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MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
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Nashville, Tennessee 37204
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STAFF RECOMMENDATION

**101 Broadway
May 15, 2019**

Application: Signage

District: Broadway Historic Preservation Zoning Overlay

Council District: 19

Base Zoning: DTC

Map and Parcel Number: 093062102

Applicant: Thomas Morales

Project Lead: Jenny Warren, jenny.warren@nashville.gov

Description of Project: Application for wall paint and a painted sign, on the rear elevation of the building, fronting the alley, and visible from First Avenue South.

Recommendation Summary: Staff recommends approval of the proposed painted screen wall and painted sign, finding that it meets the design guidelines II.M for paint and IV for Signage.

Attachments

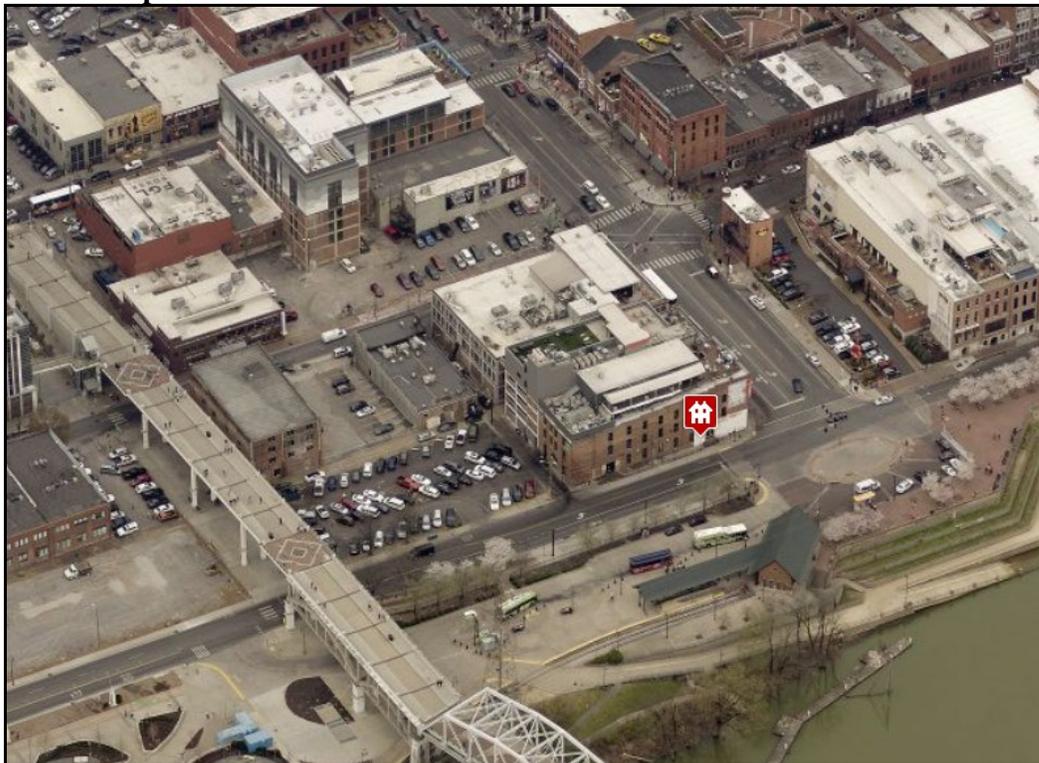
A: Photographs

B: Drawing

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. M. Guidelines: Paint

1. Building owners are encouraged to remove paint from masonry. Gentle, not-abrasive chemical cleaning is an appropriate way to remove paint. The exceptions to this guideline are two brick buildings which were historically painted: Tootsie's Orchid Lounge at 422 Broadway and Acme Feed at 101 Broadway.

IV. SIGNAGE

Sign Permit Applications

Applications for sign permits shall be made with and reviewed by the Metro Historic Zoning Commission (MHZC). All sign applications that do not involve Modifications shall only require MHZC administrative approval.

OTHER SIGN TYPES

Painted Signs

All painting of masonry, whether for signage, to change the color of the building, or for artwork shall be reviewed by the MHZC. (Please see section on "walls" for guidance on painting a masonry building.) Painted signage may be considered by the MHZC as modification, based on the following design criteria:

- Should only be added to rear elevations or exposed upper secondary elevations and should not cover transoms, columns, cornices, decorative elements, openings and architectural features or require the enclosure of openings.
- Painted on main facades or the first level of buildings are not appropriate.
- Generally, a painted sign should not be more than 125 square feet in size.
- Painted signs should serve as a sign for the current occupant(s) and should not advertise off-site businesses or products.
- Generally, painted signage should not have lighting; however, if lighting is necessary, it should be between one and two gooseneck lights or another type of light that can be hidden by an architectural feature. Metallic, fluorescent and day-glow paints are not appropriate.

