

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
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STAFF RECOMMENDATION
128 Second Avenue North
February 20, 2019

Application: Rehabilitation: Window Replacement
District: Second Avenue Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 09306207900
Applicant: Mark Bixler, Manuel Zeitlin Architects, LLC
Project Lead: Robin Zeigler, robin.ziegler@nashville.gov

<p>Description of Project: The applicant proposes to replace the non-historic windows on the top floor of the First Avenue side of 128 2nd Avenue North with roll-up doors, pushed back from the existing wall plane.</p> <p>Recommendation Summary: Staff recommends disapproval finding that the proposal does not meet sections H.3-5 and 9 of the Second Avenue design guidelines for replacement windows, sections I.1 and 2 for wall alterations and section J for replacement materials.</p>	<p>Attachments A: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. Rehabilitation

H. Windows

1. Historic window openings, windows, and window surrounds should be retained.
2. Deteriorated or damaged window openings, windows, and window surrounds should be repaired using historically appropriate materials.
3. If replacement windows or window surrounds are necessary, replacements should replicate originals. If original windows do not exist, replacements should be appropriate for the building's style and period.
4. If the original windows are missing, replacement windows should use wood, anodized aluminum or baked-on-enamel aluminum frames and should have single-light or multiple-light clear-glass panes to match the style and period of the building.
5. Steel windows should be replaced with steel or aluminum designs that replicate the appearance of the original window.
6. Window openings, surrounds, or other elements not original to a building should generally not be introduced to the public facades of the building. The installation of such window openings on the rear of the building may be appropriate.
7. Should storm windows be desired, their dimensions should match window dimensions in order to conceal their presence. Frames should be set within the window opening and attach to the exterior sash stop; if aluminum, they should have an anodized or baked-on enamel finish.
8. Self installed snap, clip or glue type muntins on windows are not permitted. Muntins set within the vacuum between glass panes on windows are not approved.
9. Window grilles and balcony rails are not appropriate window treatments. Shutters are only appropriate when they replace original wood shutters and should be operable.

I. Walls

1. Original walls, including plane, openings, recesses, detailing, and ornamentation, should be retained.
2. Balconies should not be added to public facades.

J. Brick, Stone, and Other Masonry

1. Historic masonry (brick, stone, and terra cotta) should be retained.
2. The use of detergent cleaners and chemical stain and paint removers to clean masonry or remove paint is appropriate under most conditions. Abrasive or high-pressure cleaning methods are destructive and should not be used.
3. Silicone-based water sealants are not recommended for use on historic masonry.
4. Historic masonry should remain visible and not be concealed or obscured.
5. Deteriorated or damaged brick and stone should be repaired with materials that match the original.
6. Repointing with a hard (Portland cement) mortar is destructive to historic brick and masonry. Flexible mortar, made from mixing hydrated lime cement and natural sand, should be used when repointing is necessary.
7. Mortar used in repointing should match the historic mortar in width, depth, color, raking profile, composition, and texture.
8. Bricks should be the same color and size as those of the historic wall and should be laid, jointed, tooled, and mortared in the same way as the historic wall.
9. The guidelines for paint should be followed for work to brick, stone, and other masonry.

V. Demolition

1. Demolition is not appropriate if a building or a major portion of a building contributes to the architectural or historical significance or character of the district.
2. Demolition is appropriate if a building or a major portion of a building does not contribute to the historical or architectural character and importance of the district.

3. Demolition is appropriate if a building or a major portion of a building has irretrievably lost its architectural and historical integrity and importance, and its removal will result in a more historically appropriate visual effect on the district.
4. Demolition is appropriate if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.120.190, as amended, of the historic zoning ordinance.

Background: The Hooper Building located at 128 Second Avenue north was constructed in 1924. This building is three stories tall facing Second Avenue and four stories on First Avenue due to a change in grade

Analysis and Findings:

Demolition:

The proposal includes removal of the storefront windows on the top floor of the First Avenue side of the building. The dimensions of the openings are not proposed to change. For properties on the east side of Second Avenue North, the First Avenue side is not considered a rear elevation as it faces a public right-of-way rather than an alley. Because the existing windows are not historic windows and the openings will remain at the same dimensions, removal of the existing windows meets the design guidelines for partial-demolition, section V.

