

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

808 Shelby Avenue
March 20, 2019

Application: New Construction—Addition; Setback Determination
District: Edgefield Historic Preservation Zoning Overlay
Council District: 06
Map and Parcel Number: 082160X00100CO & 082160X00200CO
Applicant: Jeff Checko
Project Lead: Melissa Sajid, melissa.sajid@nashville.gov

Description of Project: Application is to construct deck additions to both side façades, and to reduce both side setbacks from five feet (5') to three feet (3').

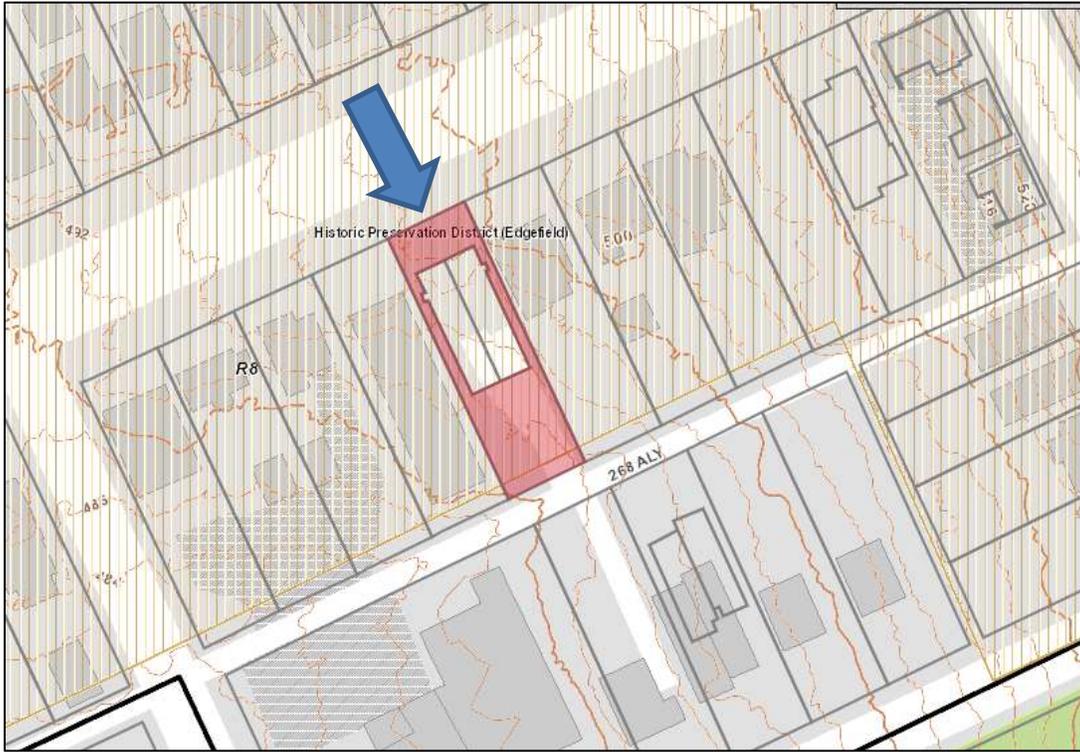
Recommendation Summary: Staff recommends disapproval of the proposed side deck additions and the requested setback determinations, finding that the project does not meet Sections III.B.1 (Additions), III.B.2.a (Setback and Rhythm of Spacing), and III.B.2.g (Materials) of the Edgefield Historic Preservation Zoning Overlay design guidelines.

A preservation permit (HCP 2019006685) was issued administratively in February 2019 for exterior stairs to allow egress from the doors on the side façade as staff found that those plans met both the Edgefield design guidelines and the bulk standards of the Zoning Code.

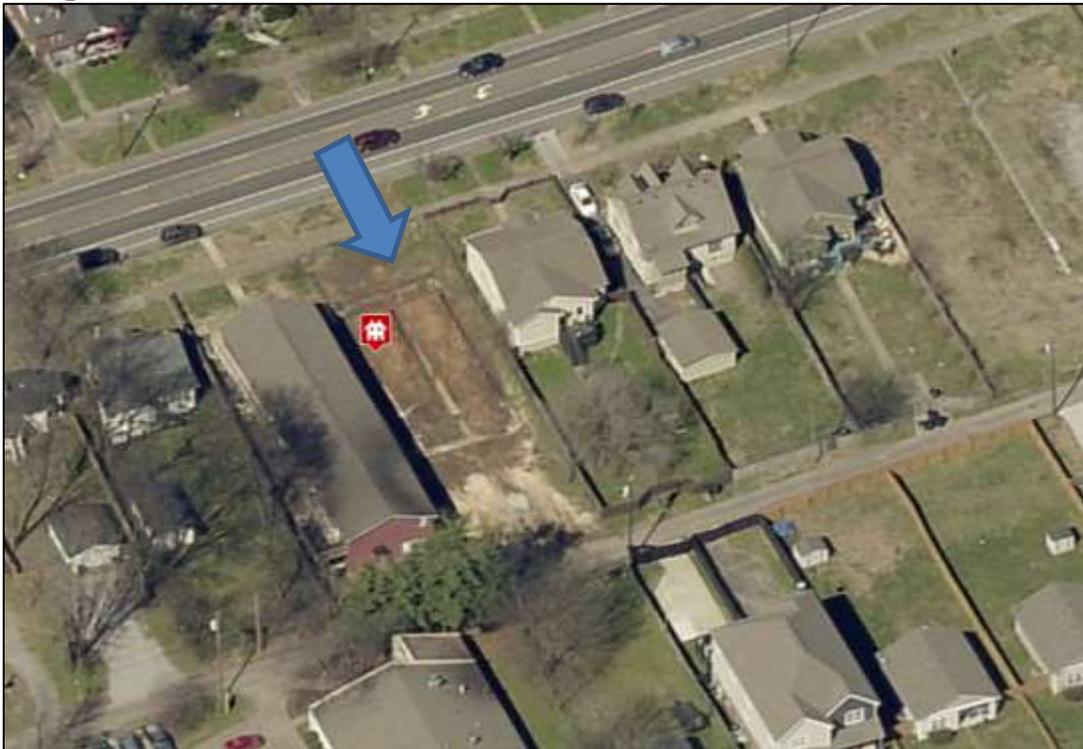
Attachments

- A:** Photographs
- B:** Site Plan
- C:** Floorplans and Elevations
- D:** HCP 2019006685

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III.B NEW CONSTRUCTION AND ADDITIONS TO HISTORIC AND NON-HISTORIC BUILDINGS

III.B.1 Additions

- a. Generally, an addition should be situated at the rear of a building in a way that will minimize the visual impact upon both public facades.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

In order to assure that an addition has achieved proper scale, the addition should:

- No matter their use, not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.*
- Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*
- Generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*

- An extreme grade change*
- Atypical lot parcel shape or size*

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.

When an addition needs to be taller:

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.

When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.

In addition, a rear addition that is wider should not wrap the rear corner.

Ridge raises

Ridge raises are most appropriate for one-story, side-gable buildings, (without clipped gables) and that require more finished height in the attic. The purpose of a ridge raise is to allow for conditioned space in the attic and to discourage large rear or side additions. The raised portion must sit in a minimum of 2' from each side wall and can be raised no more than 2' of total vertical height within the same plane as the front roof slope.

Sunrooms

Metal framed sunrooms, as a modern interpretation of early green houses, are appropriate if they are mostly glass or use appropriate cladding material for the district, are located at the rear in a minimally visible location, are minimally attached to the existing structure, and follow all other design guidelines for additions.

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

Side Additions

When a lot width exceeds 60' or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure.

Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.

