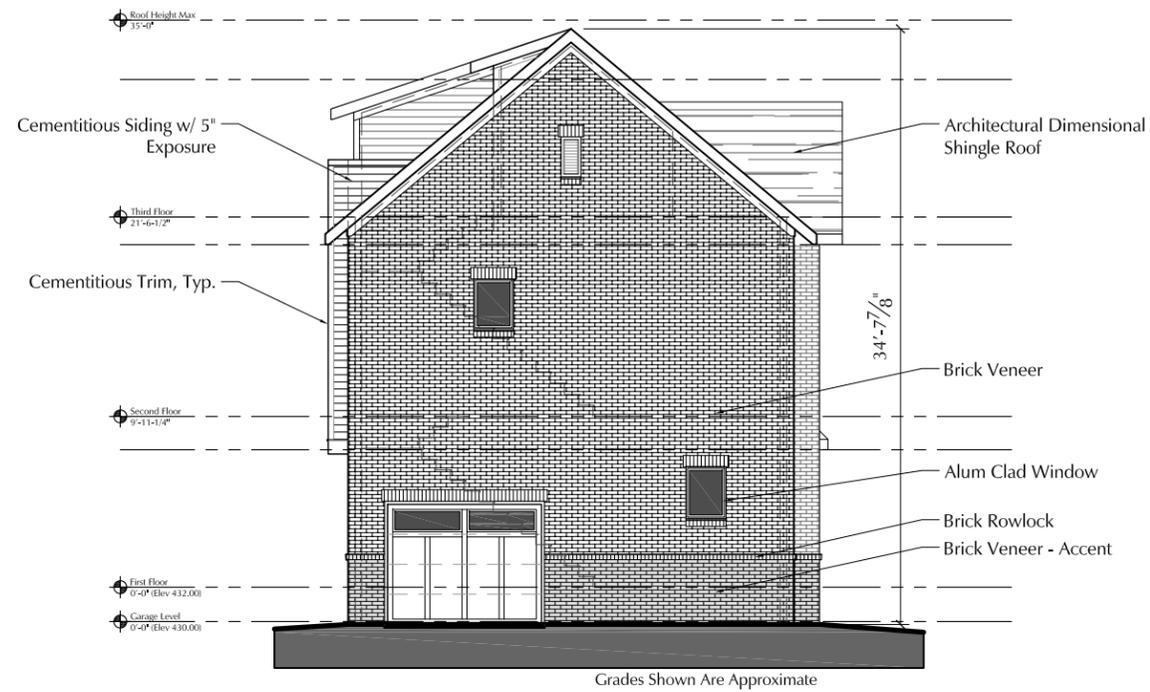
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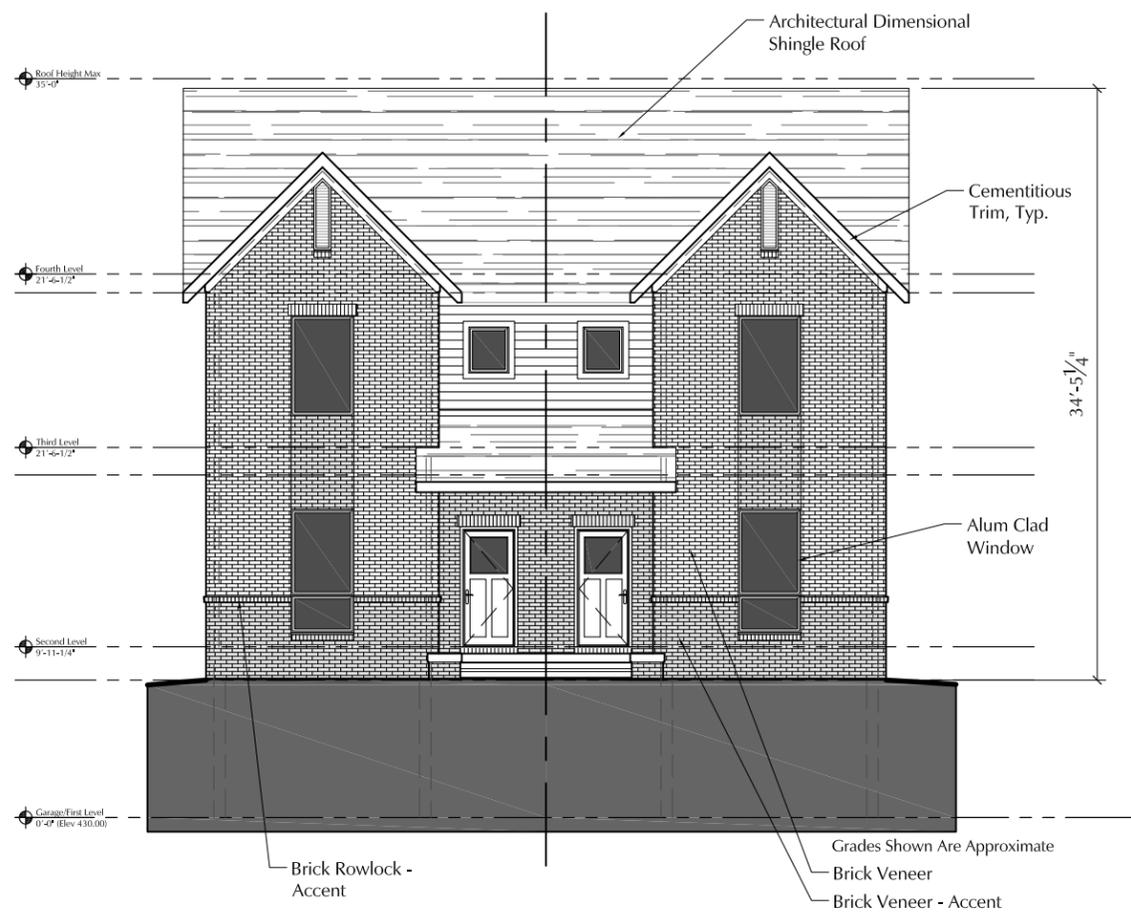
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