Window Replacement:

The project meets section H.1-3 as the existing windows are not historic and the current openings and masonry will remain as-is. Replacement is appropriate.

The project does not meet section H.3-6 for the design and configuration of the proposed replacement windows. The proposed windows do not replicate original windows or a style that is appropriate to the historic building’s style and period. A photograph, from the early 1900s (see Figure 2) shows that the building had industrial steel windows.

The project does not meet section 5, which states that steel windows should be replaced with steel or aluminum window designs that replicate the appearance of the original windows. Typically, these industrial windows were fixed windows with a central light or collection of about four lights creating a larger square that was operable as a hopper or awning type of window. A roll-up window or door would mean that the entirety of the opening would be open rather than just a



Figure 1: The Hooper Building, 128 Second Avenue North



Figure 2: First Avenue side of 128 2nd Avenue North in the early 1900s.

central portion and no part of the window would remain visible. With historic windows, because the design was a hopper or awning type, the open portion of the window remained fully visible when open. (See Figure 3.) In addition, the proposal locates the windows three feet (3') back from the exterior wall with a partial covering of a railing, both design features that do not mimic historic conditions.



Figure 3: This business nearby at 110 2nd Ave North has an industrial window. The darker outlines of 6 panes shows the sections that are operable.

The project does not meet section H.9 which states that window grilles and balcony rails are not appropriate window treatments. A balcony type of railing is proposed for this project.

Pushing back the windows three feet (3') from the exterior of the historic wall does not meet section I for walls as it does not retain the original plane and creates a recess where one did not exist historically. Section I.1. requires that original walls, including plane and openings should be retained. Pushing back the windows and adding the railings creates a balcony which does not meet section I.2. of the design guidelines which states that balconies should not be added to public facades.



Figures 4 and 5: The 2nd level of the building on the First Avenue Side had roll up doors prior to the establishment of the overlay. These images show the visual gap created when the windows are open.

Materials include a painted steel rail, dark bronze aluminum windows with clear glass and fiber-cement siding between each pair of proposed doors. Aluminum is listed as an appropriate material for replacement steel windows; however, fiber-cement siding is not an appropriate wall replacement material. Historically, it appears that the steel windows of the top floor were continuous and did not have areas of wall between them. (The entirety of the wall cannot be seen in the historic photo.) Staff finds that introducing this section of wall is inappropriate as it will effectively change the dimension of the windows within the historic masonry openings. The project does not meet section J for materials.