To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

- c. An addition should be compatible, by not contrasting greatly, with the height, scale, roof form, proportion and rhythm of openings, materials, texture, details, and material color of the associated building.
- d. The creation of an addition through enclosure of a front porch is not appropriate.
- e. The enclosure of side porches may be appropriate if the visual openness and character of the porch is maintained.
- f. Dormers generally should not be introduced where none existed originally.

Rear Dormers

Rear dormers should be inset from the side walls of the building by a minimum of two feet. The top of a rear dormer may attach just below the ridge of the main roof or lower.

- g. Additions should follow the guidelines for new construction.

Italicized sections of the guidelines contain interpretive information that is meant to make the guidelines easier to understand; they are not part of the guidelines themselves. Illustrations are intended only to provide example buildings and circumstances. It is important to remember that every building is different and what may be appropriate for one building or site may not be appropriate for another.

6. Every building, structure, and site shall be recognized as a product of its own time. Alterations that have not historical basis and which seek to create an earlier appearance are not appropriate.

This principle precludes the "theme park effect." Fake old buildings are not appropriate. New buildings

inspired by historic styles, but identifiable as new construction, can be appropriate.

It is important to note the variety of historic architectural styles and house types represented in Edgefield. Although roofs, windows, doors, porches, and other elements, may be common to all, each house possesses particular details and features that distinguishes it from others. The unique character of each historic building should be preserved in order to maintain the integrity of the district as a whole.

7. Changes which have taken place over the course of time are evidence of the history and development of a building, structure, or site and its environment. If the changes have acquired significance in their own right, they should be retained.

For example, as tastes changed in the first quarter of the twentieth century, Victorian Era styles were replaced by Colonial Revival and Bungalow styles. An addition or major remodel in a new style to an earlier house can sometimes be as architecturally important as an unaltered historic house.

III.B.2 New Construction

a. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained.

Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings reinforce that rhythm.

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setback reductions will be determined based on:

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

Appropriate height limitations will be based on:

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- *There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- *The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- *An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

b. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

For those lots located within the Corner Commercial Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. An additional story may be added to a building provided

that, where it is adjacent to a detached house or a residential subdistrict, it is set back a minimum of 25' from the building wall or 50' from the property line. Three story building height shall not exceed 45'. All front and side buildings walls shall be a minimum of 16' in height and at the build-to line. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor.

c. Building Shape

The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

d. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

e. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Duplexes

Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

Multi-unit Developments

For multi-unit developments, interior dwellings should be subordinate to those that front the street. Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.

For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between

buildings along the street.

f. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

g. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7"). Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

Background: The applicant proposes side additions to an infill duplex that MHZC approved in 2017 (Figure 1). The request includes setback determinations to reduce both side setbacks from five feet (5') to three feet (3'). Staff administratively approved a carport outbuilding (HCP 2019010544) as well as second level uncovered deck on the rear and uncovered exterior stairs from the side doors to grade (HCP 2019006685) in February 2019. The proposed addition would connect the side stairs to the rear deck.



Figure 1: Infill at 808 Shelby Avenue

Analysis and Findings: ~~This is a proposal to demolish the existing building and construct a new duplex on the lot.~~

Setback & Rhythm of Spacing: The proposed decks will be located three feet (3') from the side property lines. The Zoning Code requires a minimum side setback of five feet (5') and allows for certain elements to encroach into the side setback such as chimneys, porch coverings, eaves, gutters, and uncovered stairs or fire escapes. Staff administratively approved a stoop covering and uncovered stairs from the side doors in February 2019 (Figures 2 & 3).

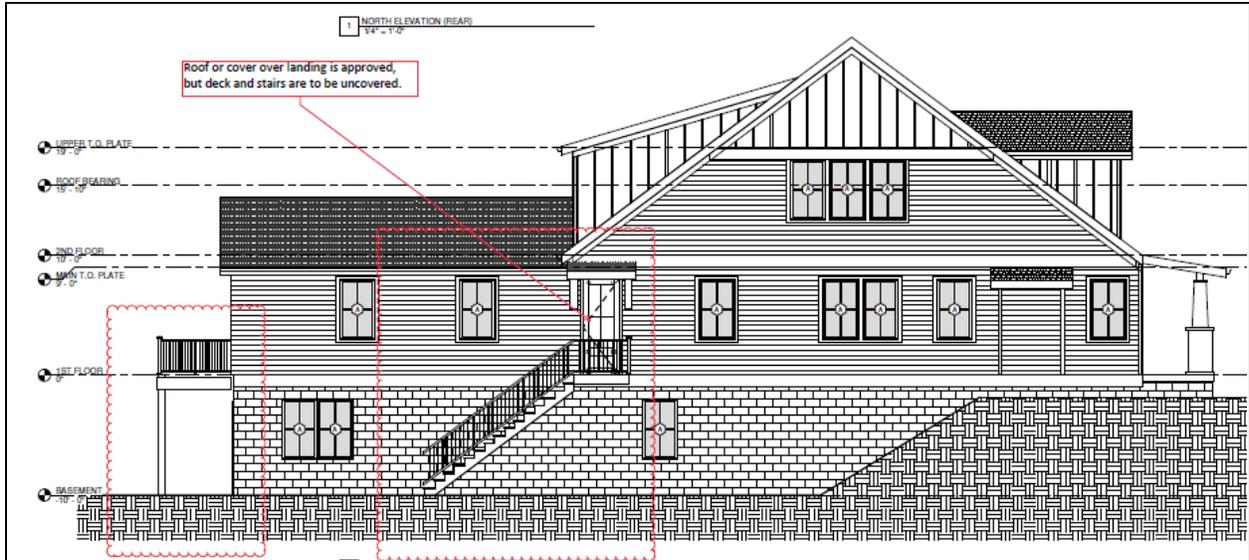


Figure 2: Exterior stairs and rear deck approved administratively by staff in February 2019



Figure 3: Construction of landing for exterior stairs

The proposed addition would connect the side entrance to the rear deck. At that point, the Zoning Code considers the proposed addition an uncovered deck, which is not permitted to encroach into the minimum five feet (5') side setback. As proposed the addition would be three feet (3') from both side property lines and would need a setback determination to reduce both side setbacks from five feet (5') to three feet (3'). Setback determinations take into account historic conditions; however, this proposal does not meet any of those conditions where setbacks less than those required by the bulk standards have been found appropriate for the historic context.

Staff finds that the project does not meet Section III.B.2.a.

Height & Scale: The addition does not add additional height to the infill but will add an additional four feet (4') to the width and approximately seventy-two square feet (72 sq. ft.) to the footprint. The infill was approved with the minimum side setbacks permitted for the base zoning. Staff finds that increasing the width will further increase the scale of an infill that was already approved on the high end of the historic context for width.

As the proposed addition increases the width of the existing house, staff finds that the project is not appropriate with regard to height and scale and does not meet Sections III.B.2.a and b.

Design, Location & Removability: The addition is located on both sides of the house. The decks start approximately thirty-five feet (35') behind the front wall, extend two feet (2') wider than the house, and extend beyond the rear wall.

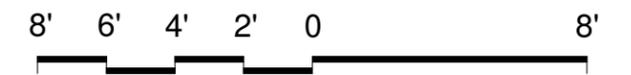
The design guidelines state that additions should be located at the rear of the house. Side additions may be appropriate when the width of the lot exceeds sixty feet (60') or the standard width on the block. The subject property does not meet the criteria for side additions as the lot is only fifty feet (50') wide, which is the typical lot width on this block of Shelby Avenue. The project does not meet Section III.B.1.

Materials: While the material to be used for the decking is not labeled on the plans, it would likely be constructed of wood. Wood is typically an appropriate material for a deck if it were located at the rear. However, staff finds that the materials are not visually compatible on a potentially public façade as decking materials are generally not seen from the street. Exterior stairs using the same material were previously approved by staff to provide egress from the side doors as they met all design guidelines and bulk standards of the Zoning Code.

