

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION

210 Leonard Avenue

March 20, 2019

Application: New Construction—Outbuilding; Setback Determination /Violation

District: Whitland Neighborhood Conservation Zoning Overlay

Council District: 24

Map and Parcel Number: 10413008300

Applicant: Brian Glasser

Project Lead: Melissa Sajid, melissa.sajid@nashville.gov

Description of Project: Application is for a new outbuilding, already constructed, and includes requests for setback determinations to reduce the rear setback from five feet (5') to two feet, ten inches (2'-10") and to reduce the left side setback from three feet (3') to one foot, ten inches (1'-10"). The outbuilding was constructed on an existing foundation.

Recommendation Summary: Staff recommends approval with the following conditions:

1. The dormers shall be set back two feet (2') from the wall below or removed; and
2. Staff approve all windows and doors.

With these conditions, staff finds that the proposed addition to the outbuilding meets Section II.B.1.i of the Whitland Neighborhood Conservation Zoning Overlay design guidelines.

Attachments

A: Site Plan

B: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. 1. New Construction

i. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- Brick, weatherboard, and board-and-batten are typical siding materials.
 - Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
 - Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
 - Stud wall lumber and embossed wood grain are prohibited.
 - Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

- To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.
- A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.
- There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.
- At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

- On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.
- On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.

- The lot area on which a DADU is placed shall comply with Table 17.12.020A.
- The DADU may not exceed the maximums outlined previously for outbuildings.
- No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.

Density.

- A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.

Ownership.

- No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.
- The DADU cannot be divided from the property ownership of the principal dwelling.
- The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
- Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.

Bulk and Massing.

- The living space of a DADU shall not exceed seven hundred square feet.

Background: The house located at 210 Leonard Avenue was built c. 1948 and is listed in the Whitland National Register district as a contributing building (Figure 1). MHZC approved an addition to the historic house in February 2018. The addition has been completed, and the applicant constructed a new one and one-half story outbuilding. The new outbuilding was built on the same foundation as the previous outbuilding and has the same footprint (Figures 1 and 2). The work occurred without Building and Preservation permits. The outbuilding will not include a dwelling unit.



Figures 1 & 2: Existing outbuilding that was constructed without permits (left), and aerial map showing previous outbuilding (right).

Analysis and Findings: Application is for a new outbuilding and includes requests for setback determinations to reduce the rear setback from three feet (3') to two feet, ten inches (2'-10") and to reduce the left side setback from three feet (3') to one foot, ten inches (1'-10"). The outbuilding was constructed on an existing foundation.

Site Planning & Setbacks:

| | MINIMUM | PROPOSED |
|---|----------------|-----------------|
| Building located towards rear of lot | n/a | Yes |
| Space between principal building and DADU/Garage | 20' | 22' |

| | | |
|--------------------------------------|-------------------------------------|-------------------|
| Rear setback | 3' | 2'-10''* |
| L side setback** | 3' | 1'-10''* |
| R side setback** | 3' | 38' |
| How is the building accessed? | From the alley or existing curb cut | Existing curb cut |

* Base zoning requires three feet (3') side and rear setbacks when the outbuilding's footprint is less than seven hundred square feet (700 sq. ft.) like this one. The footprint of the outbuilding is four hundred feet (400 sq. ft.). It does not meet base zoning setbacks on the left side and rear. While the new outbuilding was constructed without permits, it was constructed on the foundation of the previous outbuilding with the same footprint. The structure is one foot, ten inches (1'-10'') from the left side property line and two feet, ten inches (2'-10'') from the rear property line. Staff finds that the requested setback determinations could be appropriate given the small footprint and use of an existing foundation if the rest of the outbuilding meets the design guidelines.

The project meets Section II.B.1.i.2 of the design guidelines.

Massing Planning:

| | Existing conditions (height of historic portion of the home to be measured from finished floor) | Potential maximums (heights to be measured from grade) | Proposed (should be the same or less than the lesser number to the left) |
|---------------------|--|---|---|
| Ridge Height | 20'-5'' | 20'-5'' | 19'5'' |
| Eave Height | 10'-6'' | 10' | 10' |

| | Lot is less than 10,000 square feet | 50% of first floor area of principle structure | Proposed footprint |
|-------------------------------|--|---|---------------------------|
| Maximum Square Footage | 750 sq. ft. | 1272 sq. ft. | 400 sq. ft. |

The new outbuilding will have a ridge height of nineteen feet, five inches (19'5''), which is one foot (1') lower than the height of the house from the foundation line. The previous outbuilding had an overall height of approximately fourteen feet (14').

