

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION

1319 7th Avenue North
February 20, 2019

Application: New Construction—Outbuilding (Detached Accessory Dwelling Unit)

District: Germantown Historic Preservation Zoning Overlay

Council District: 19

Map and Parcel Number: 08209001600

Applicant: Kelly Williams

Project Lead: Melissa Sajid, melissa.Sajid@nashville.gov

Description of Project: Application is to construct an outbuilding that includes a dwelling unit.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. The overall height of the outbuilding when measured from grade shall not exceed the height of the house when measured from finished floor; and
2. Staff approve the final details, dimensions and materials for the roof color, windows, doors, garage door, and driveway.

With these conditions, staff finds that the proposed DADU meets Section IV of the Germantown Historic Preservation Zoning design guidelines for New Construction – Outbuildings.

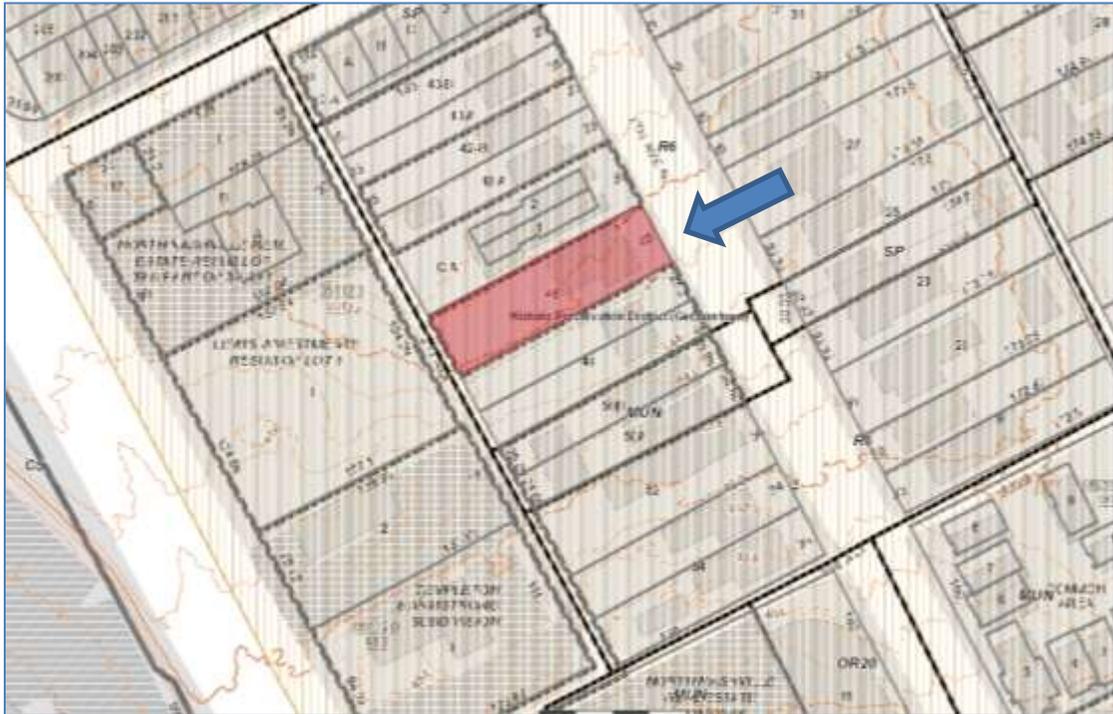
Attachments

A: Photographs

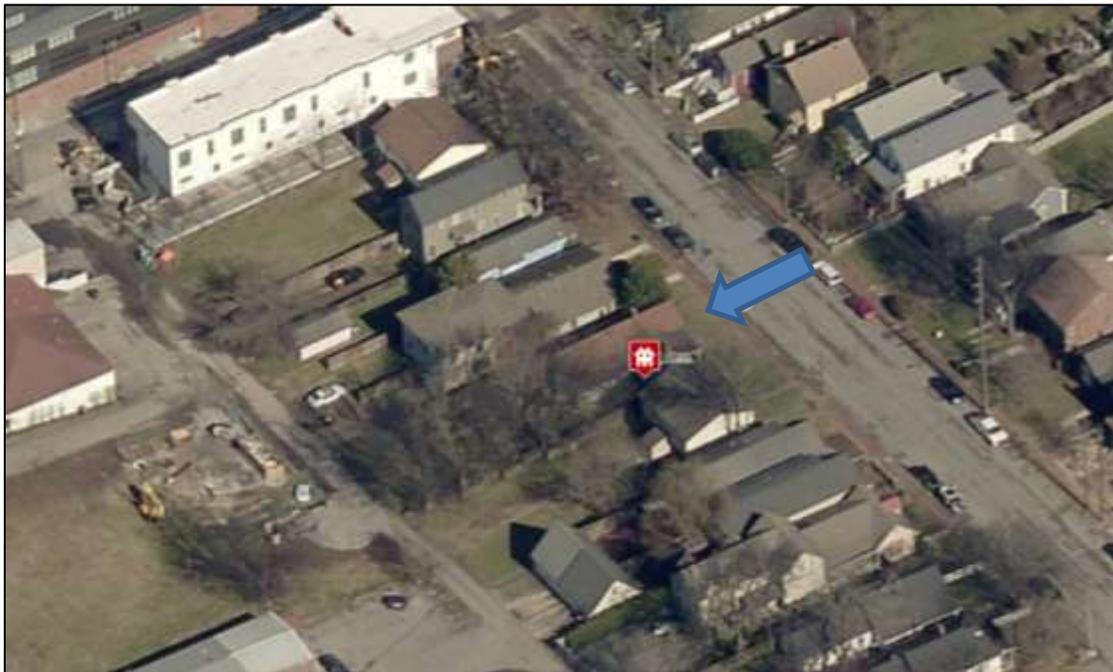
B: Site Plan

C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

IV. NEW CONSTRUCTION-OUTBUILDINGS

A. GENERAL PRINCIPLES

The Commission does not review nor regulate use of an outbuilding.

B. GUIDELINES

1. Height & Scale

- a. The ridge height of an outbuilding should not exceed the primary ridge/peak height of the principle building. *The principle building should be measured from the floor line to the ridge of the main massing and the outbuilding from grade to ridge.*
- b. If the outbuilding has a second level, the knee wall of the second level shall not exceed 6’.