Staff finds that the project does not meet Section III.B.2.g.

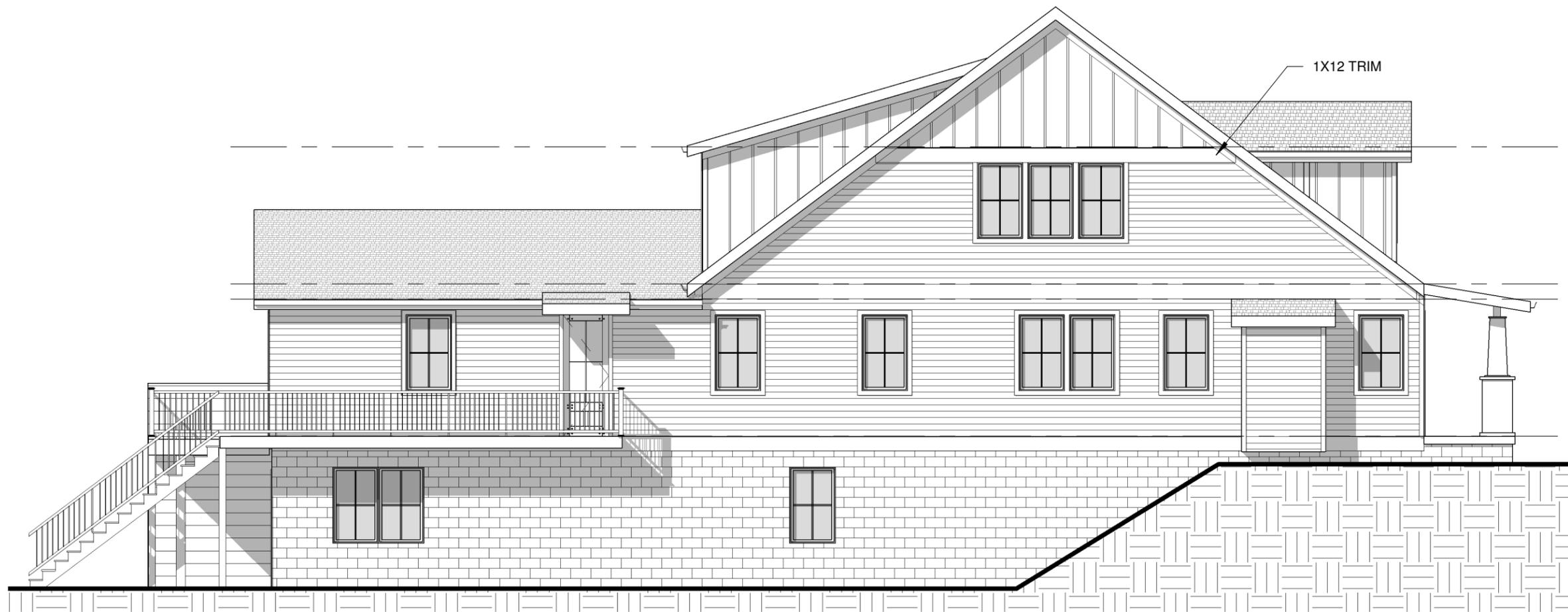
Recommendation: Staff recommends disapproval of the proposed side deck additions and the requested setback determinations, finding that the project does not meet Sections III.B.1 (Additions), III.B.2.a (Setback and Rhythm of Spacing), and III.B.2.g (Materials) of the Edgefield Historic Preservation Zoning Overlay design guidelines.

A preservation permit (HCP 2019006685) was issued administratively in February 2019 for exterior stairs to allow egress from the doors on the side façade as staff found that those plans met both the Edgefield design guidelines and the bulk standards of the Zoning Code.



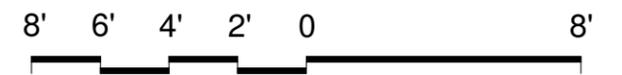
FRONT ELEVATION

808 SHELBY



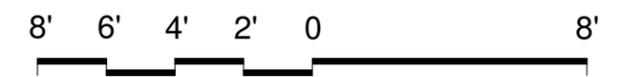
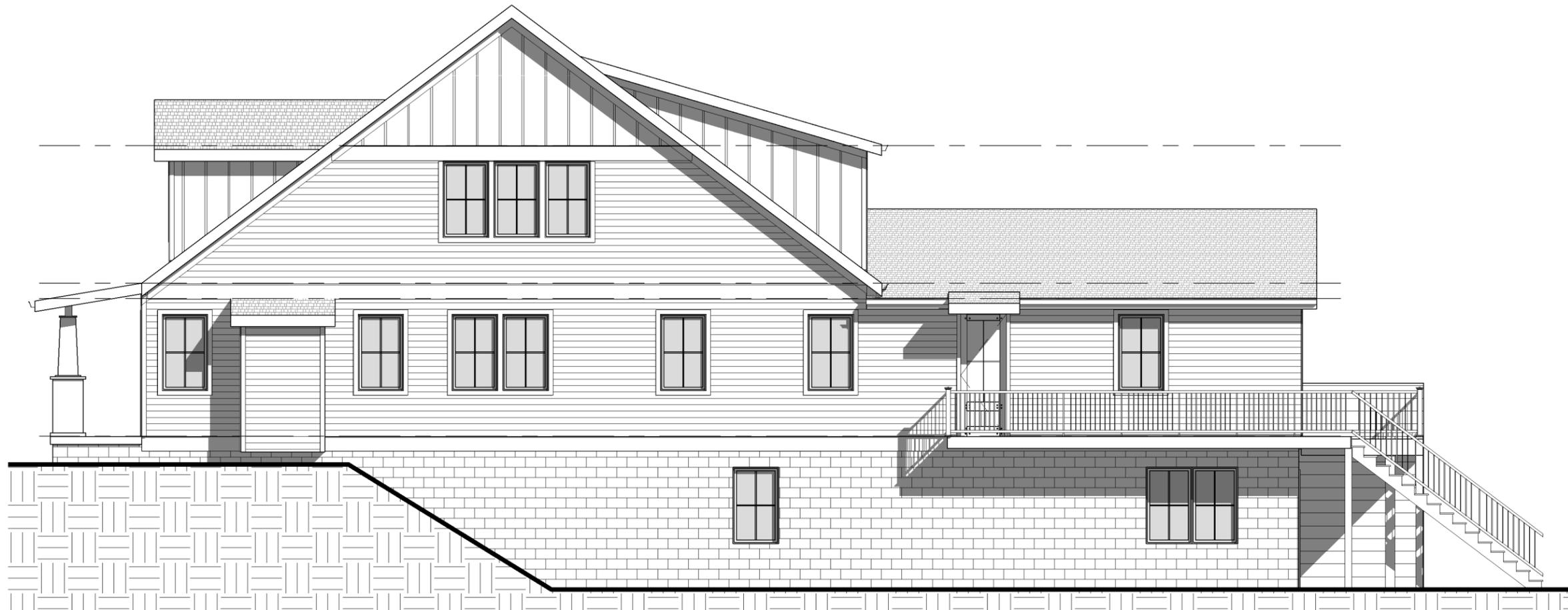
808 SHELBY

