

DAVID BRILEY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**1203 B Lillian Street**  
**May 15, 2019**

**Application:** New Construction--Infill  
**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Base Zoning:** R6  
**Map and Parcel Number:** 08313012200  
**Applicant:** Ashley Quinn, Cygnus Construction, LLC  
**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

**Description of Project:** A proposal to construct a new house on a lot with two street frontages, on which there is currently a house facing Fatherland Street. The new house will face Lillian Street and will be one and one-half-stories tall.

**Recommendation Summary:** Staff recommends approval of the proposed one and one-half-story infill at 1203 B Lillian Street with conditions that:

1. The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. The front setback shall be consistent with the setbacks of the adjacent historic houses, to be verified by MHZC staff in the field;
3. The window and door selections shall be approved by MHZC Staff; and
4. The roof color shall be approved by MHZC Staff; and
5. The utility connections and HVAC units shall be located behind the midpoint of the building on a non-street facing façade.

With those conditions met, Staff finds that the project will meet the design guidelines for new construction in the Lockeland Springs East-End Neighborhood Conservation Zoning Overlay.

**Attachments**  
**A:** Photographs  
**B:** Site Plan  
**C:** Elevations

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **II.B. New Construction**

#### **1. Height**

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

*The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.*

*Infill construction on the 1400 -1600 blocks of Boscobel Street may be up to two-stories.*

*For those lots located within the Five Points Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. A third story and 15' may be added provided that is for residential use only and is compatible with existing adjacent historic structures. The third story must be stepped back at least 10' from façade planes facing a residential subdistrict, an existing house (regardless of use), and public streets. All front and side building walls shall be a minimum of 20' in height. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor. Exception: buildings with first floor residential use, minimum first floor height shall be 12'.*

*For those lots located within the Corner Commercial Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. An additional story may be added to a building provided that, where it is adjacent to a detached house or a residential subdistrict, it is set back a minimum of 25' from the building wall or 50' from the property line. Three story building height shall not exceed 45'. All front and side building walls shall be a minimum of 16' in height and at the build-to line. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor.*

*For those lots located within the Residential Subdistrict of the Five Points Redevelopment District shall not exceed 3 stories .*

#### **2. Scale**

The size of a new building and its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with surrounding historic buildings.

*Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.*

#### **3. Setback and Rhythm of Spacing**

4. Since construction in an historic district has usually taken place continuously from the late nineteenth and early twentieth centuries, a variety of building types and styles result which demonstrate the changes in building tastes and technology over the years. New buildings should continue this tradition while complementing and being compatible with other buildings in the area.

*In Lockeland Springs-East End, historic buildings were constructed between 1880 and 1950. New buildings should be compatible with surrounding houses from this period.*

5. Reconstruction may be appropriate when it reproduces facades of a building which no longer exists and which was located in the historic district if: (1) the building would have contributed to the

historical and architectural character of the area; (2) if it will be compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the lot on which the reproduction will be built; and (3) if it is accurately based on pictorial documentation.

6. Because new buildings usually relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of a street, the dominance of that pattern and rhythm must be respected and not disrupted.
7. New construction should be consistent with existing buildings along a street in terms of height, scale, setback, and rhythm; relationship of materials, texture, details, and color; roof shape; orientation; and proportion and rhythm of openings.

The setback from front and side yard property lines established by adjacent historic buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain that rhythm.

*The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).*

*Appropriate setback reductions will be determined based on:*

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

*Appropriate height limitations will be based on:*

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

*Infill construction on the 1400 - 1600 blocks of Boscobel Street may have widths up to 40'.*

#### **4. Relationship of Materials, Textures, Details, and Material Colors**

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines. Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate. Texture and tooling of mortar on new construction should be similar to historic examples. Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof. Primary entrances should be 1/2 to full-light doors. Faux leaded glass is inappropriate. Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.*

## **5. Roof Shape**

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.*

*Infill construction on the 1400 -1600 blocks of Boscobel Street may have flat roofs or roofs with a minimal slope.*

## **6. Orientation**

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

### *Porches*

*New buildings should incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

### *Parking areas and Driveways*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median.*

*Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

### *Duplexes*

*Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.*

*In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.*

## **7. Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in a new building shall be compatible, by not contrasting greatly, with surrounding *historic buildings*.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

## **9. Appurtenances**

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

### ***Utilities***

*Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.*

*Generally, utility connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.*

### ***Public Spaces***

*Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.*

*Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.*

**Background:** Typical lots on the 1100, 1200, and 1300 blocks of Lillian and Fatherland Streets are fifty feet (50') wide and approximately one hundred feet (100') deep, backing up to each other because there is no alley between the two streets. The lot at 1202 Fatherland, however, is more than two hundred feet (200') deep and has frontages on both streets. The rear of the parcel is identified as 1203 B Lillian Street.



Figure 1: 1203 B Lillian Street, currently.