Staff finds that the project meets Section II.B.1..i.1 of the design guidelines.

General requirements for outbuildings and DADUs:

| | YES | NO |
|--|------------|-----------|
| If there are stairs, are they enclosed? | Yes | |
| If a corner lot, are the design and materials similar to the principle building? | N/A | |
| If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side? | Yes | |
| If dormers are used, do they sit back from the wall below by at least 2'? | | No* |
| Is the roof pitch at least 4/12? | Yes | |
| If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door? | N/A | |
| Is the building located towards the rear of the lot? | Yes | |

* While the plans show the dormers as setting in two feet (2') from the walls below, the dormers were constructed flush with the walls below (Figure 3). The applicant has agreed to set the dormers in the two feet (2') as required by the design guidelines.

With the condition that the dormers inset two feet (2') from the wall below, staff finds that the project meets Sections II.B.1.i.1 and II.B.1.i.2 of the design guidelines.

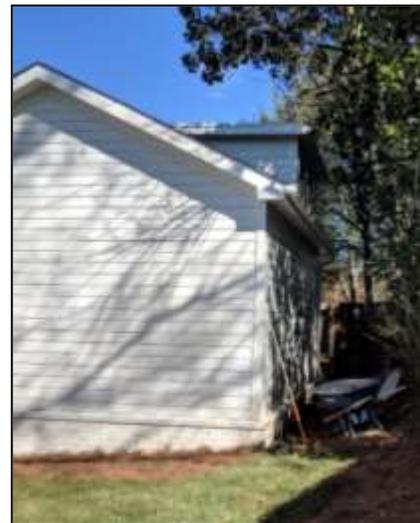


Figure 3: Rear dormer as built

Roof Shape:

| Proposed Element | Proposed Form | Typical of district? |
|-------------------------|----------------------|-----------------------------|
| Primary form | Side gable | Yes |
| Primary roof slope | 10/12 | Yes |
| Dormer | Shed | Yes |
| Dormer roof slope | ~ 2/12 | Yes |

The project meets Section II.B.1.i.1.

Design Standards: The outbuilding has a simple design that is appropriate for outbuildings. Its roof form, detailing, and form do not contrast greatly with the primary structure. The windows are all twice as tall as they are wide. As constructed, the dormers do not meet the design guidelines as they do not set in two feet (2') from the wall below, but the applicant has agreed to correct this so that the dormers do meet the design requirements of the design guidelines. The proposed design of the outbuilding does not contrast greatly with the surrounding historic buildings and therefore meets Section II.B.1.i.1.

Materials:

| | Proposed | Color/Texture | Approved Previously or Typical of Neighborhood | Requires Additional Review? |
|------------------------|----------------------------|---------------------------|---|------------------------------------|
| Foundation | Brick | Painted to match addition | Yes | No |
| Cladding | Lap siding | 5" reveal, smooth | Yes | No |
| Roofing | Asphalt shingles | Color to match existing | Yes | No |
| Trim | Composite trim | To match addition | Yes | No |
| Windows | Unknown | Needs final approval | Yes | Yes |
| Pedestrian Door | Not indicated | Needs final approval | TBD | Yes |
| Vehicular Doors | Carriage style garage door | Needs final approval | TBD | Yes |

