

DAVID BRILEY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**1117 McKennie Avenue**  
**March 20, 2019**

**Application:** Demolition--Partial Demolition of Outbuilding/ DADU; Setback Determination

**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay

**Council District:** 06

**Base Zoning:** R6

**Map and Parcel Number:** 08301028400

**Applicant:** Matt Millsap, Building Co. #7

**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

**Description of Project:** Application is to demolish a portion of an existing outbuilding to make the structure's footprint compliant with the DADU ordinance. The structure does not meet the five foot (5') base zoning setback on the left side. It will be as close as two feet, eleven inches (2'11') from the side property line.

**Recommendation Summary:** Staff recommends approval of the project, with the condition that staff approve all final material choices, including windows and doors, roof shingle color, and cladding material. With these conditions, staff finds that the proposed work meets Sections II.B.h. and III.B.2. of the Eastwood Neighborhood Conservation Zoning Overlay Design Guidelines and the DADU Ordinance 17.16.030.G.

**Attachments**

**A:** Site Plan

**B:** Elevations

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### II.B. GUIDELINES

#### h. Outbuildings

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

#### *Outbuildings: Height & Scale*

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

#### *Outbuildings: Character, Materials and Details*

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

#### *Outbuildings: Roof*

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

#### *Outbuildings: Windows and Doors*

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

#### *Outbuildings: Siding and Trim*

- *Brick, weatherboard, and board-and-batten are typical siding materials.*

- Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
- Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
- Stud wall lumber and embossed wood grain are prohibited.
- Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

*Setbacks & Site Requirements.*

*· To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*

*· A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*

*· There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*

*· At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

*Driveway Access.*

*· On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*

*· On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

*Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

***Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.***

*· The lot area on which a DADU is placed shall comply with Table 17.12.020A.*

*· The DADU may not exceed the maximums outlined previously for outbuildings.*

*· No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.*

*Density.*

*· A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.*

*Ownership.*

*a. No more than one DADU shall be permitted on a single lot in conjunction with the principal*

structure.

b. The DADU cannot be divided from the property ownership of the principal dwelling.

- The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
- Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.

*Bulk and Massing.*

- The living space of a DADU shall not exceed seven hundred square feet.

### **III.B.1 Demolition is Not Appropriate**

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

### **III.B.2 Demolition is Appropriate**

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 of the historic zoning ordinance.

**Background:** 1117 McKennie Avenue is a c. 1923 brick house that contributes to the historic character of the Eastwood Neighborhood Conservation Zoning Overlay (Figure 1). It is located on the northwest corner of McKennie Avenue and North 12<sup>th</sup> Street. On the lot is a cinder block garage (Figures 2,3,4).



Figure 1. 1117 McKennie Avenue



Figures 2, 3, and 4 show the existing outbuilding.



The applicant is proposing an outbuilding/detached accessory dwelling unit (DADU) that meets both the design guidelines and the DADU Ordinance, 17.16.030. G.

*Massing Planning:*

The lot is less than 10,000 sq.ft..

	50% of first floor area of principle structure	Lot is less than 10,000 square feet	Proposed
Maximum Square Footage	760 sq. ft.	750 sq. ft.	750 sq. ft.

	Potential maximums under Ordinance	Existing House	Proposed DADU
Ridge Height	25' unless existing building is less	19''	17'7''
Eave Height	10'	10'	10'

*Roof Form:*

Proposed Element	Proposed Form	Typical of district?
Primary form	Side Gable	Yes
Primary roof slope	8/12	Yes

*Design Standards*

The DADU structure has a simple design that is appropriate for outbuildings. Its roof form, detailing, and form do not contrast greatly with the primary structure. The windows, height, scale, and materials are all appropriate for the site and the historic neighborhood. The proposed design of the outbuilding does not contrast greatly with the surrounding historic buildings and therefore meets the design guidelines.

*Materials:*

	<b>Proposed</b>	<b>Color/Texture</b>	<b>Needs final approval?</b>
Foundation	Concrete Block	Smooth	No
Cladding	Concrete Block	Smooth	No
Secondary Cladding	Cement Fiberboard Lap siding	Smooth, 5" reveal	No
Roofing	Asphalt shingles	Unknown	Yes
Windows	Unknown	Unknown	Yes
Doors	Unknown	Unknown	Yes
Garage door	Unknown	Unknown	Yes

The existing structure is concrete block. The new wall facing North 12<sup>th</sup> Street will be cement fiberboard lap siding with a five inch (5") reveal. With staff's final approval of all windows and doors and the roof shingle color, staff finds that the known materials meet the design guidelines.