- c. The footprint of an outbuilding or a collection of outbuildings together shall not exceed 60% of the footprint of the principal building. All covered spaces, including features such as porches, carports, and covered walkways shall be considered part of the footprint of the outbuilding. Small hoods over stoops are not included in this calculation.

2. Character, Materials & Details

- a. The principal cladding material shall be lapsiding or brick. *Please see “New Construction” for additional guidance on materials.*
- b. Outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.
- c. Upper level balconies extending from a pitched roof should not exceed 86 square feet. Supportive posts are not appropriate for upper level balconies.
- d. Lighting on an outbuilding should enhance the pedestrian experience of the alley at night. This may include ground-level porch lighting, bollards or garden lights. Lighting located on the building in a location higher than 10’ from grade should be directed downwards.

3. Roof

- a. Roof slopes and forms of the outbuilding should be similar to the roof slopes and form of the principal building.
- b. The outbuilding may have shed, gable or hipped roof dormers that shall be subordinate to the roof slope by covering no more than fifty percent of any one roof plane. *The width of the dormer shall be measured from side wall to side wall and the roof plane from side wall to side wall.*
- c. The front face of dormers should have primarily glazing.
- d. Skylights and solar panels are appropriate additions to the roof of an outbuilding.

5. Location, Setbacks and Site

- a. The addition of an outbuilding may not allow a property to exceed the lot coverage required in the bulk standards.