JENNER
ARCHITECTURE | DESIGN



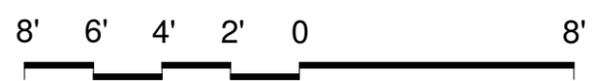
LEFT ELEVATION

08/31/17



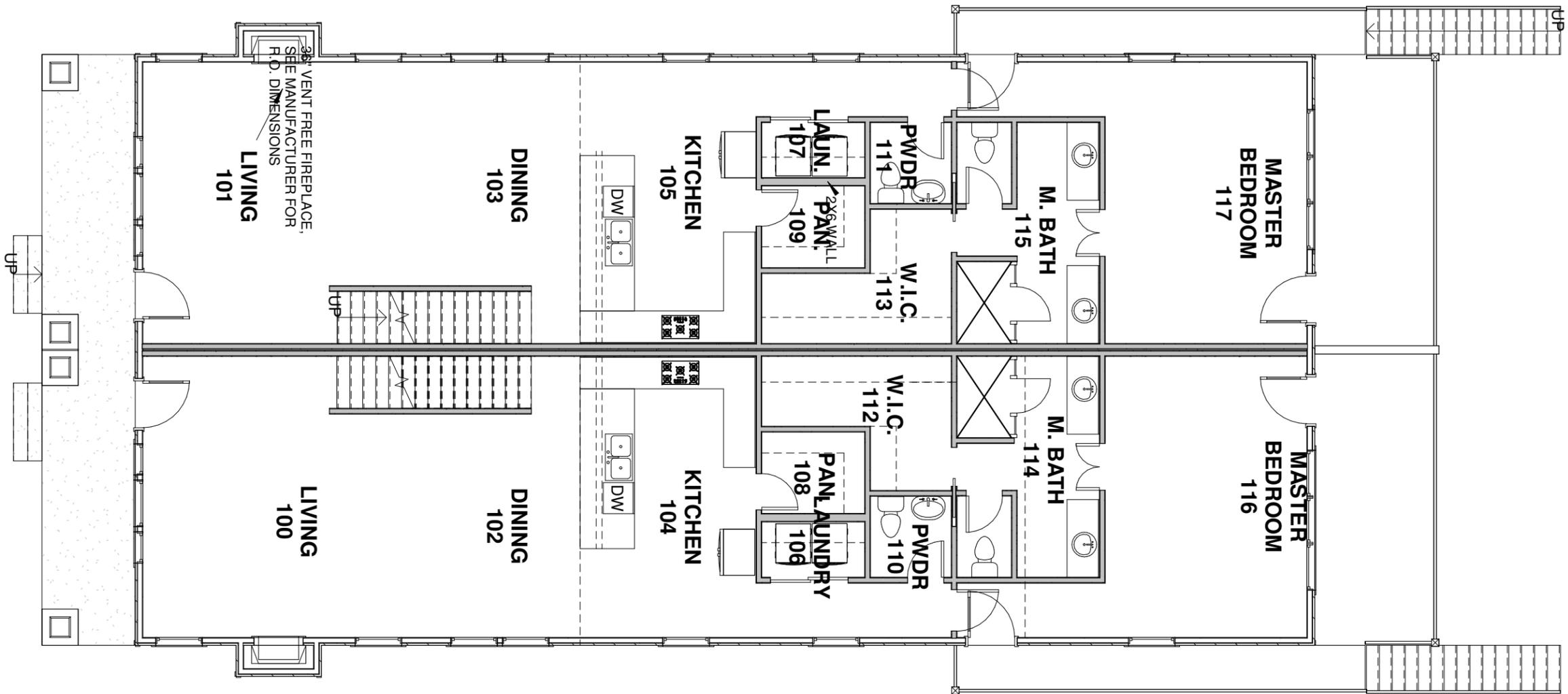
808 SHELBY

RIGHT ELEVATION



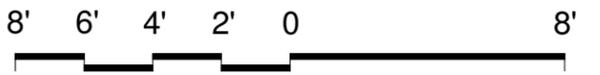
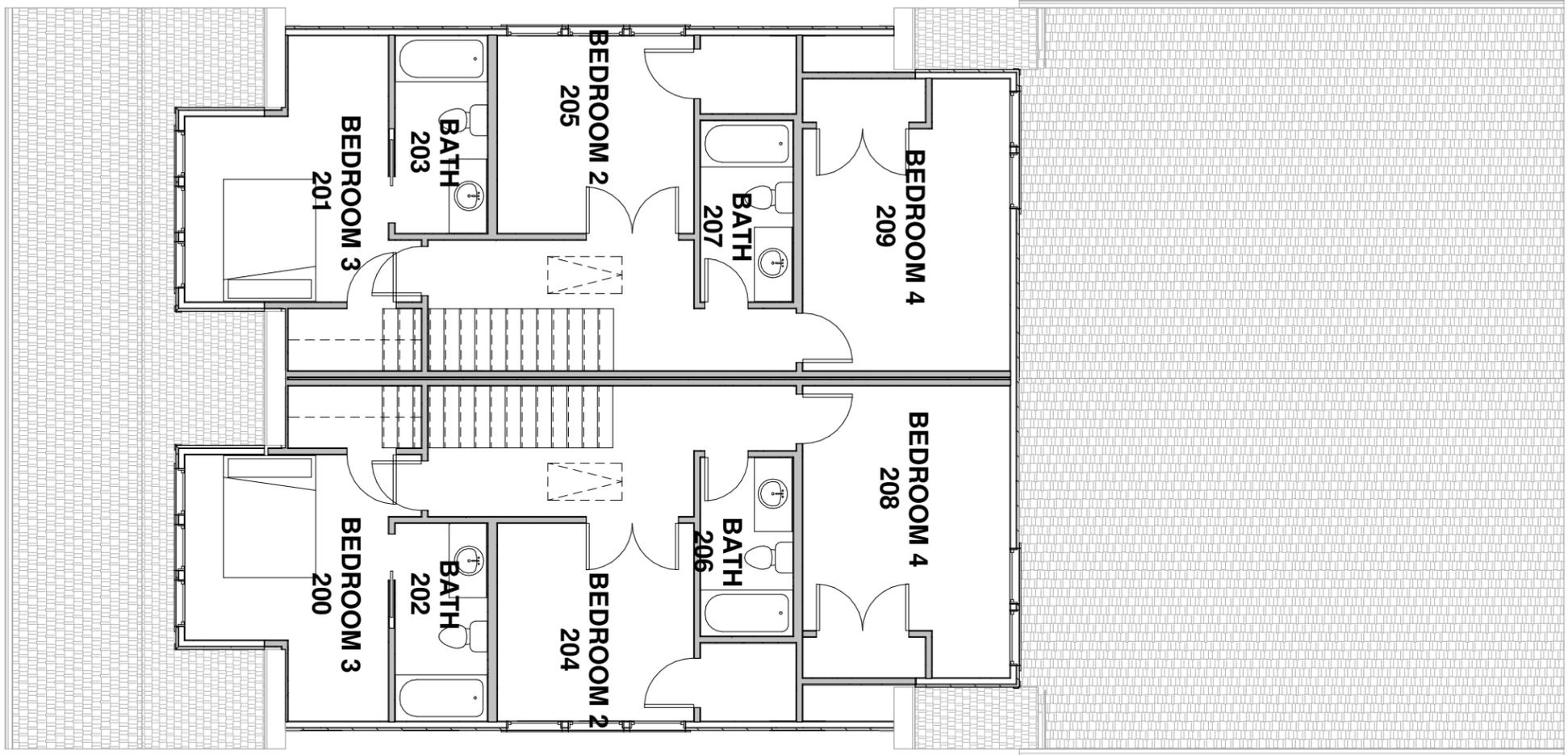
REAR ELEVATION

808 SHELBY



808 SHELBY

1ST FLOOR



2ND FLOOR

808 SHELBY



3600447



METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park
3000 Granny White Pike
Nashville TN 37204
(615) 862-7970
histlap1@nashville.gov

HISTORICAL COMMISSION PERMIT - 2019006685

Entered on: 01-Feb-2019

Site Address

808 SHELBY AVE
NASHVILLE TN, 37206

Historic District: Edgefield HPZO

Parcel Owner

CHECKO, JEFFREY
1133 WARRIOR DR
FRANKLIN, TN 37064

Purpose: Construct Rear Deck & Side Staircase with Landing

SPECIFICATIONS

- See attached architectural plans.
- Deck and stairs to be wood.
- Deck and stairs to be uncovered.