*General requirements for Outbuildings/DADUs:*

	<b>YES</b>	<b>NO</b>
If there are stairs, are they enclosed?	N/A	
If a corner lot, are the design and materials similar to the principle building?	Yes	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	N/A	
If dormers are used, do they sit back from the wall below by at least 2'?	N/A	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	N/A	
Is the building located towards the rear of the lot?	Yes	

*Site Planning & Setbacks:*

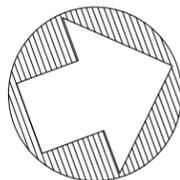
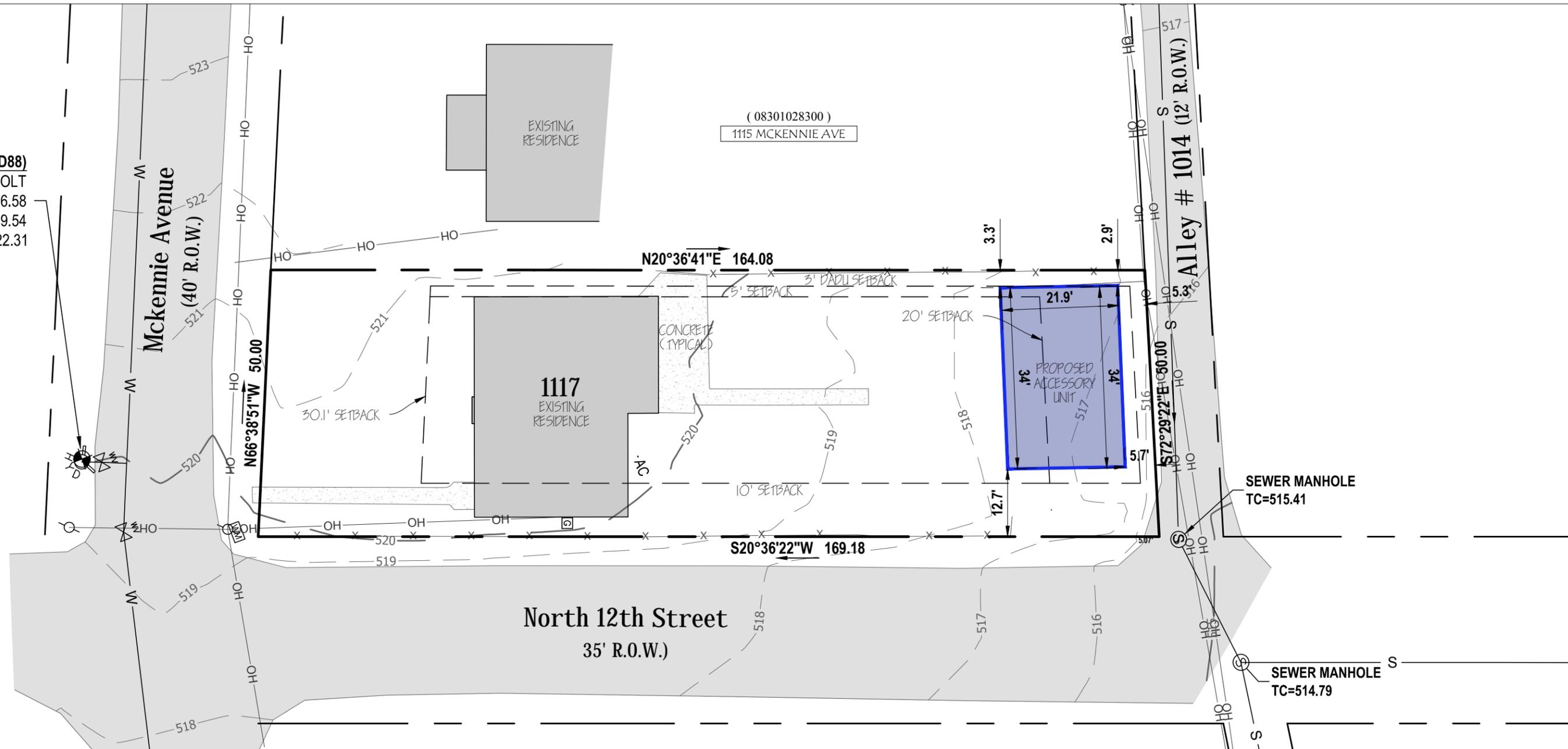
	<b>MINIMUM</b>	<b>PROPOSED</b>
Building located towards rear of lot	-	Yes
Space between principal building and garage	20'	63'
Rear setback	5'	5'
Left side setback	5'	2'11"*
Right side setback	10'	12'
How is the building accessed?	-	No Garage Doors
Two different doors rather than one large door (if street facing)?	-	No Garage Doors