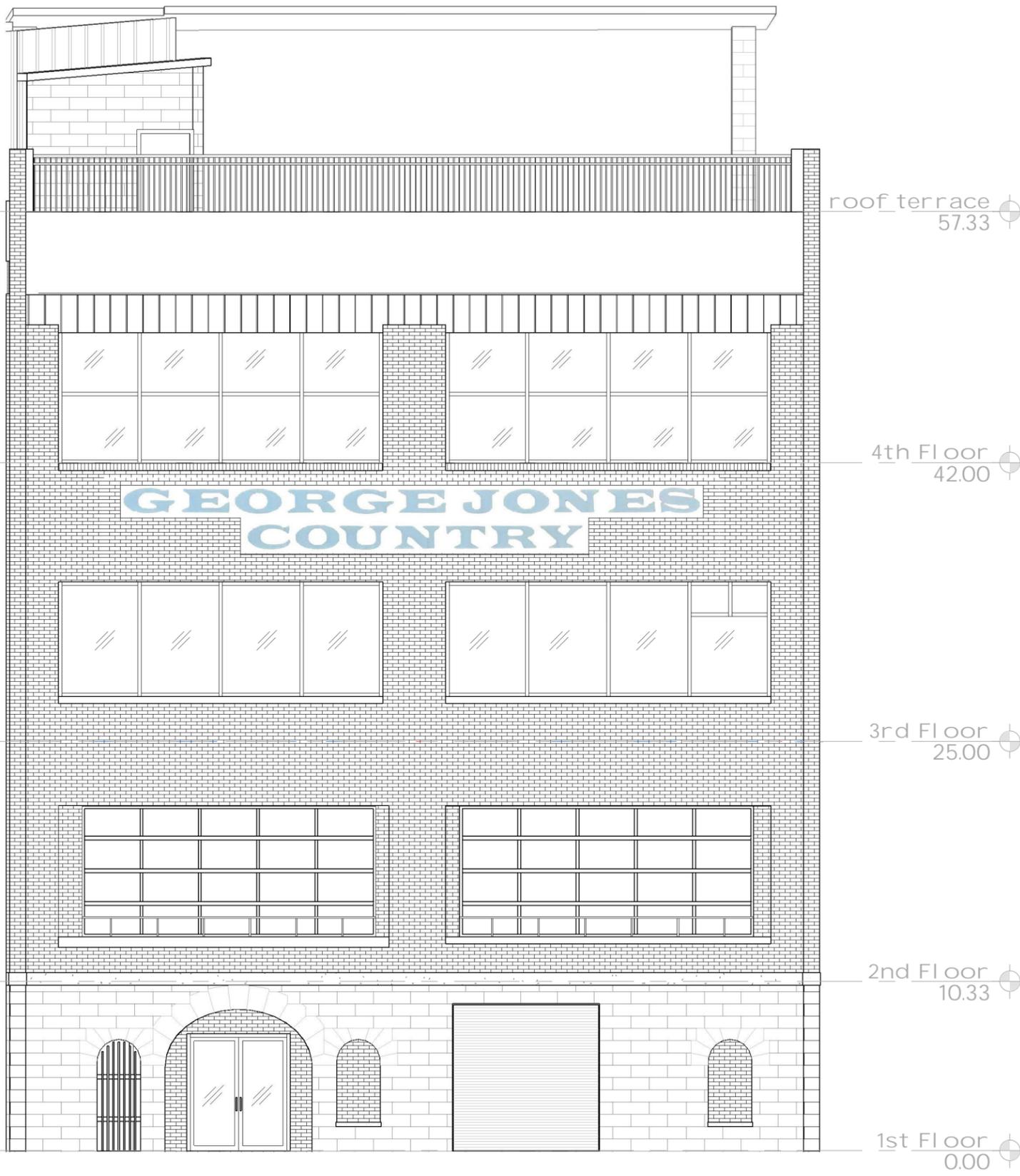
This recommendation is consistent with past decisions. In 2016, the Commission disapproved a request for multiple rollup window/doors on 105 Broadway. One roll-up door was approved as it was in the same general location as a historic roll-up door but all others were disapproved. The decision was appealed and the court upheld the Commission's decision. Roll-up doors have been approved on new construction, such as rooftop additions or rear additions, but not as replacement windows on historic buildings. There is a similar condition, in terms of lack of windows in openings with a pushed-back interior wall, at 154 2nd Ave North; however, that is work done without a Preservation Permit and Staff is pursuing the violation. 166 2nd Avenue North has a similar stepped back wall that was in place prior to the creation of the overlay. It was likely constructed in 1994 or 95 as there are multiple building permits from that period for major interior rehabilitation of the building for several businesses and apartments. Photographs of the building taken at the time of designation in 1997 appear to be window openings without windows. (See figure 6.)