GENERAL NOTES

MHZC Staff may have added notes to submitted drawings that are a part of this permit. Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken or materials being purchased.

All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.

This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.

THIS IS NOT A BUILDING PERMIT nor does it permit any particular type of use. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

INSPECTIONS REQUIRED - Call: (615) 862-7970:

ROUGH FRAMING INSPECTION
FINAL INSPECTION

APPLICANT: Jeff Checko

Issued Date: 01-Feb-2019 **Issued By:** Sean Alexander

PROJECT MANAGER:
TELEPHONE EXT:
e-mail:

In Association with:

Project Manager:

e-mail:

Project Manager:

e-mail:

THESE DRAWINGS ARE FOR DESIGN INTENT

IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE CONSTRUCTION MEETS OR EXCEEDS ALL APPLICABLE CODES

IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL SYSTEMS WITH THE FRAMEWORK AND AESTHETICS OF THIS HOUSE.

HISTORICAL COMMISSION PERMIT 2019006685
CALL 615-862-7970 FOR QUESTIONS, CHANGES, AND FINAL INSPECTION

808 SHELBY
PERMIT DOCUMENT SUBMITTAL
NASHVILLE TN

Revision Schedule

Revision Number	Revision Description	Revised Date

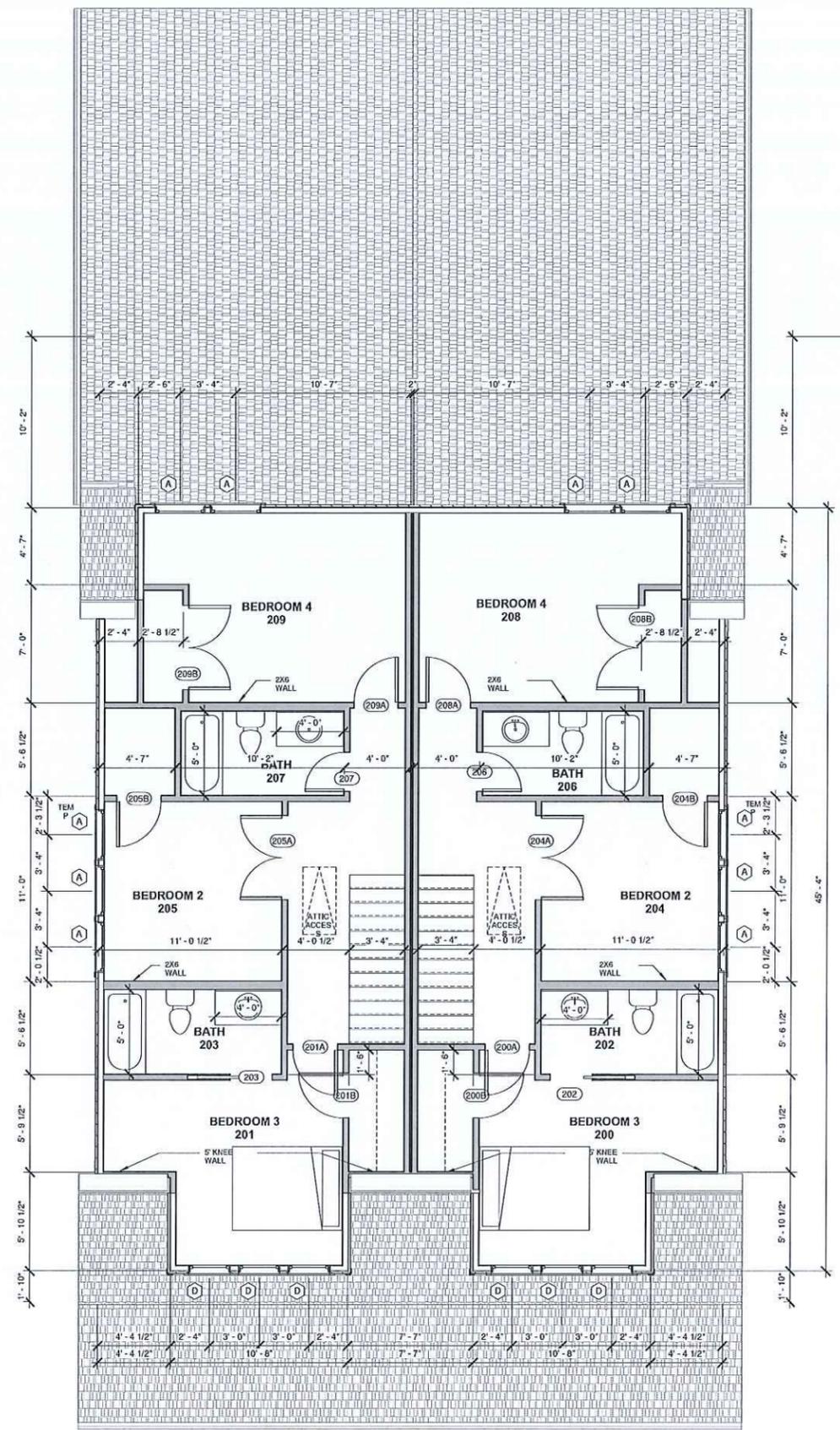
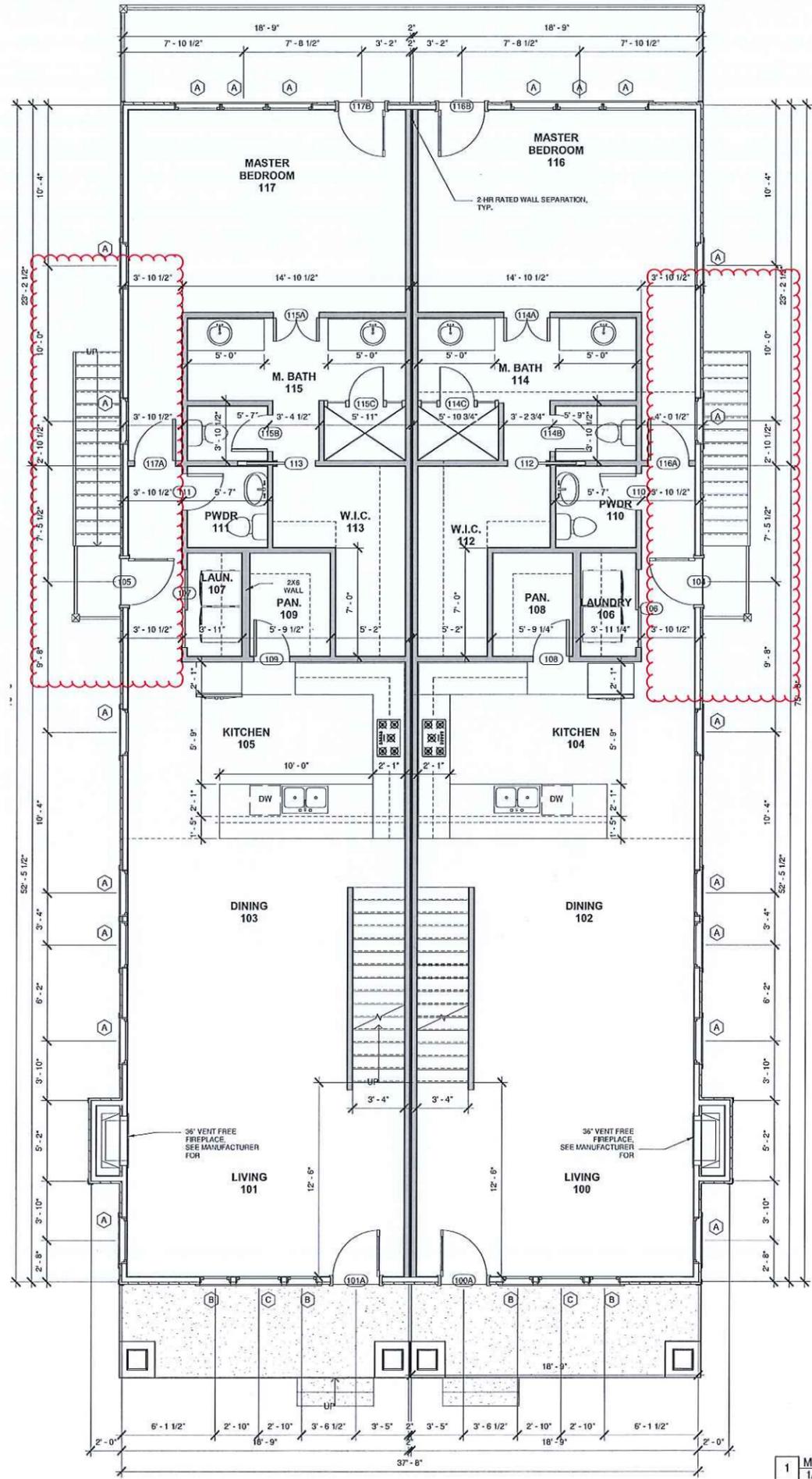
Sheet Information