- b. Generally new garages should be placed close to the alley, at the rear of the lot, whether or not they are attached to the principal building,
- c. Rear setbacks shall be a minimum of 5'. If the alley-facing façade incorporates a balcony, the rear setback of the primary wall shall be a minimum of 8'. Additional rear setback is encouraged if the setback area is to be used as greenspace. Side setbacks may be zero but shall be 8' if the side includes an upper-level balcony.

Zoning Code Section 17.16.030 – Residential Uses

G. Accessory Dwelling, Detached. A detached self-sufficient dwelling unit shall be allowed accessory to a principal structure subject to the following standards:

1. Applicability.
 - a. While the following conditions listed below apply to a detached accessory dwelling they do not counter-act or over-ride the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.
 - b. No accessory structure shall exceed two hundred square feet when there is a detached accessory dwelling on the lot.
2. Lot Area. The lot area on which the detached accessory dwelling is to be placed shall comply with Table 17.12.020A.
3. Ownership
 - a. No more than one detached accessory dwelling shall be permitted on a single lot in conjunction with the principal structure.
 - b. The detached accessory dwelling cannot be divided from the property ownership of the principal dwelling.
 - c. The detached accessory structure and one of the two dwellings shall be owner-occupied.
4. Setbacks. The setbacks for a detached accessory dwelling shall meet the setbacks found in Section 17.12.040.E. for accessory buildings.
5. Site Requirements. A detached accessory dwelling may only be located behind the principal structure.
6. Driveway Access.
 - a. On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling.
 - b. On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.
 - c. Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.
7. Bulk and Massing.
 - a. The living space of a detached accessory dwelling shall not exceed seven hundred square feet.

- b. On lots less than ten thousand square feet, the footprint of a detached accessory dwelling shall not exceed seven hundred fifty square feet.
- c. On lots ten thousand square feet or greater, the footprint of a detached accessory dwelling shall not exceed on thousand square feet.
- d. The detached accessory dwelling shall maintain a proportional mass, size, and height to ensure it is not taller than the principal structure on the lot. The detached accessory dwelling height shall not exceed the height of the principal structure as measured to the eave line, with a maximum eave height of ten feet for single-story and seventeen feet for two-story detached accessory dwellings.
- e. The roof ridge line of the detached accessory dwelling must be less than the primary structure and shall not exceed twenty-seven feet in height.

8. Design Standards.

- a. The detached accessory dwelling shall be of similar style, design and material color as used for the principal structure and shall use similar architectural characteristics, including roof form and pitch, to the existing principal structure.
- b. The detached accessory dwelling may have dormers that relate to the style and proportion of windows on the detached accessory dwelling and shall be subordinate to the roofslope by covering no more than fifty percent of the roof.
- c. Detached accessory dwellings may have dormers that are setback a minimum of two feet from the exterior wall.

9. Historic Properties.

- a. Metro Historic Zoning Commission Action. Any existing or proposed detached accessory dwelling in a historic overlay district shall comply with the adopted regulations and guidelines of the applicable historic overlay.
- b. Detached accessory dwellings with a second story dwelling unit shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

10. Restrictive Covenant. Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the detached accessory dwelling is being established accessory to a principal structure and may only be used under the conditions listed above.

Background: The house located at 1319 7th Avenue North is a one story clapboard cottage that was constructed c. 1890s and contributes to the character of the Germantown Historic Preservation Zoning Overlay (Figure 1).



Figure 1: 1319 7th Avenue North

Analysis and Findings:

Outbuilding:

Height & Scale:

	Primary Structure	Potential Max	Proposed
Ridge Height	~ 18' (from finished floor)	Match Primary	~ 20'-9" (from grade)
Knee Wall Height of 2nd level	N/A	6'	~ 1'-4"
Footprint	1380 sq. ft.	60% of primary structure	828 sq. ft.