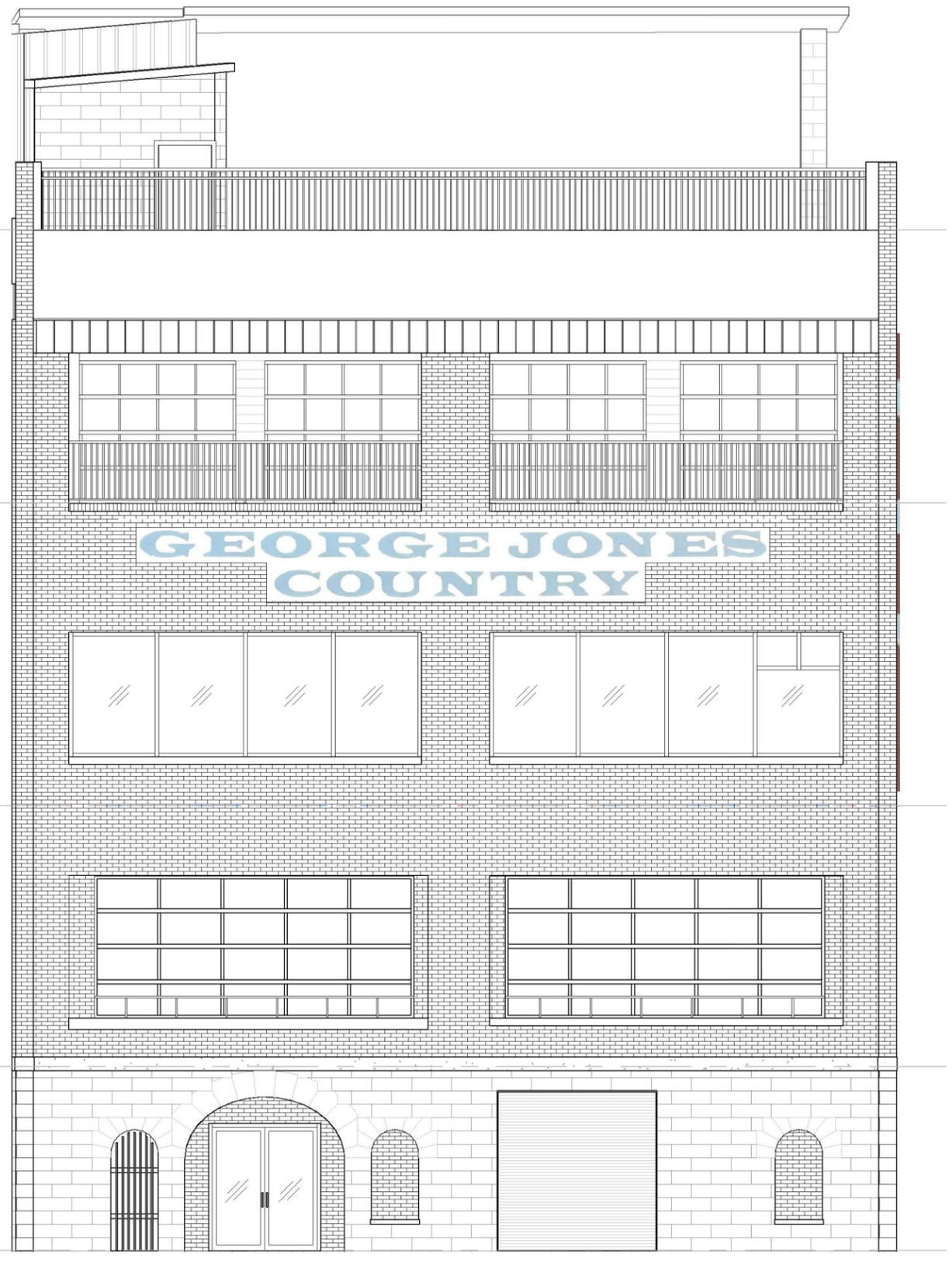
Figure 6: 166 2nd Avenue North as it appeared in 1997.

Recommendation:

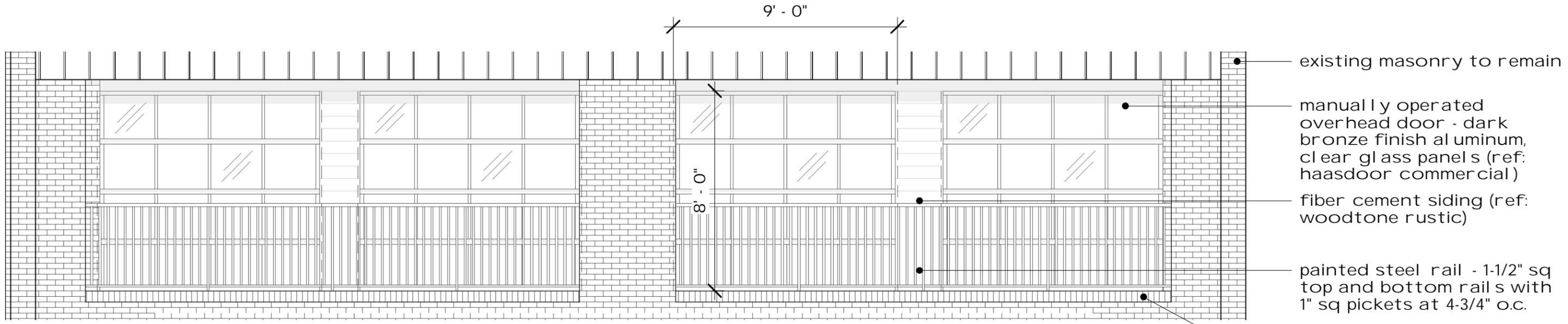
Staff recommends disapproval finding that the proposal does not meet sections H.3-5 and 9 of the Second Avenue design guidelines for replacement windows, sections I.1 and 2 for wall alterations and section J for replacement materials.