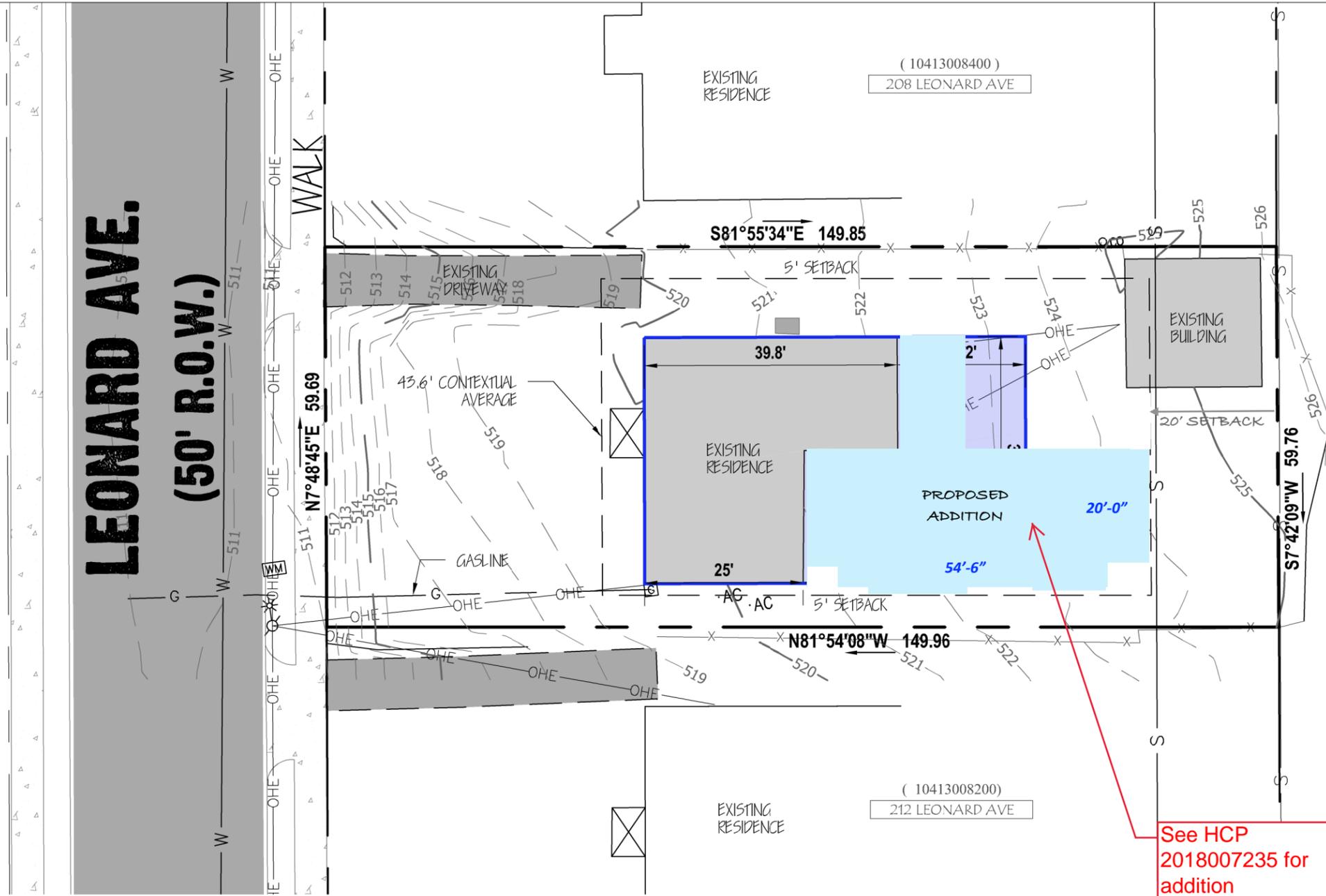
With the staff's final approval of all windows and doors, staff finds that the known materials meet Section II.B.1.i.1 of the design guidelines.

Recommendation Summary: Staff recommends approval with the following conditions:

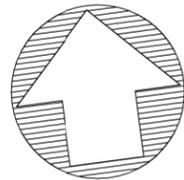
1. The dormers be removed from the cross gable form, or a simple side gable roof form be used with dormers that cover no more than fifty-percent (50%) of the roof and that are set back two feet (2') from the wall below; and
2. Staff approve all windows and doors.

With these conditions, staff finds that the proposed addition to the outbuilding meets Section II.B.1.i. of the Whitland Neighborhood Conservation Zoning Overlay design guidelines.

LEONARD AVE. (50' R.O.W.)



See HCP
2018007235 for
addition



GRAPHIC SCALE (IN FEET)



1 inch = 20 ft.



CLINT ELLIOTT SURVEY
1711 Hayes Street
Nashville, TN 37203
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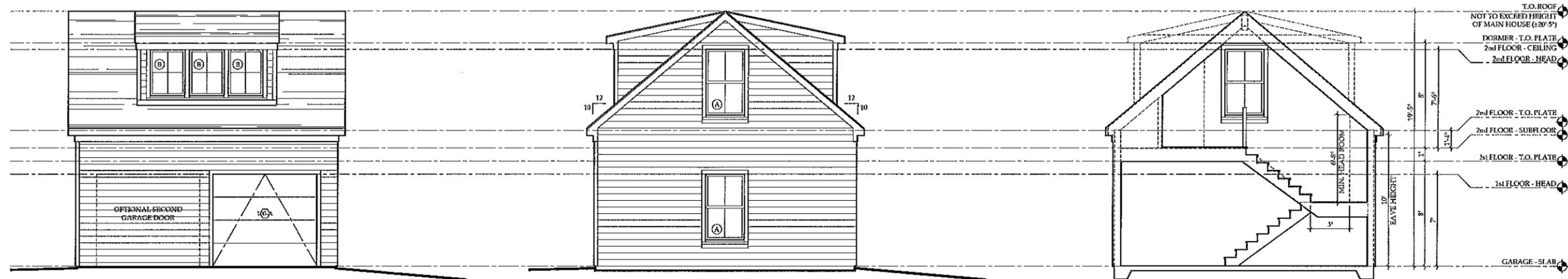
Site Plan 210 Leonard Avenue Nashville, Davidson County, Tennessee