Most residential properties in Germantown are not zoned as R (residential) districts, which permit DADUs with conditions, but are instead typically zoned either MU (mixed use) or OR (office-residential). These zoning districts allow for multiple units on a property, but an additional unit is not considered a DADU and so the DADU standards of the Zoning Code are not applied. As a result the standards for reviewing outbuildings in Germantown reflect this difference in zoning and diverge somewhat from the DADU standards in the Zoning Code. The property at 1319 7th Ave North is located on one of the few, if not only, blocks in Germantown that is zoned R6.

Staff finds that the proposed footprint meets Section IV.B.1.c. of the design guidelines as it does not exceed sixty percent (60%) of the footprint of the house. The footprint, however, does not meet Section 17.16.30.G.7 of the ordinance, which limits the footprint to a maximum of seven hundred fifty square feet (750 sq. ft.). The footprint of the outbuilding meets the Germantown design guidelines, and since the majority of the Germantown district is not zoned R, the design guidelines allow for larger outbuildings than what the DADU standards general allow. For these reasons, staff finds that the proposed footprint of the outbuilding is appropriate.

The twenty-foot three inch (20'-3") tall proposed DADU exceeds the height of the historic house by approximately two feet, nine inches (2'-9"), when measured as required by the italicized language in the design guidelines. Section IV.B.1.a of the design guidelines states that outbuildings should not exceed the height of the principal house. The design guidelines states that "the principle building should be measured from the floor line to the ridge of the main massing and the outbuilding from grade to ridge." Staff recommends that the overall height of the outbuilding when measured from grade not exceed the height of the house when measured from finished floor. This condition would satisfy the requirements of both the design guidelines and the ordinance.

The design guidelines and ordinance employ different standards to address the form of the outbuilding. The design guidelines state that "if the outbuilding has a second level, the knee wall of the second level shall not exceed 6'". As proposed, the outbuilding has a knee wall that is approximately one foot, four inches (1'-4"), which meets the design guidelines. The ordinance, on the other hand, uses eave height and the design of dormers to address form. Section 17.16.30.G.7.d of the ordinance states that "the detached accessory dwelling shall maintain a proportional mass, size, and height to ensure it is not taller than the principal structure on the lot. The detached accessory dwelling height shall not exceed the height of the principal structure as measured to the eave line, with a maximum eave height of ten feet for single-story and seventeen feet for two-story detached accessory dwellings." As proposed, the average eave height of the house is approximately eleven feet (11') whereas the average eave height of the DADU is eleven feet, nine inches (11'-9"). Not only does the eave height of the DADU exceed that of the house, but it also exceeds the maximum eave height of ten feet (10') since this is not considered a two story structure.

The proposed DADU meets the requirements of the ordinance for dormers as they do not exceed fifty percent (50%) of the roof plane and are setback two feet (2') from the exterior wall. While this requirement is not part of the Germantown design guidelines, staff finds that stepping the dormers in two feet (2') from the wall below helps the DADU read as more of a one and one-half story form instead of a full two stories, which is more appropriate behind a single-story house even with a slight change in grade.

Since the outbuilding meets the design guidelines with regard to the footprint and knee wall height, staff finds that the proposed height and scale could be appropriate and meet the Germantown design guidelines with the condition that the overall height of the

outbuilding when measured from grade not exceed the height of the house when measured from finished floor.

Character, Materials & Details:

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood
Foundation	Concrete slab	Natural color	X
Cladding	Cement-fiber	Smooth with 5” reveal	X
Secondary Cladding	Board-and-batten		X
Roofing	Asphalt shingle	Needs final review	X
Trim	Cement board	smooth	X
Driveway	Not indicated	Needs final approval	
Windows	Not indicated	Needs final approval	
Pedestrian Doors	Not indicated	Needs final approval	
Vehicular Door	Not indicated	Needs final approval	

Is the Principal cladding material brick or lapsiding?	Yes
If there are stairs, are they enclosed?	Yes
If there is an upper level balcony, is under 86 sq. ft.?	No
If lighting is proposed, does it enhance the pedestrian experience of the alley?	Not indicated
If lighting is located higher than 10’ from grade, is it directed downwards?	Not indicated

With the condition that staff review the final selections of the materials for the roof color, windows, doors, garage door, and driveway, staff finds that the outbuilding’s character, materials and details meet Section IV.B.2. of the design guidelines.