① 1st Ave El evation - existing
1/8" = 1'-0"

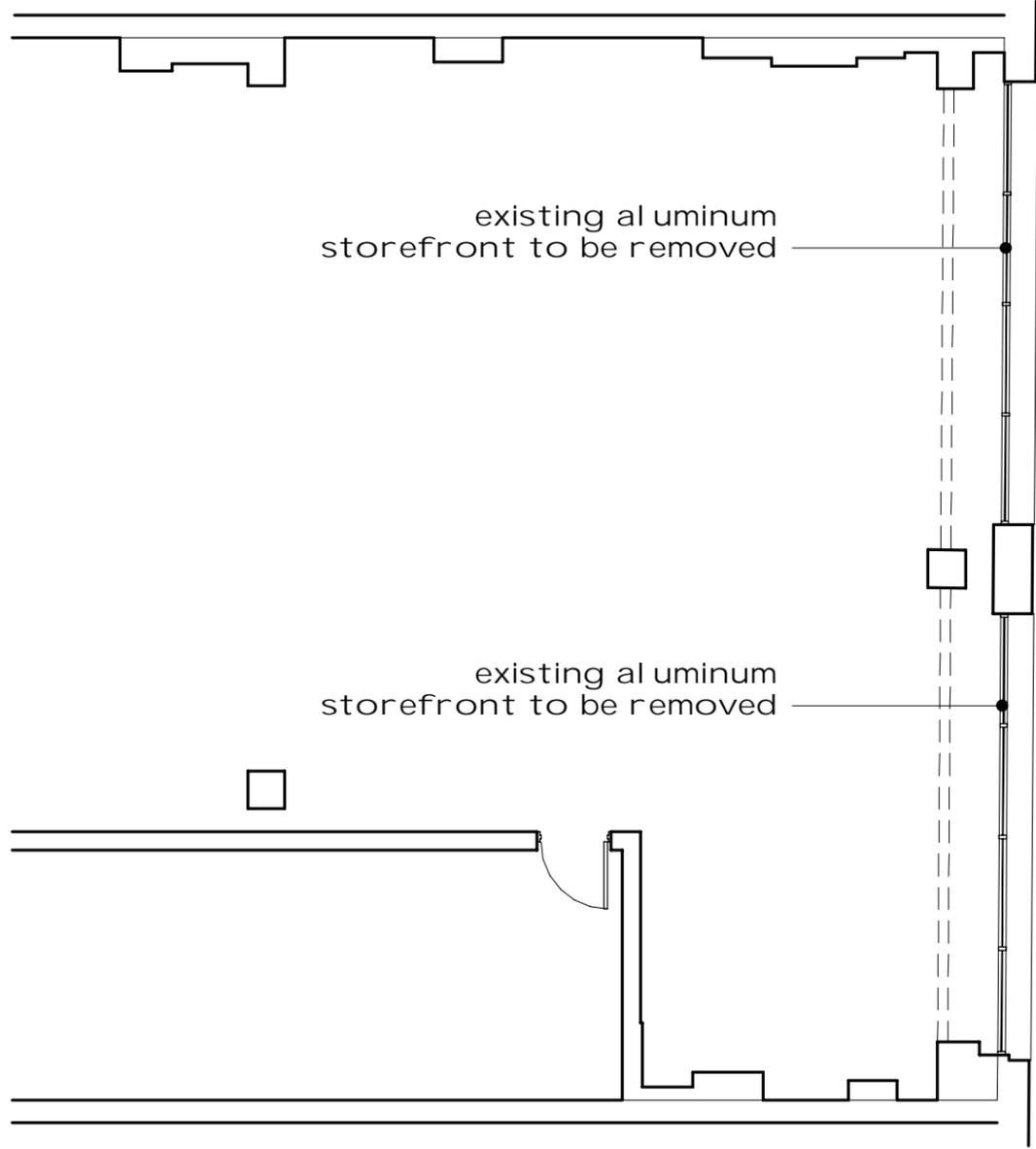


② 1st Ave El evation - proposed
1/8" = 1'-0"