\* The DADU ordinance states that the structure should meet the base zoning setbacks. For an outbuilding that is larger than seven hundred square feet (700 sq. ft.) like this one, base zoning requires that the side setback should be a minimum of five feet (5'). In this case, the existing structure is as close as two feet, eleven inches (2'11") from the left side property line. Since the structure is existing and will not extend further into the side setback than it does currently, staff finds that converting the existing structure into a DADU is appropriate.

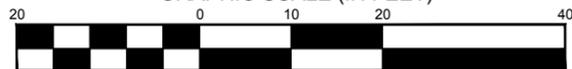
Staff finds that the DADU's height, scale, location, known, materials, setback, and design meet the design guidelines and the DADU Ordinance 17.16.030.G.

**Recommendation Summary:** Staff recommends approval of the project, with the condition that staff approve all final material choices, including windows and doors, roof shingle color, and cladding material. With these conditions, staff finds that the proposed work meets Sections II.B.h. and III.B.2. of the Eastwood Neighborhood Conservation Zoning Overlay Design Guidelines and the DADU Ordinance 17.16.030.G.

**BENCHMARK (NAVD88)**  
 HYDRANT TAG BOLT  
 N: 677176.58  
 E: 1749179.54  
 ELEV: 522.31



GRAPHIC SCALE (IN FEET)



1 inch = 20 ft.