Roof Shape:

Proposed Element	Proposed Form	Appropriate?
Primary form	Front-gable	X
Primary roof slope	8/12	No

Staff finds that the outbuilding’s roof form meets Section IV.B.3. of the design guidelines.

Location, Setbacks and Site:

	MINIMUM	PROPOSED
Space between principal building and DADU/Garage	20'	26'
Rear setback	5'	20'
L side setback**	0'	18'
R side setback**	0'	3'
How is the building accessed?	From the alley or existing curb cut	From the alley

General requirements for DADUs:

The answer to each of these questions must be “yes” for either an outbuilding or a DADU.

	YES	NO
If there are stairs, are they enclosed?	Yes	
If a corner lot, are the design and materials similar to the principle building?	N/A	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	Yes	
If dormers are used, do they sit back from the wall below by at least 2'?	Yes	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	N/A	
Is the building located towards the rear of the lot?	Yes	

The project meets Section III.B.2.h of the design guidelines and Sections 17.16.30.G.5, 8 and 9 of the ordinance.

General Requirements for DADU:

The answer to each of these questions must be “no.”

	YES	NO
Does the lot NOT comply with Table 17.12.020A of the zoning code? (It isn't zoned two-family or doesn't have adequate square footage to be a legally conforming lot.)		No
Are there other accessory buildings on the lot that exceed 200 square feet?		No

Is the property zoned single-family?		No
Are there already two units on the property?		No
Does the property owner NOT live on site or does NOT plan to move to this location once the DADU is complete?		No
Is the planned conditioned living space more than 700 square feet?		No

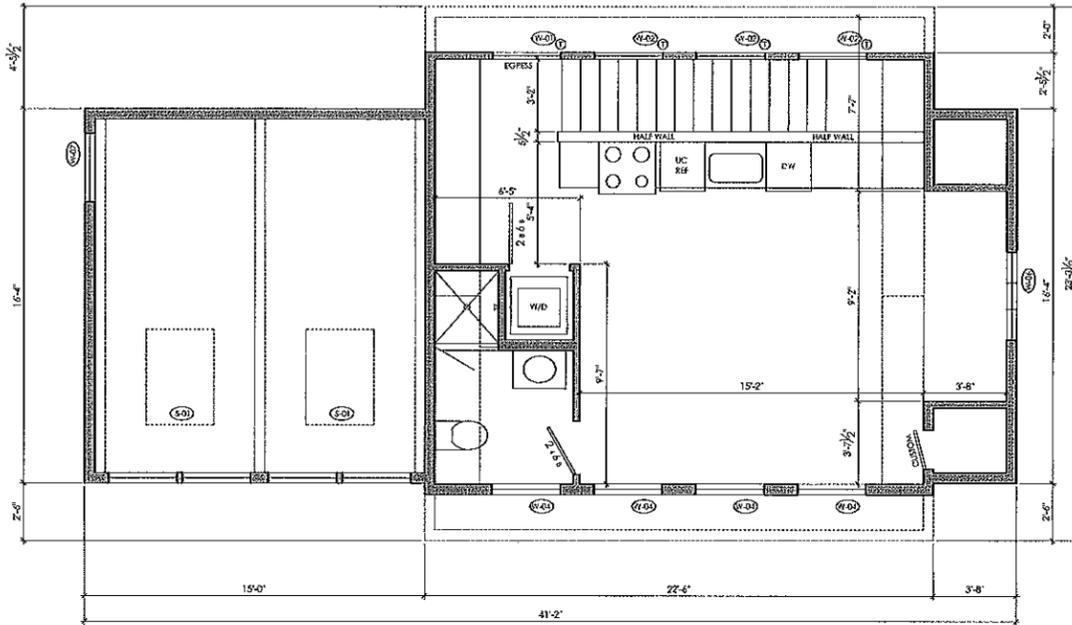
The project meets Section III.B.2.h of the design guidelines and Sections 17.16.30.G.1,2,3, and 7 of the ordinance.