Drawings:  
 Exterior Elevations  
 Date:  
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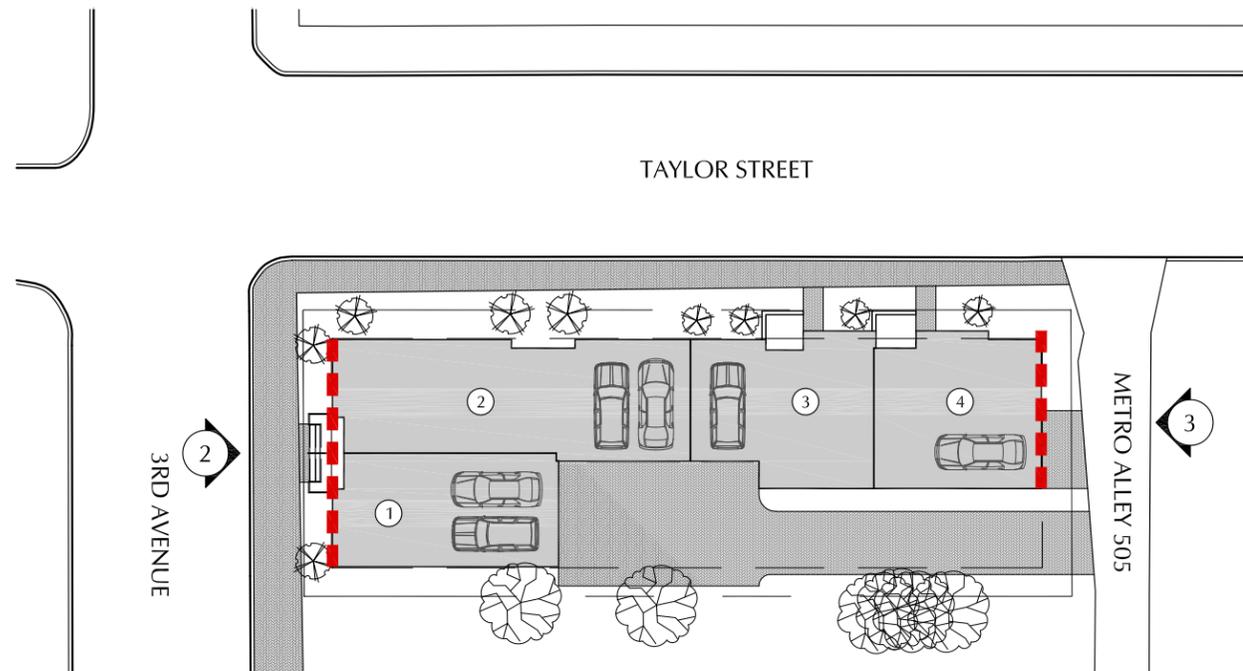
**A2.0**