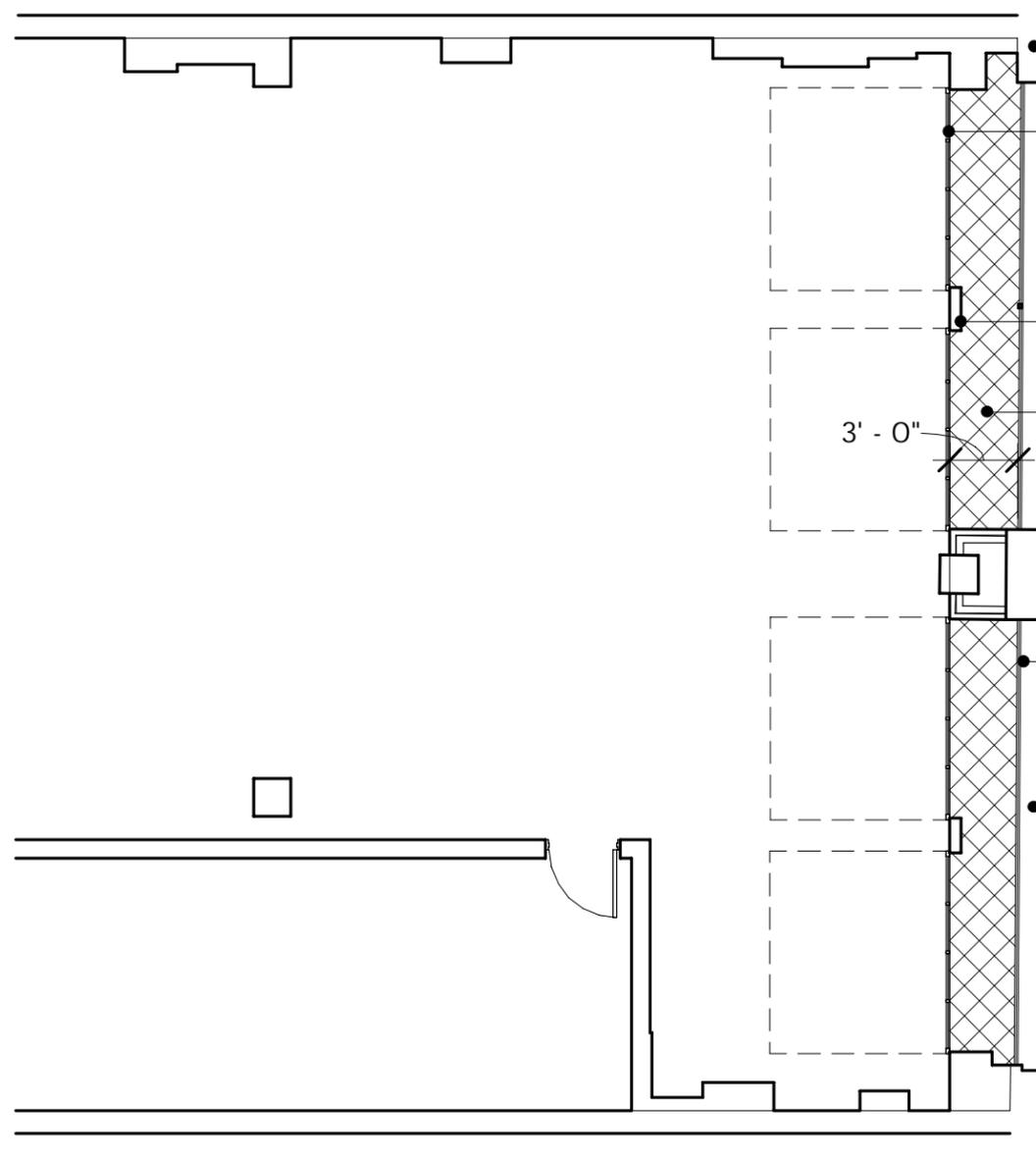


- existing masonry to remain
- manually operated overhead door - dark bronze finish aluminum, clear glass panels (ref: haasdoor commercial)
- fiber cement siding (ref: woodtone rustic)
- painted steel rail - 1-1/2" sq top and bottom rails with 1" sq pickets at 4-3/4" o.c.
- existing masonry sill to remain