1711 Hayes Street  
 Nashville, TN 37203  
 clintelliottsvey.com  
 (615) 490-3236

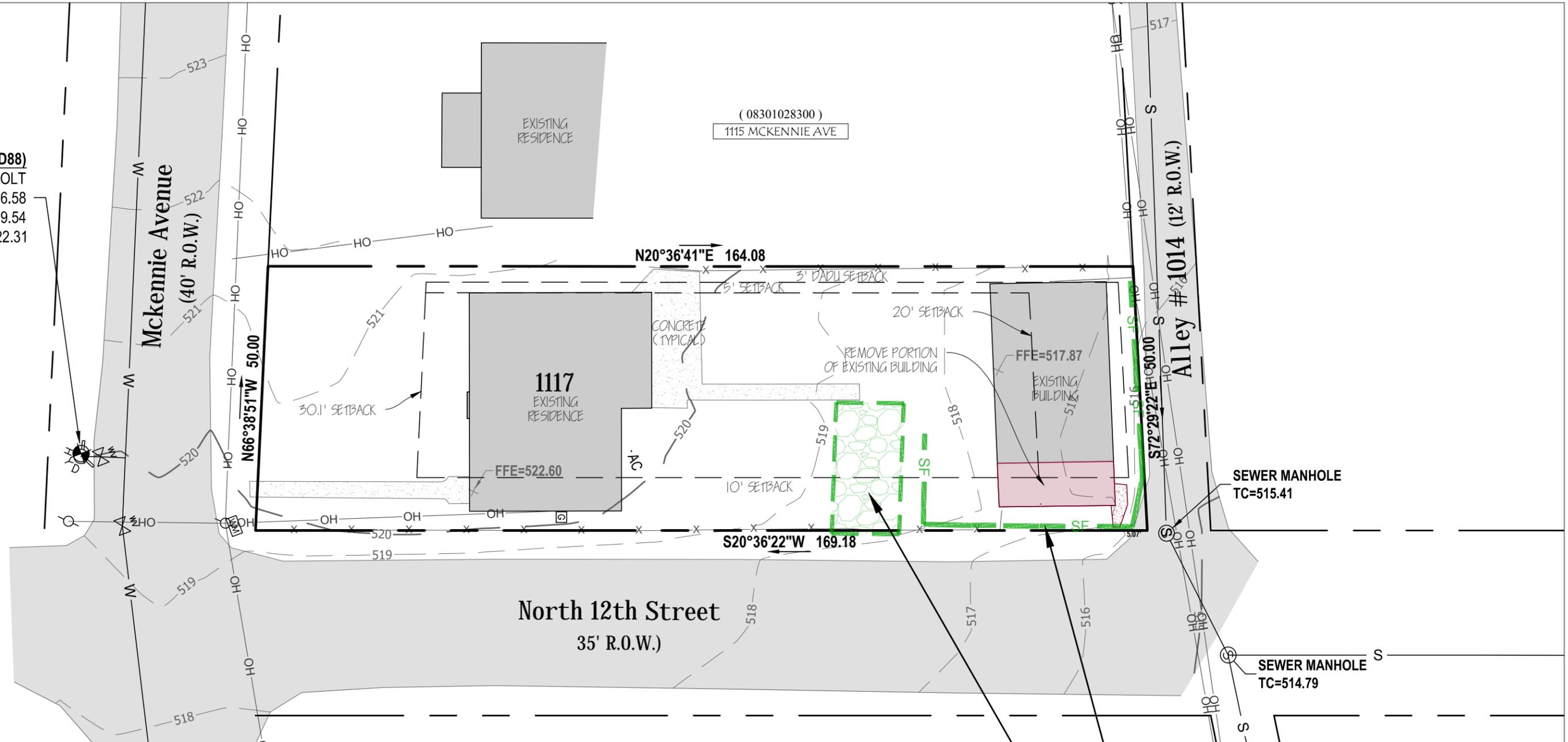
# Site Plan

## 1117 McKennie Avenue

### Nashville, Davidson County, Tennessee

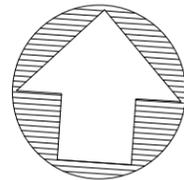
Sheet No.  
**V-2.1**

**BENCHMARK (NAVD88)**  
 HYDRANT TAG BOLT  
 N: 677176.58  
 E: 1749179.54  
 ELEV: 522.31



**INSTALL NEW CONSTRUCTION ENTRANCE**  
 (SEE METRO BMP FOR DETAILS)

**INSTALL NEW SILT FENCE**  
 (SEE METRO BMP FOR DETAILS)



GRAPHIC SCALE (IN FEET)



1 inch = 20 ft.