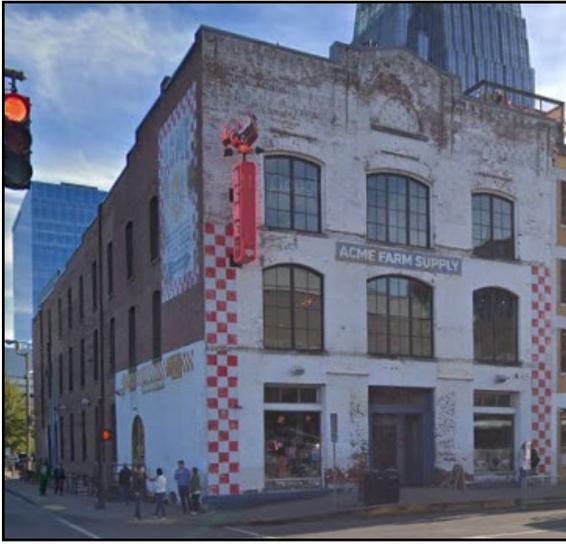


Figure 1: front elevation of 101 Broadway

Background: 101 Broadway is a three-story brick commercial building which contributes to the Broadway Historic Preservation Zoning Overlay. The side of the property faces First Avenue North.

Analysis and Findings: The application is to paint a rear mechanical screen and to install a painted sign in the same area. The screen faces the alley and is visible from First Avenue South. Painted signage is a modification and must be reviewed by the Commission.

Materials: The proposed sign will be painted on an existing non-historic

corrugated metal rooftop mechanical screen on the rear of the historic building. Painted signage is only allowed by modification from the Commission.

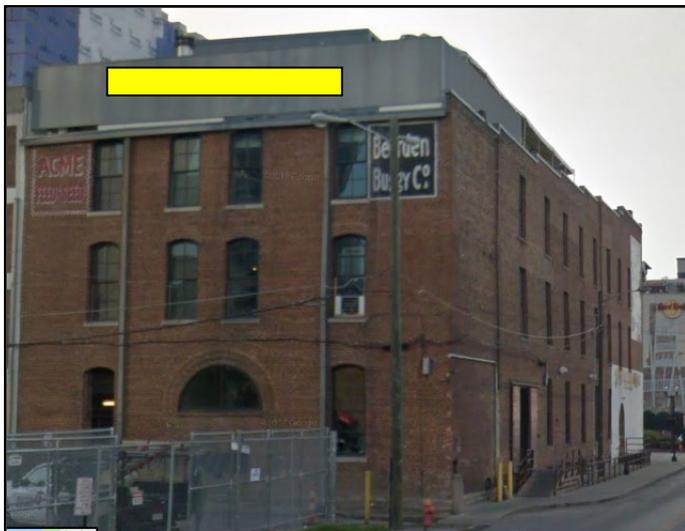


Figure 2: Rear and side elevations, looking north along First Avenue, South. Yellow box shows approximate proposed signage location.

The screen will be painted white with red checks. In general, the painting of historic buildings does not meet the design guidelines; however, this portion of the building is not historic and this building is noted in the design guidelines as an exception because of its historic white paint and red metal checks on the front and part of the sides of the building. The project meets

section II.M for paint.

Neither the paint nor the sign itself will use metallic, fluorescent or day-glow paints, which are not allowed by the design guidelines.

Location: The proposed location is on the rear elevation, and does not cover architectural features, which meets the guidelines.

Allotment & Design Standards: The painted signage allotment is one-hundred-twenty-five (125) square feet. The proposed sign will be one-hundred-twenty (120) square feet, which will meet this requirement. The white background and red checks were not counted as part of the signage, but rather as wall paint, since both are considered a historic architectural feature of the historic building. The design guidelines specifically call out Tootsies and Acme Fee as examples of historic painted buildings.

The signage advertises the current occupant, not an off-site business.

Illumination: No illumination is proposed.



Figure 3: Proposed signage.

Recommendation

Staff recommends approval of the proposed painted screen wall and painted sign, finding that it meets the design guidelines II.M for paint and IV for Signage.