3 East Elevation  
 Scale: 3/32"=1'-0"



2 West Elevation  
 Scale: 3/32"=1'-0"

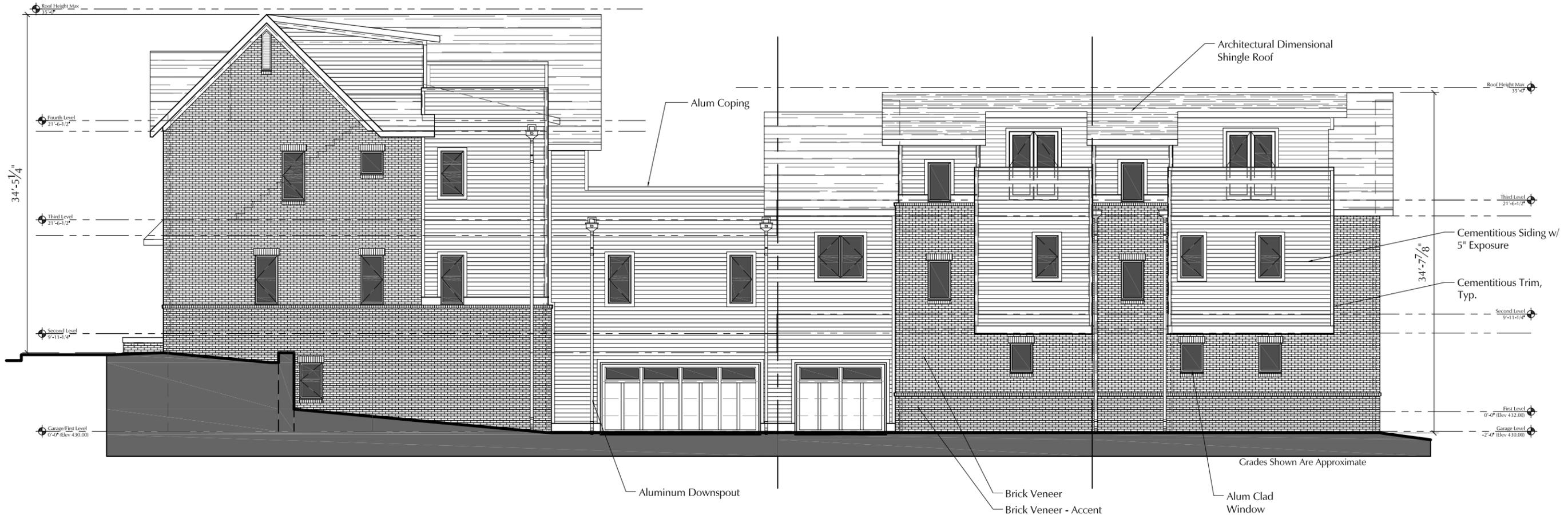


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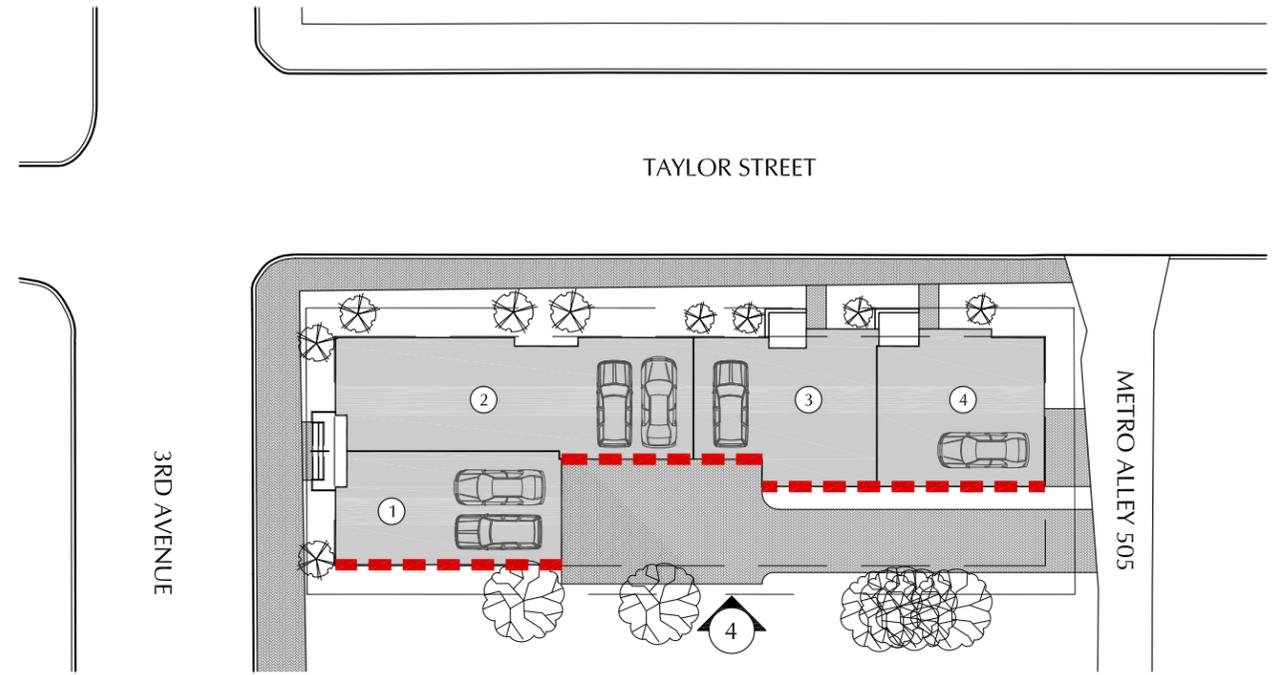
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Drawings:  
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**A2.1**