**CLINT ELLIOTT SURVEY**  
 1711 Hayes Street  
 Nashville, TN 37203  
 clintelliottsvey.com  
 (615) 490-3236

**EPSC Plan**  
**1117 McKennie Avenue**  
**Nashville, Davidson County, Tennessee**

Sheet No.  
**V-2.2**

**SITE DATA: PRE-DEVELOPMENT**

Total Site Area 8,320 SF

**PRE-DEVELOPMENT IMPERVIOUS: 2,745 SF**

Buildings 2,251 SF  
 Parking/Drives 0 SF  
 Walks/Misc Pads 494 SF

**SITE DATA: POST-DEVELOPMENT**

Total Site Area 8,320 SF

**POST-DEVELOPMENT IMPERVIOUS: 2,544 SF ( 30.6% )**

Buildings 2,068 SF  
 Parking/Drives 0 SF  
 Walks/Misc Pads 476 SF

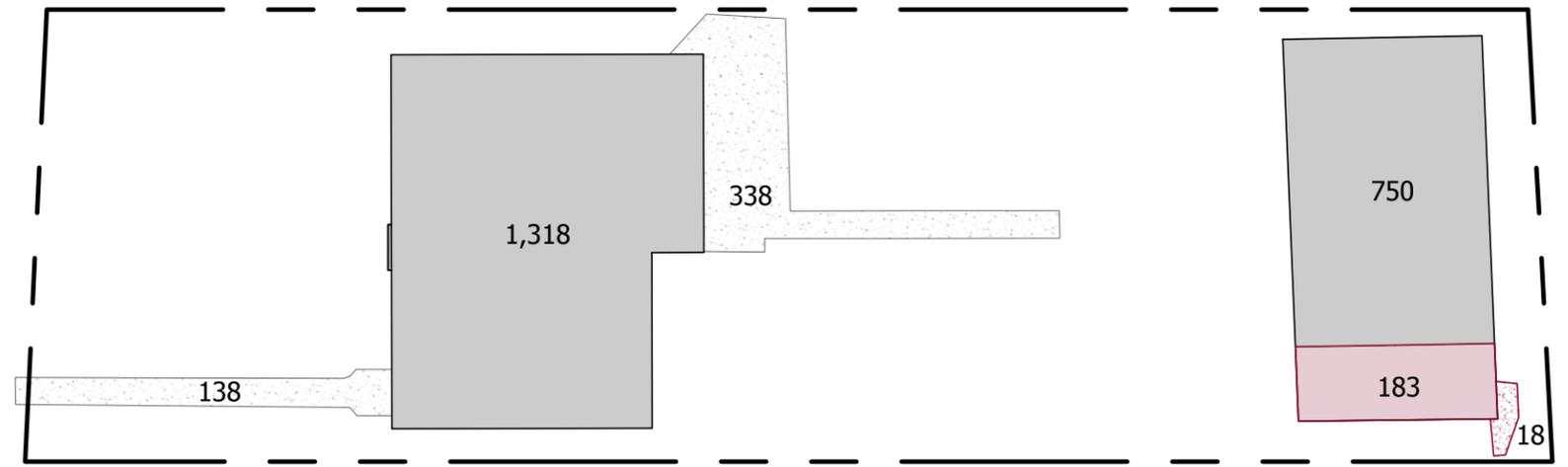
**POST- IMPERVIOUS NET GAIN: 0 SF**

**STORMWATER NET GAIN TREATMENT**

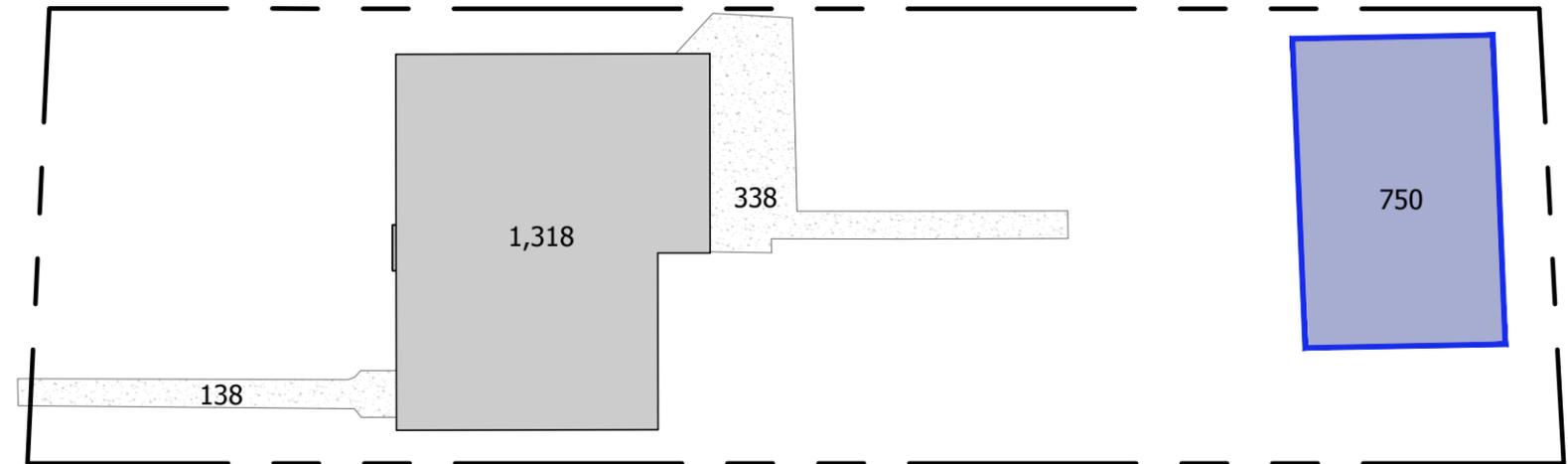
Total Site Area 8,320 SF

**POST-DEVELOPMENT STORMWATER TREATMENT: 0 SF**

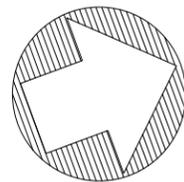
POST-DEVELOPMENT IMPERVIOUS AREA < PRE-DEVELOPMENT IMPERVIOUS AREA



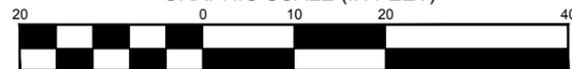
**PRE-DEVELOPMENT**



**POST-DEVELOPMENT**



GRAPHIC SCALE (IN FEET)



1 inch = 20 ft.