Recommendation: Staff recommends approval of the project with the following conditions:

1. The overall height of the outbuilding when measured from grade shall not exceed the height of the house when measured from finished floor; and
2. Staff approve the final details, dimensions and materials for the roof color, windows, doors, garage door, and driveway.

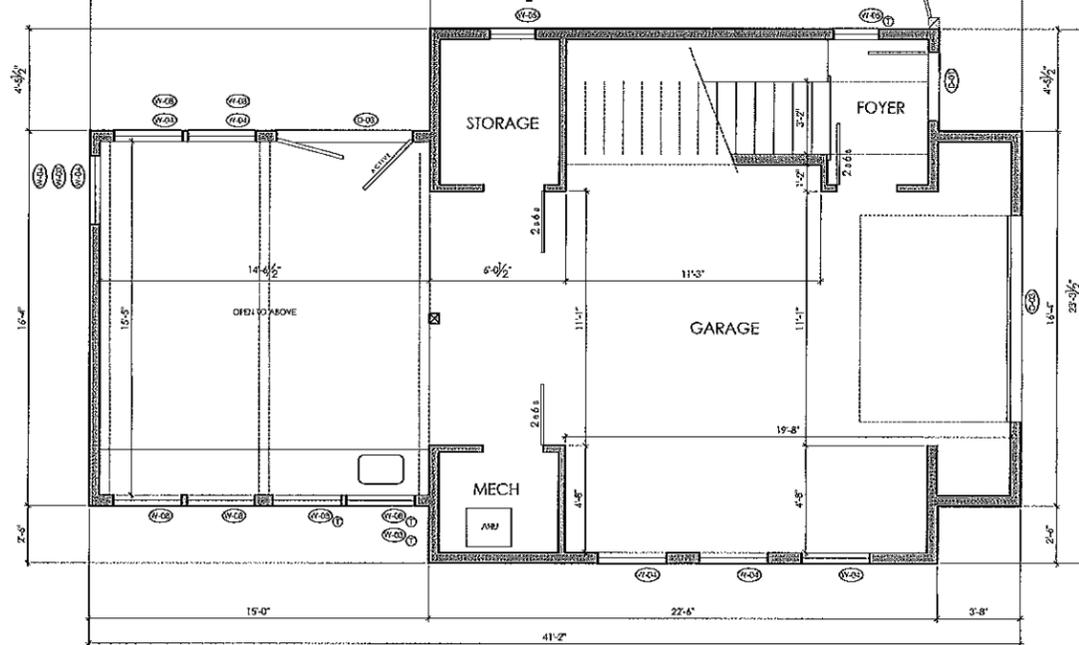
With these conditions, staff finds that the proposed DADU meets Section IV of the Germantown Historic Preservation Zoning design guidelines for New Construction – Outbuildings.

Half scale



1 UPPER LEVEL PLAN

PRELIMINARY / NOT FOR CONSTRUCTION



2 LOWER LEVEL PLAN

1319 7th Ave. N. Nashville, TN 37208		Parcel ID 08209001600
Gemantown		Lot Area .18 acres
Proposed Added DADU		Lot Area 7,840.8 sf.
DADU	828 sf.	Zoning R6
Drive / Walk	354 sf.	Existing Lot Coverage
Added Total	1,182 sf.	House 1,380 sf.
		Porch 44 sf.
		Deck 147 sf.
		Driveway 245 sf.
		Existing Total 1,816 sf.