4 South Elevation  
 Scale: 3/32" = 1'-0"



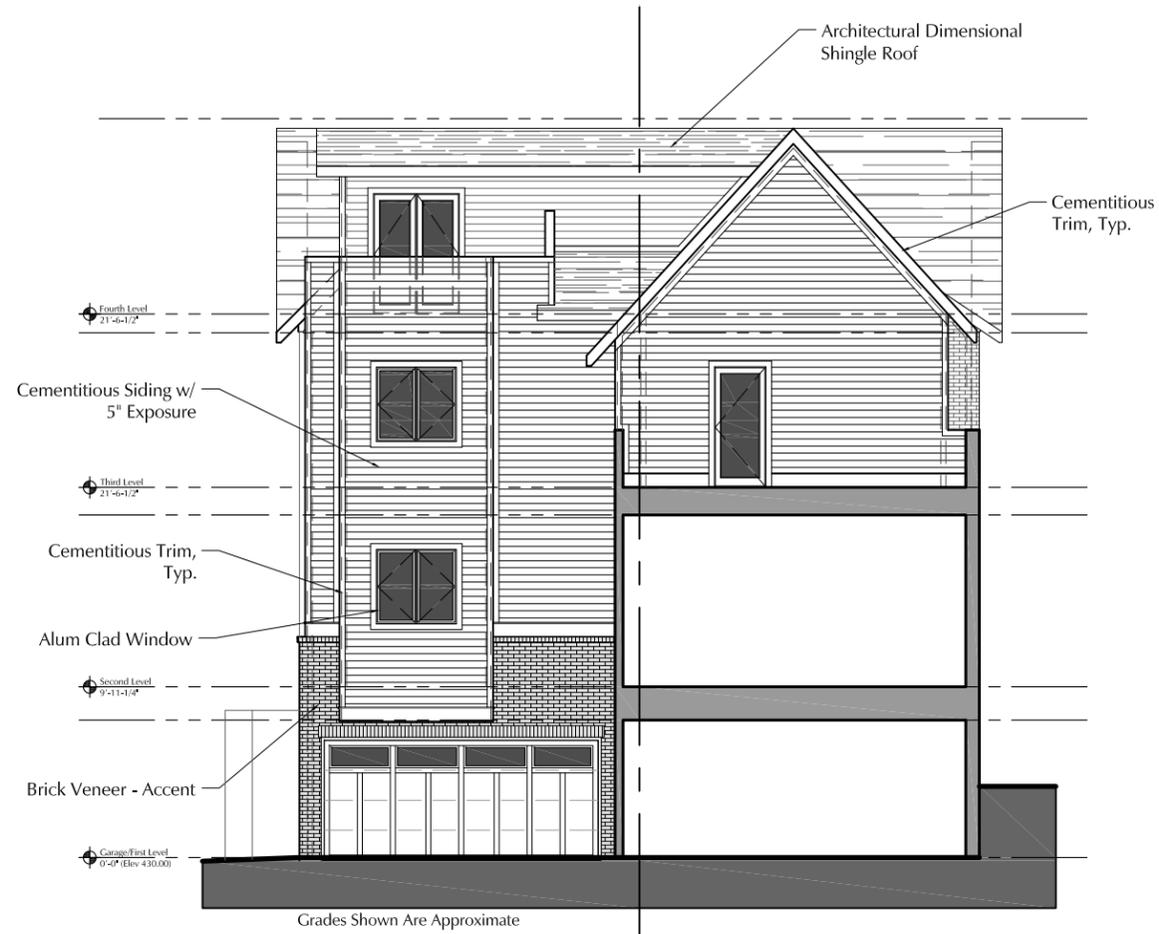
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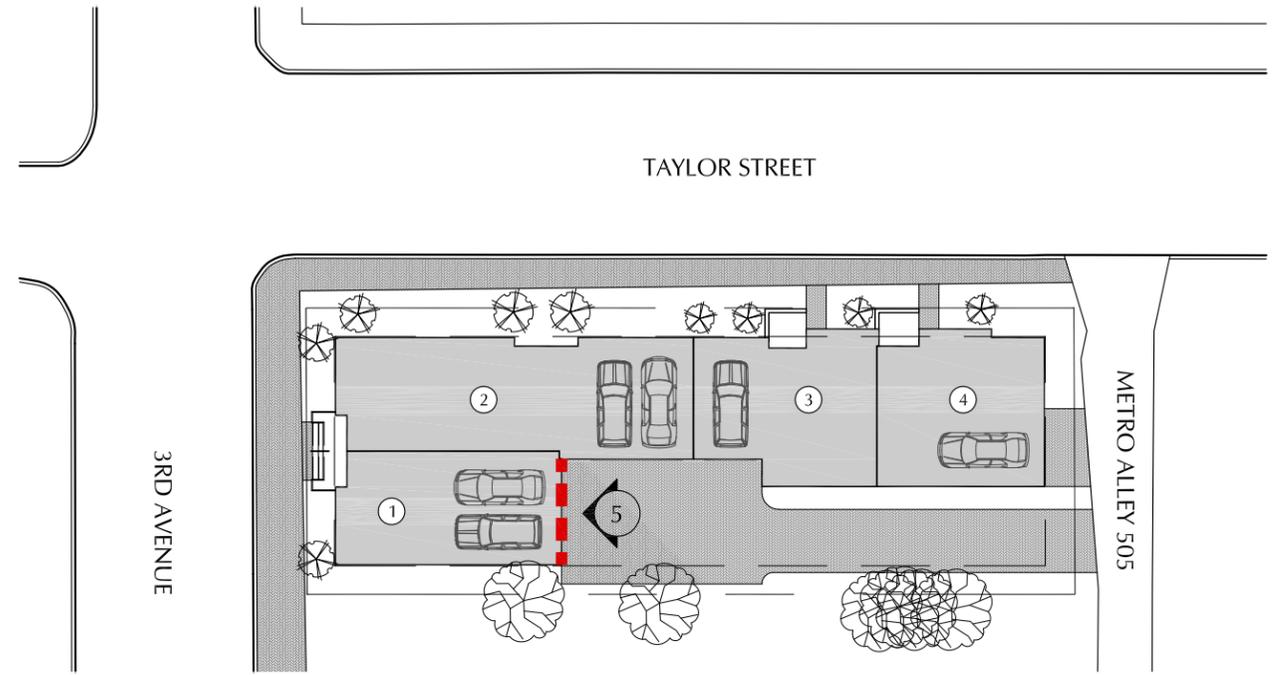
Drawings:  
 Exterior Elevations  
 Date:  
 12.31.18

**A2.2**

MHZC PRESERVATION PERMIT APPLICATION



5 East Court Elevation  
 Scale: 3/32"=1'-0"



MHZC PRESERVATION PERMIT APPLICATION

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Date:	12.31.18

**A2.3**