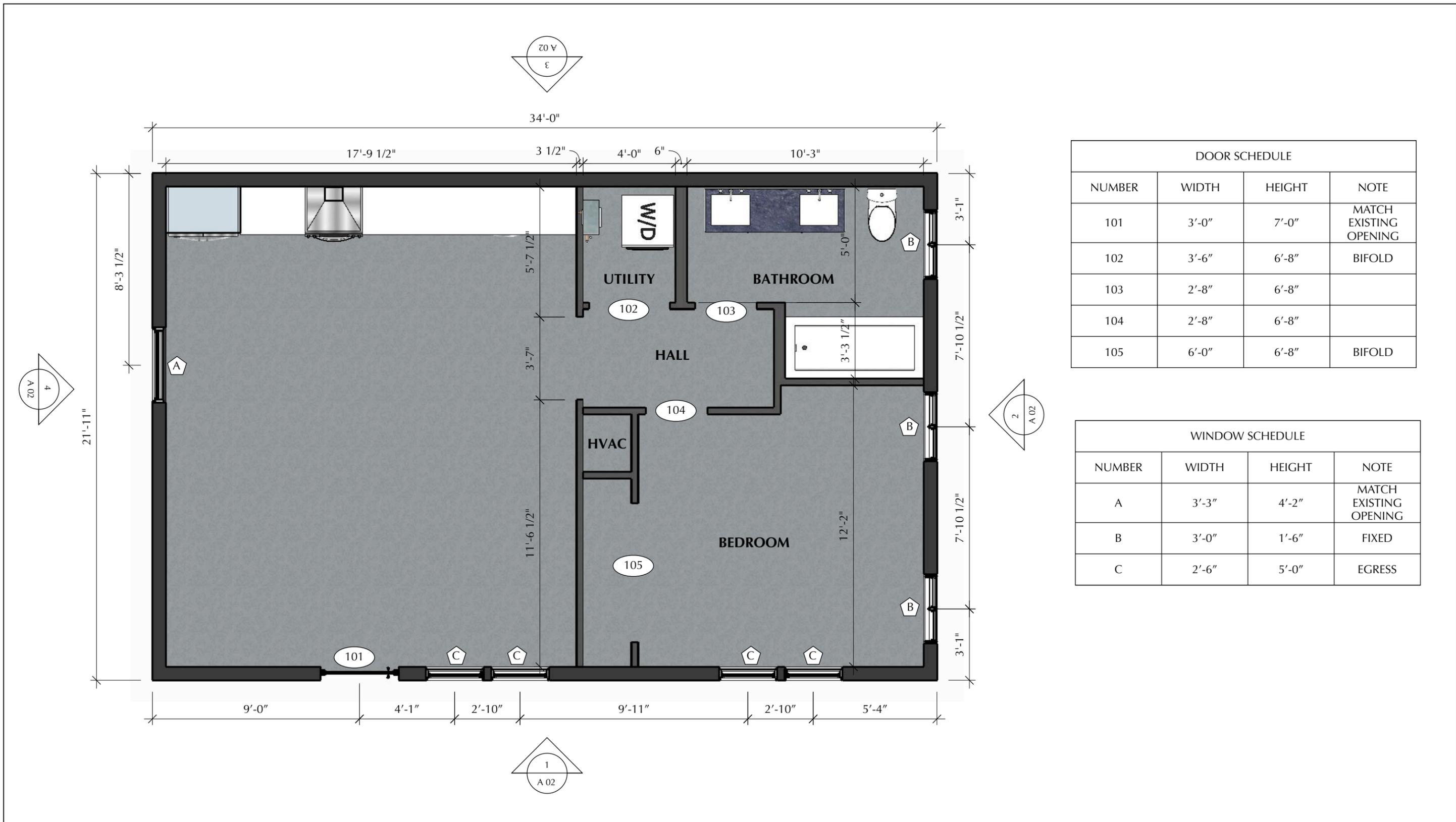


1711 Hayes Street  
 Nashville, TN 37203  
 clintelliotts survey.com  
 (615) 490-3236



**Impervious Areas**  
 1117 McKennie Avenue  
 Nashville, Davidson County, Tennessee

Sheet No.  
**V-2.3**



DOOR SCHEDULE			
NUMBER	WIDTH	HEIGHT	NOTE
101	3'-0"	7'-0"	MATCH EXISTING OPENING
102	3'-6"	6'-8"	BIFOLD
103	2'-8"	6'-8"	
104	2'-8"	6'-8"	
105	6'-0"	6'-8"	BIFOLD

WINDOW SCHEDULE			
NUMBER	WIDTH	HEIGHT	NOTE
A	3'-3"	4'-2"	MATCH EXISTING OPENING
B	3'-0"	1'-6"	FIXED
C	2'-6"	5'-0"	EGRESS