Sheet No.
V-2.1

Half scale

LEONARD AVENUE RESIDENCE
210 LEONARD AVENUE
NASHVILLE, TN 37205

GARAGE



6 WEST ELEVATION (EAST SIMILAR)

FULL SIZE: 1/4"=1'-0"
HALF SIZE: 1/8"=1'-0"



5 SOUTH ELEVATION (NORTH SIMILAR)

FULL SIZE: 1/4"=1'-0"
HALF SIZE: 1/8"=1'-0"

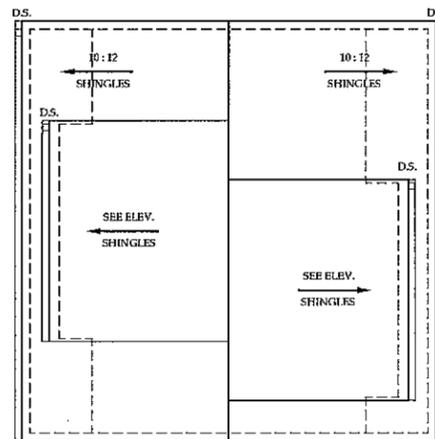


4 BUILDING SECTION

FULL SIZE: 1/4"=1'-0"
HALF SIZE: 1/8"=1'-0"

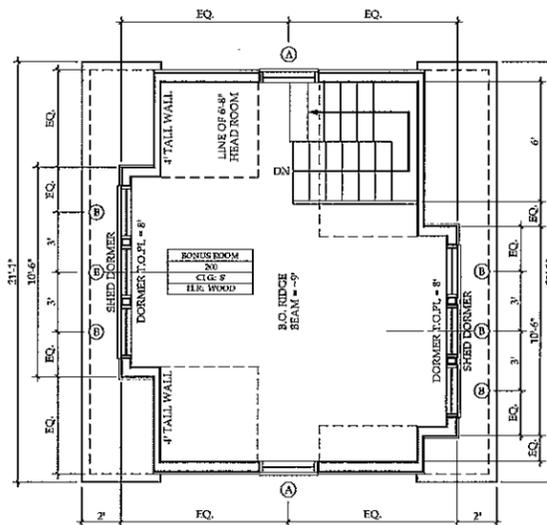


REVISIONS
△



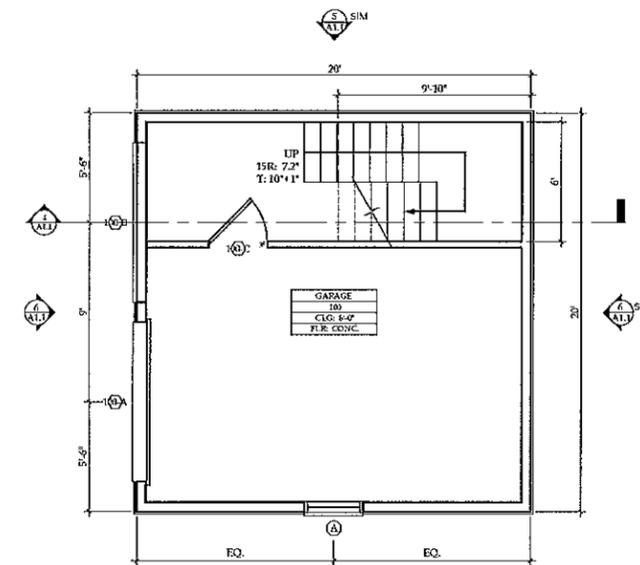
3 ROOF PLAN

FULL SIZE: 1/4"=1'-0"
HALF SIZE: 1/8"=1'-0"



2 SECOND FLOOR PLAN

FULL SIZE: 1/4"=1'-0"
HALF SIZE: 1/8"=1'-0"



1 FIRST FLOOR PLAN

FULL SIZE: 1/4"=1'-0"
HALF SIZE: 1/8"=1'-0"



WELLS DESIGN ASSOCIATES
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A1.1

ISSUED FOR REVIEW
NOT FOR CONSTRUCTION
DATE: 07.16.18