Date	10/03/20
Job	0000
Number	
Auth	
Checked	
Approved	
By:	

THESE DOCUMENTS ARE THE PROPERTY OF JENNER DESIGN, INC. AND SHALL NOT BE REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF JENNER DESIGN, INC.

© JENNER DESIGN, INC. 2014
Sheet Description:
FLOOR PLANS

Sheet
A101

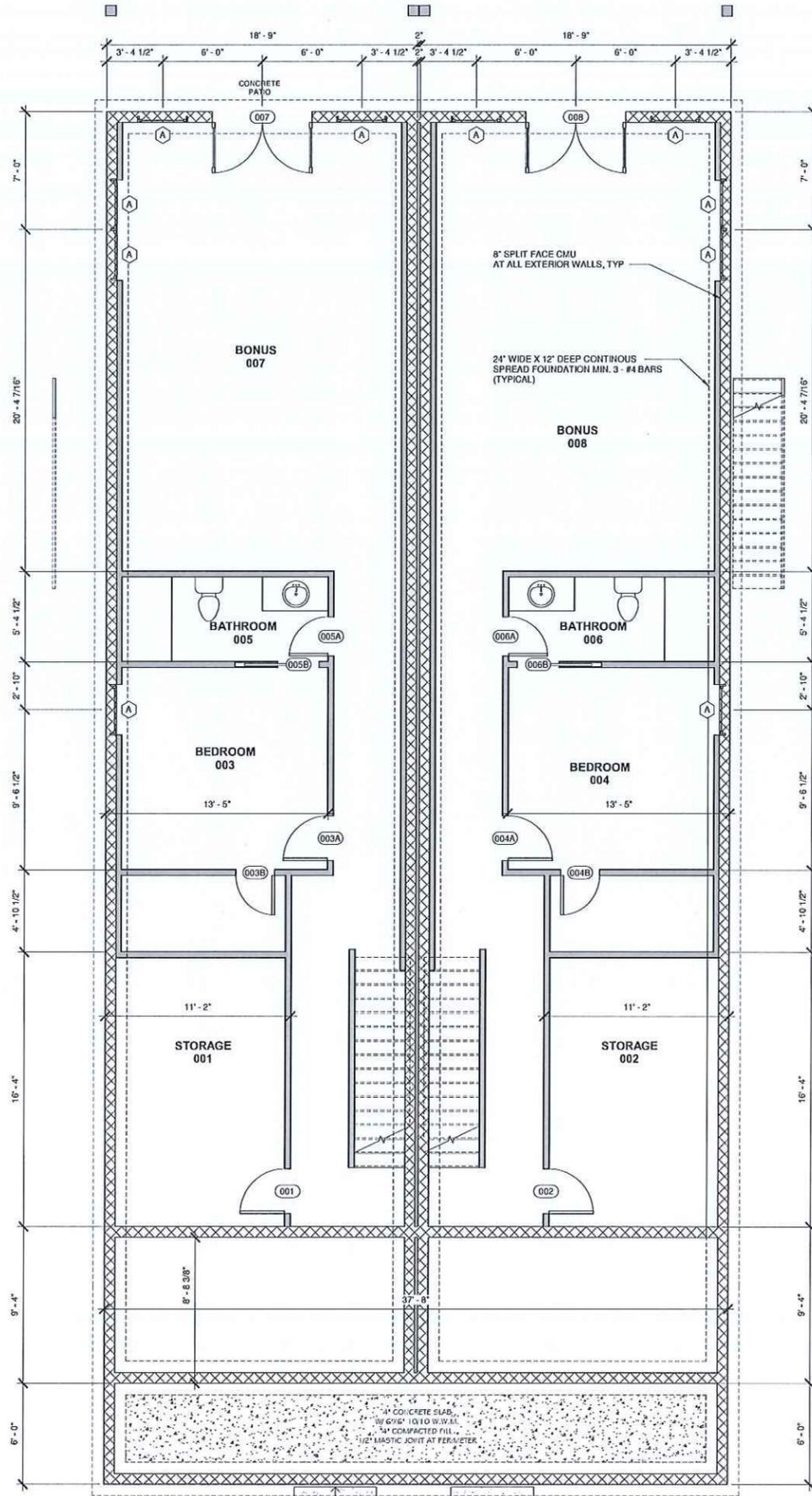


Half scale

MARK	ROOM NAME	SIZE	DOOR TYPE
001	STORAGE	2'-0" x 8'-0"	
002	BONUS	2'-0" x 8'-0"	
003A	BEDROOM	2'-4" x 8'-0"	
003B	BEDROOM	2'-4" x 8'-0"	
004A	BONUS	2'-4" x 8'-0"	
004B	BEDROOM	2'-4" x 8'-0"	
005A	BATHROOM	2'-4" x 8'-0"	
005B	BATHROOM	2'-4" x 8'-0"	
006A	BONUS	2'-4" x 8'-0"	
006B	BEDROOM	2'-4" x 8'-0"	
007	BONUS	PR 3'-0" x 7'-8"	
008	BONUS	PR 3'-0" x 7'-8"	
100A	LIVING	EXT DOOR 3x8	
101A	LIVING	EXT DOOR 3x8	
104	KITCHEN	EXT DOOR 3x8	
105	KITCHEN	EXT DOOR 3x8	
106	LAUNDRY	5'-0" x 6'-8" SLIDING	
107	LAUN.	5'-0" x 6'-8" SLIDING	
108	KITCHEN	2'-4" x 8'-0"	
109	PAN.	2'-4" x 8'-0"	
110	KITCHEN	2'-4" x 8'-0"	
111	PWDR	2'-4" x 8'-0"	
112	M. BATH	2'-4" x 8'-0"	
113	W.I.C.	2'-4" x 8'-0"	
114A	MASTER BEDROOM	2'-4" x 8'-0"	
114B	M. BATH	2'-4" x 8'-0"	
114C	M. BATH	Custom Wall Sgl Glass	
115A	M. BATH	2'-4" x 8'-0"	
115B	M. BATH	2'-4" x 8'-0"	
115C	M. BATH	Custom Wall Sgl Glass	
116A	KITCHEN	2'-4" x 8'-0"	
116B	MASTER BEDROOM	EXT DOOR 3x8	
117A	MASTER BEDROOM	2'-4" x 8'-0"	
117B	MASTER BEDROOM	EXT DOOR 3x8	
200A	BATHROOM	2'-4" x 8'-0"	
200B	BEDROOM 3	2'-4" x 8'-0"	
201A	BEDROOM 3	2'-4" x 8'-0"	
201B	BEDROOM 3	2'-4" x 8'-0"	
202	BEDROOM 3	2'-4" x 8'-0"	
203	BATH	2'-4" x 8'-0"	
204A	BATHROOM	5'-0" x 8'-0"	
204B	BEDROOM 2	5'-0" x 8'-0"	
205A	BEDROOM 2	5'-0" x 8'-0"	
205B	BEDROOM 2	5'-0" x 8'-0"	
206	BATHROOM	2'-4" x 8'-0"	
207	BATH	2'-4" x 8'-0"	
208A	BATHROOM	2'-4" x 8'-0"	
208B	BEDROOM 4	5'-0" x 8'-0"	
209	BEDROOM 4	5'-0" x 8'-0"	