*****See elevations for configurations*****

UNIT	SIZE	TYPE	OPERABLE SCREEN	EXCESS	HEADER HEIGHT	R.O. WIDTH	R.O. HEIGHT	JAMB
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EXT. DOOR SCHEDULE

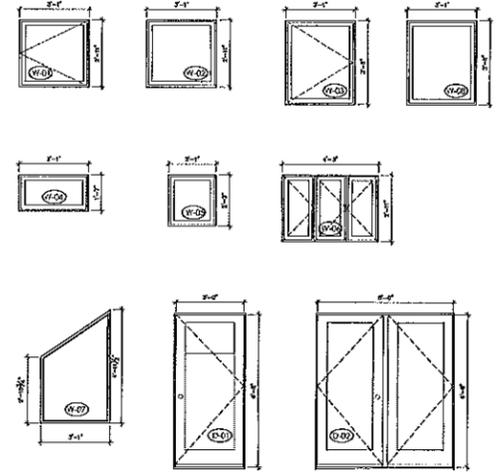
NOTE: See Diagram for Divided Lite Pattern.
NOTE: Verify R.O. Dimensions with Manufacturer.

UNIT	DESCRIPTION	OPERABLE SCREEN	EXCESS	HEADER HEIGHT	R.O. WIDTH	R.O. HEIGHT	JAMB
D-01	Exterior - 3068 Inswing 1/4 Lite Flush Glaze - See Plan for Hanging.						
D-02	Exterior - Double 3068 Inswing Full Lite Flush Glaze. See Plan for Hanging.						
D-03	9'W x 7'H Fiberglass Insulated Garage Door, STYLE 18D						

WINDOW SCHEDULE

NOTE: See Diagram for Divided Lite Pattern.
NOTE: Verify R.O. Dimensions with Manufacturer.
NOTE: (T) On Plan Indicates Tempered Glass.

UNIT	SIZE	TYPE	OPERABLE SCREEN	EXCESS	HEADER HEIGHT	R.O. WIDTH	R.O. HEIGHT	JAMB
W-01	37x35	Casement						
W-02	37x35	Picture Casement						
W-03	37x43	Casement						
W-04	37x19	Picture Casement						
W-05	23x27	Picture Casement						
W-06	17x19	Casement, Fixed Log Cabin						
W-07	POLY	Picture Casement						
W-08	37x43	Casement						
S-01	36x60	Skylight						



Job: 1811-01
WILLIAMS DADU
 1319 7th Ave. North
 Nashville, TN 37220
 February, 11, 2019