PROJECT ADDRESS:  
 1117 McKENNIE STREET  
 NASHVILLE, TN 37206

DANIEL PARKHURST  
 GARAGE CONVERSION  
 Revision Date: 02.04.2019

MARILYN KIMBERLY INTERIOR DESIGN  
 PLAN VIEW  
 SCALE: 1/4" = 1'-0"



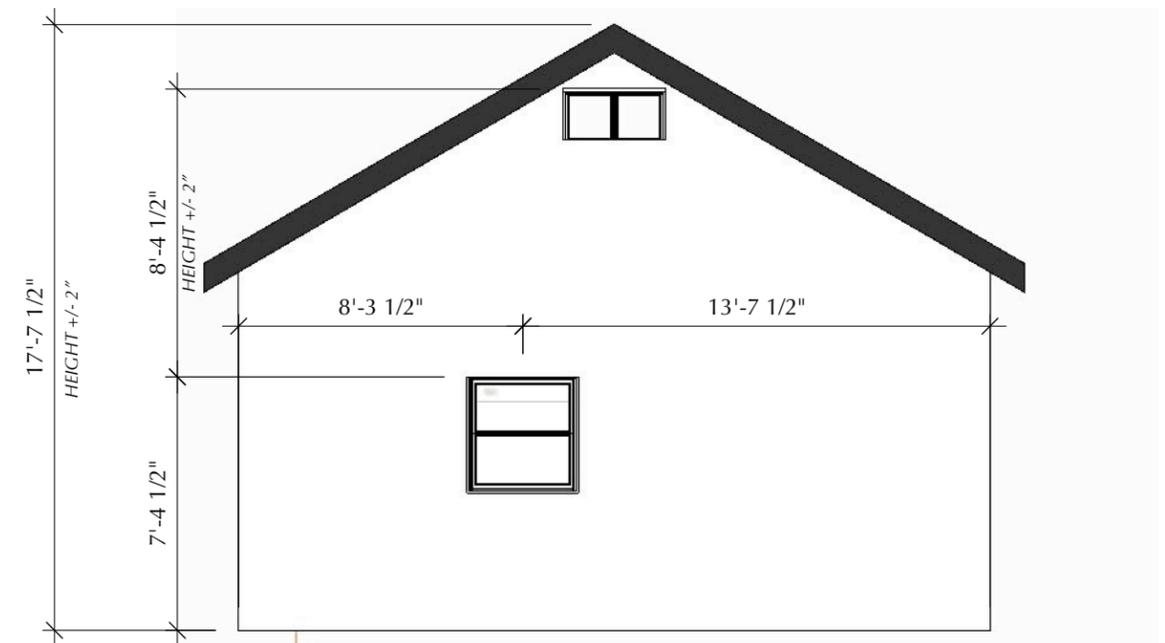
1 SOUTH ELEVATION



2 EAST ELEVATION



3 NORTH ELEVATION



4 WEST ELEVATION

PROJECT ADDRESS:  
1117 McKENNIE STREET  
NASHVILLE, TN 37206

DANIEL PARKHURST  
GARAGE CONVERSION  
Revision Date: 02.04.2019

MARILYN KIMBERLY INTERIOR DESIGN

PLAN VIEW  
SCALE: 3/16" = 1'-0"