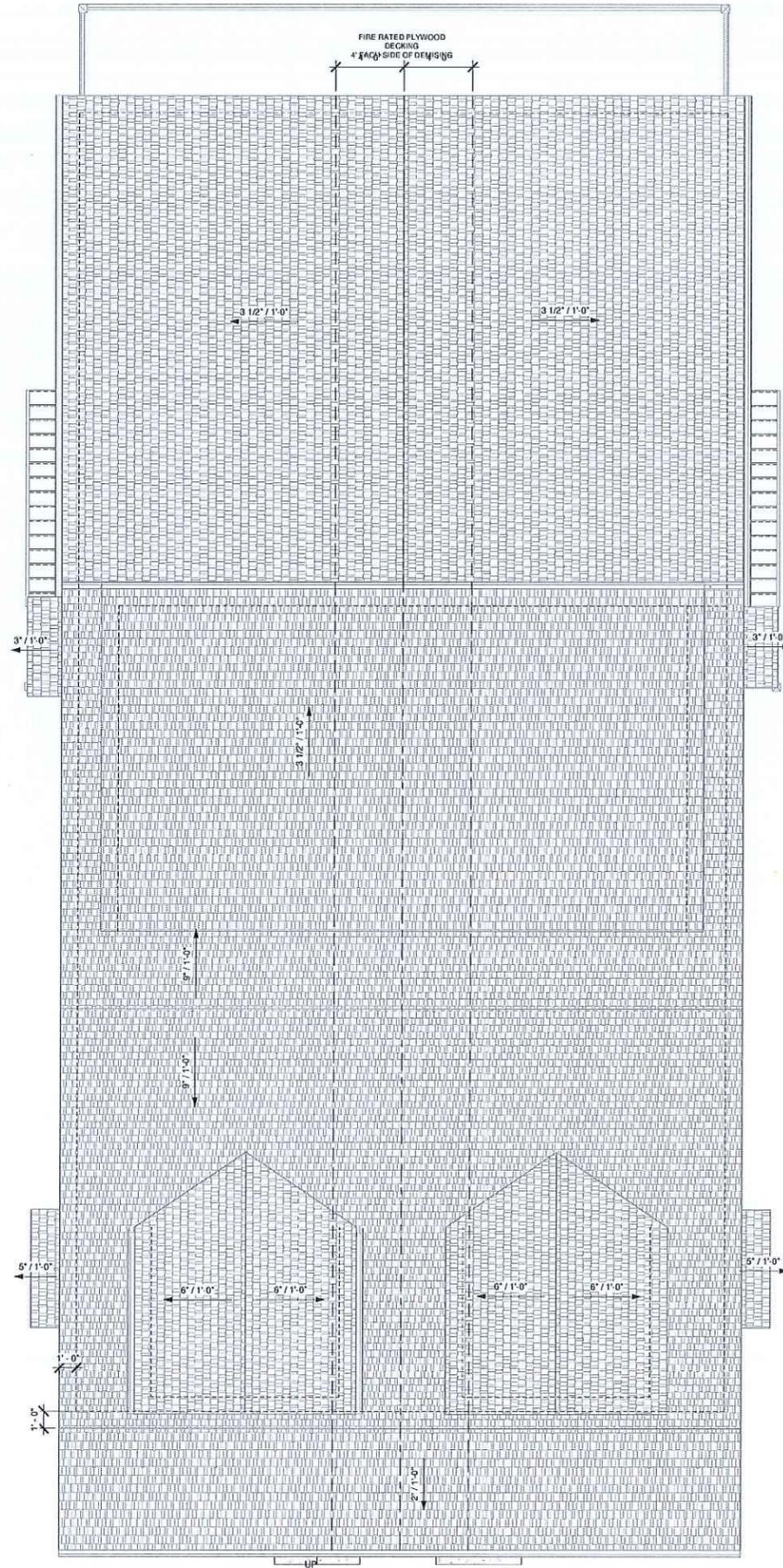
WINDOW SCHEDULE

Type Mark	Type	Count	Comments
A	Single Hung 36" x 60"	40	
B	Single Hung 24" x 72"	4	
C	Single Hung 36" x 72"	2	
D	Single Hung 30" x 60"	6	



2 FOUNDATION PLAN
1/4" = 1'-0"

Half scale



1 ROOF PLAN
1/4" = 1'-0"

HISTORICAL COMMISSION PERMIT 2019006685
CALL 615-862-7970 FOR QUESTIONS, CHANGES, AND FINAL INSPECTION

PROJECT MANAGER:
TELEPHONE EXT.:
e-mail:
In Association with:
Project Manager:
e-mail:
Project Manager:
e-mail:

THESE DRAWINGS ARE FOR DESIGN INTENT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE CONSTRUCTION MEETS OR EXCEEDS ALL APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL SYSTEMS WITH THE FRAMEWORK AND AESTHETICS OF THIS HOUSE.

808 SHELBY
PERMIT DOCUMENT SUBMITTAL
NASHVILLE TN

Revision Schedule

Revision Number	Revision Description	Revis' Date

Sheet Information

Date	10/03/20
Job	0000
Number	Auth
Checked	Check
Approved	Check
By:	Approv

THESE DOCUMENTS ARE THE PROPERTY OF JENNER DESIGN, INC. AND SHALL NOT BE REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF JENNER DESIGN, INC.
© JENNER DESIGN, INC. 2014

Sheet Description:
ROOF/FOUNDATION PLAN

Sheet
A102

THESE DRAWINGS ARE FOR DESIGN INTENT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE CONSTRUCTION MEETS OR EXCEEDS ALL APPLICABLE CODES.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL SYSTEMS WITH THE FRAMEWORK AND AESTHETICS OF THIS HOUSE.

HISTORICAL COMMISSION PERMIT 2019006685
CALL 615-862-7970 FOR QUESTIONS, CHANGES, AND FINAL INSPECTION

808 SHELBY
PERMIT DOCUMENT SUBMITTAL
NASHVILLE TN

Revision Schedule		
Revision Number	Revision Description	Revis'd Date

Sheet Information	
Date	10/03/20
Job	0000
Drawn by	Auth
Checked	Check
Approved	Approv
By:	

THESE DOCUMENTS ARE THE PROPERTY OF JENNER DESIGN, INC. AND SHALL NOT BE REPRODUCED WITHOUT EXPRESS WRITTEN CONSENT OF JENNER DESIGN, INC.