PLANS
A2

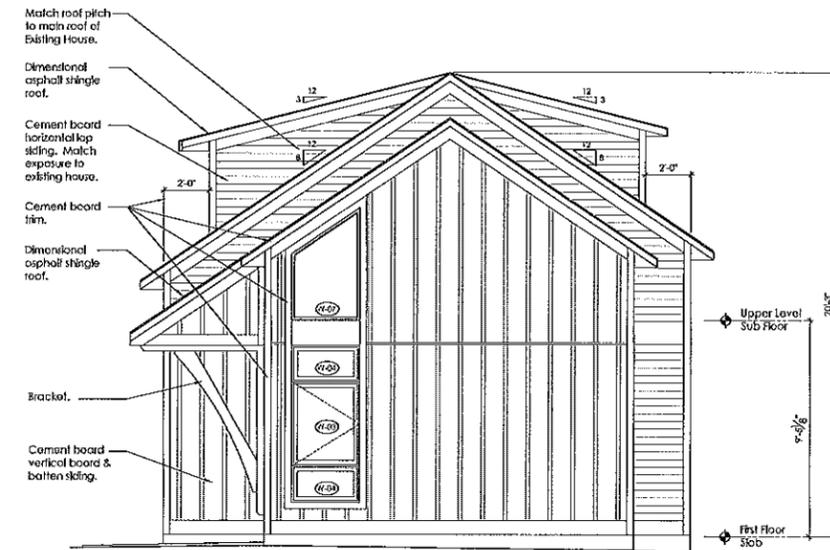
GELYN
 design
 ph 615.579.9872

Half scale

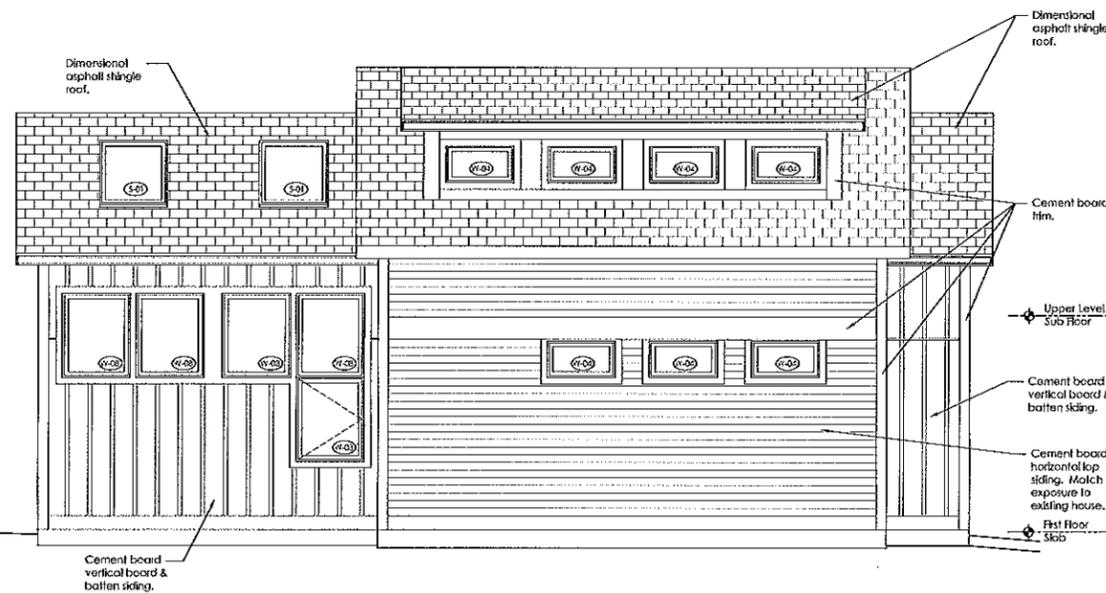
PRELIMINARY / NOT FOR CONSTRUCTION



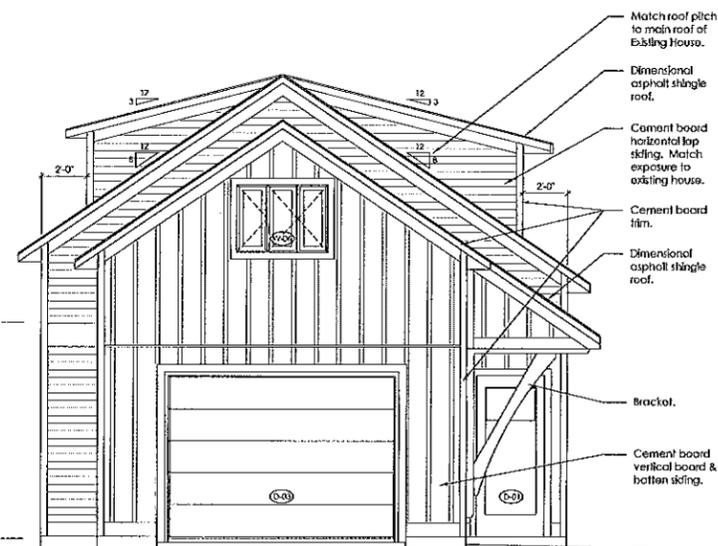
① SOUTH ELEVATION SCALE: 1/4" = 1'-0"



② EAST ELEVATION SCALE: 1/4" = 1'-0"



③ NORTH ELEVATION SCALE: 1/4" = 1'-0"



④ WEST ELEVATION SCALE: 1/4" = 1'-0"

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ELEVATIONS
A3