① 1st Ave facade detail
1/4" = 1'-0"



① existing partial 4th floor
1/8" = 1'-0"



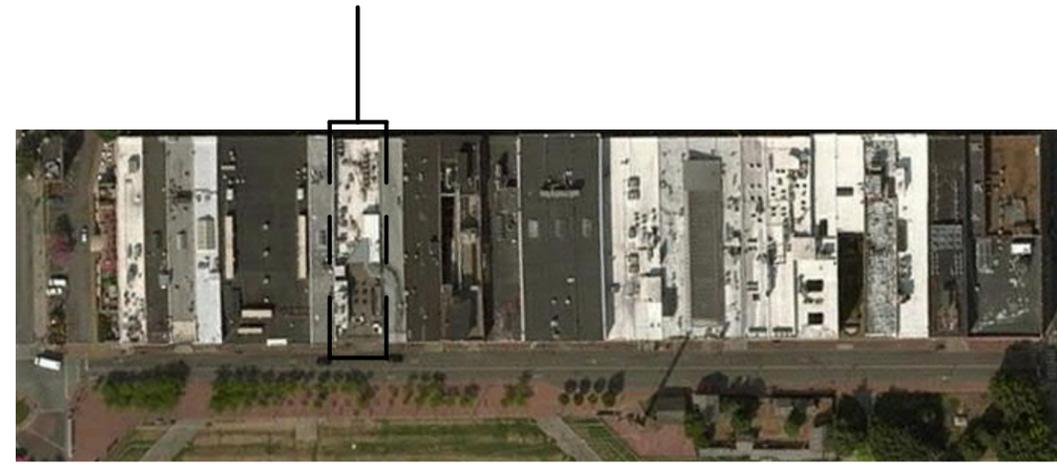
② proposed partial 4th floor
1/8" = 1'-0"



existing aluminum storefront to be removed

1st avenue north facade

george jones museum - 128 2nd avenue north



4th floor windows removed, railing inserted, new wall constructed pulled back from face



1st avenue north facade

rodizio grill - 166 2nd avenue north

george jones museum

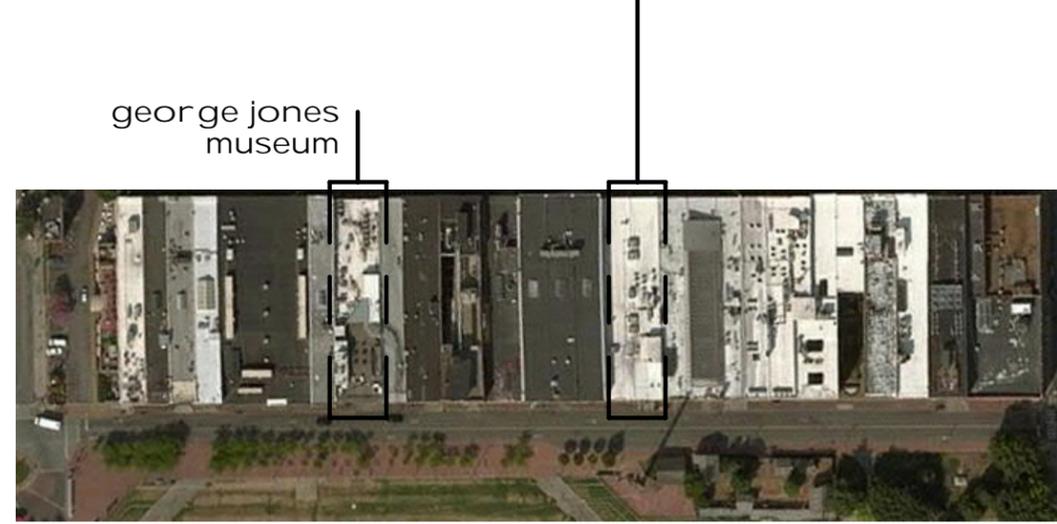




4th floor windows removed, railing inserted, new wall constructed pulled back from face



1st avenue north facade
 buffalo's - 154 2nd avenue north



george jones
 museum