© JENNER DESIGN, INC. 2014

Sheet Description:
ELEVATIONS

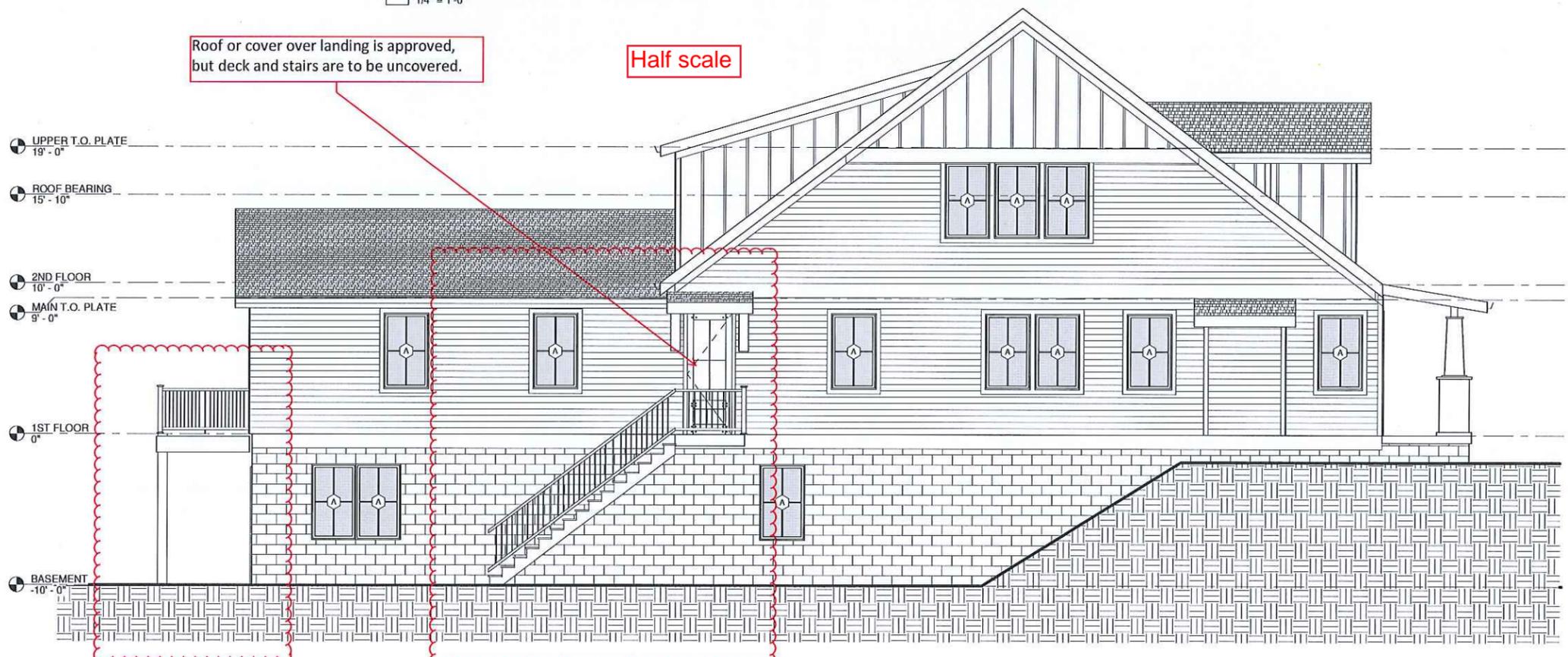
Sheet
A105



1 NORTH ELEVATION (REAR)
1/4" = 1'-0"

Roof or cover over landing is approved, but deck and stairs are to be uncovered.

Half scale



2 LEFT ELEVATION
1/4" = 1'-0"

PROJECT MANAGER:
TELEPHONE EXT:
e-mail:
In Association with:

Project Manager:
e-mail:

Project Manager:
e-mail:

THESE DRAWINGS ARE FOR DESIGN INTENT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE CONSTRUCTION MEETS OR EXCEEDS ALL APPLICABLE CODES.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL SYSTEMS WITH THE FRAMEWORK AND AESTHETICS OF THIS HOUSE.

808 SHELBY
PERMIT DOCUMENT SUBMITTAL
NASHVILLE TN

Revision Schedule		
Revision Number	Revision Description	Revision Date

Sheet Information	
Date	10/03/20
Job	0000
Drawn by	Auth
Checked	Check
Approved	Approv

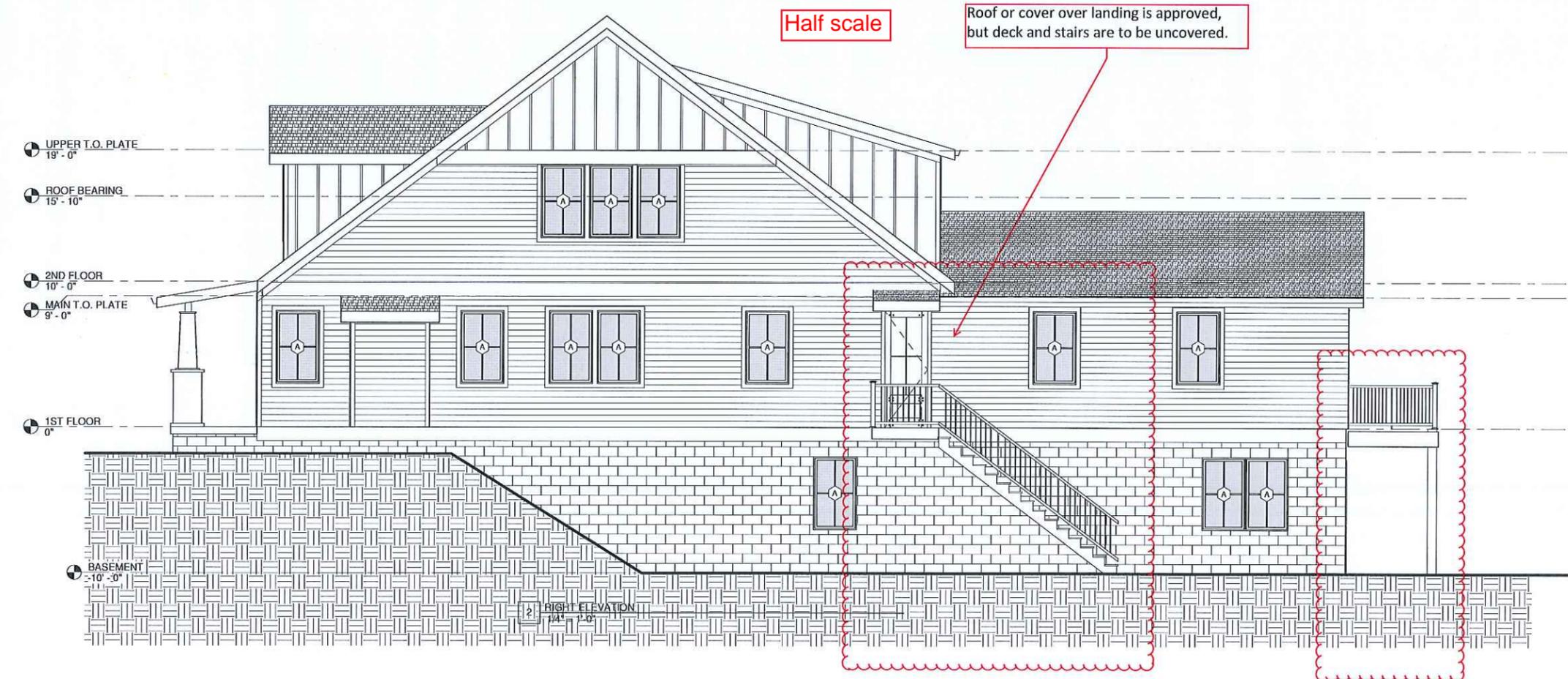
THESE DOCUMENTS ARE THE PROPERTY OF JENNER DESIGN, INC. AND SHALL NOT BE REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF JENNER DESIGN, INC.

© JENNER DESIGN, INC. 2014
Sheet Description:
ELEVATIONS

Sheet
A200



1 FRONT ELEVATION
1/4" = 1'-0"



HISTORICAL COMMISSION PERMIT 2019006685
CALL 615-862-7970 FOR QUESTIONS, CHANGES, AND FINAL INSPECTION