The historic character of this section of Lillian Street is not as well-defined as in other parts of the overlay, as there are no contributing buildings on the block. However, the historic character of surrounding blocks is intact. The adjacent blocks of Boscobel and Fatherland streets comprise of one and one and one-half story historic houses. Several recent infill projects constructed on the 1200 and 1300 blocks of Lillian Street are also all one and one-half story.

**Analysis and Findings:** The applicant proposes to construct a new single-family house facing Lillian Street on the southern portion of the lot. In most circumstances, a “house behind a house” configuration would not be in keeping with the character of an historic neighborhood; however, a house-behind-a-house has been allowed by the MHZC in double frontage situations, similar to this one. Because this lot has double frontages and there is an established rhythm of houses on both streets, Staff finds that a second structure may appropriate.

**Height & Scale:** The new building will be a one and one-half-story house, which is compatible with the houses on the block and the surrounding area. The house will be twenty-five feet, six inches (25'-6") tall from the floor level to the peak of the roof. The height of the foundation will vary between two feet (2') and five feet (5'), depending on grade. With an approximately ten inch (10") wide water-table band below the floor level the maximum height of the house will be approximately thirty-one feet (31') from grade. The primary eave height on the building will be ten feet (10') tall, from floor level. This matches the height and massing of two recently constructed houses on this block face: 1113 and 1115 Lillian Street.

The front facade of the building will be approximately twenty-seven feet (27') wide, and the depth of the building will be fifty-one feet (51'). This width is compatible with nearby houses including recent infill, which range from twenty-eight to thirty-eight feet (28'-38') wide and up to sixty-one feet (61') deep.

Staff finds that the height, width, and massing of the proposed new buildings is compatible with the surrounding context and therefore the proposal meets sections II.B.1 and II.B.2 of the design guidelines.

Setback & Rhythm of Spacing: The front of the building is proposed to be twenty feet (20') back from the front of the property. The non-contributing structure at 1117 Lillian Street is set back approximately twenty feet (20') from the front property line. Staff finds that the proposed front setback is compatible with the context, but asks to verify the setback with an inspection prior to construction. The building's side setbacks will be approximately five feet (5') on the right side and seventeen feet (17') on the left. This meets bulk zoning requirements and is consistent with the rhythm established by existing houses on the street, most of which are shifted to one side of the lot. Staff finds that the project will meet Section II.B.1.3. of the design guidelines.

With a condition that Staff shall verify the front setback at the start of construction, Staff finds that the front and side setbacks will meet section II.B.3 of the design guidelines.

Materials:

	<b>Proposed</b>	<b>Color/Texture/ Make/ Manufacturer</b>	<b>Approved Previously or Typical</b>	<b>Requires Additional Review</b>
<b>Foundation</b>	Split-Faced Concrete Block	Typical	Yes	
<b>Primary Cladding</b>	Cement-Fiber Clapboard	Smooth-Faced, 5" Reveal	Yes	
<b>Secondary Cladding</b>	Cement-Fiber Shingle Siding	Typical	Yes	
<b>Trim</b>	Cement-Fiber, Wood	Smooth-Faced	Yes	
<b>Roofing</b>	Asphalt Shingles	Color Needs Approval	Yes	X
<b>Front Porch floor/steps</b>	Wood	Typical	Yes	
<b>Front Porch Columns</b>	Wood	Typical	Yes	
<b>Front Porch Railing</b>	Wood	Typical	Yes	
<b>Windows</b>	Double-hung, Fixed	Selection Needs Approval	Yes	X
<b>Front Door</b>	"Craftsman Style" 1/4 Glass	Selection Needs Approval	Yes	X
<b>Driveway/ Parking</b>	Concrete Strips	Typical	Yes	
<b>Walkway</b>	Concrete	Typical	Yes	

With a condition that staff shall approve the window and door selections as well as the roof color, staff finds that the proposal would meet section II.B.4 of the design guidelines.



Figures 2 & 3: 1203 and 1205 Lillian Street, adjacent to proposed infill. Both are non-contributing.

**Roof form:** The primary roof of the building will be a cross-gable, with a front-to-back primary axis. The pitch of the front-facing gable will be 12/12. The side-oriented gables will be 11/12 pitch on one slope and 14/12 on the other-

Staff finds the roofs of the proposed buildings to be compatible with surrounding houses and finds that the project will meet section II.B.5 of the design guidelines.

**Orientation:** On typical lots where the zoning allows two dwellings, a “house behind a house” would not be compatible with the sounding context. This proposed new structure will be detached from the existing house facing Fatherland Street. Because the lot has double street frontage and because there is an established rhythm of houses on Lillian Street, staff finds that the configuration and orientation are appropriate. The front façade will address Lillian Street directly, with the entrance inside a recessed front porch. There will be a secondary entrance and on the left side, but this will not read as the dominant orientation of the building. A walkway will be added to connect the front porch to the street.

A driveway will be added to the left of the house, ending at approximately the midpoint of the building. This is consistent with other driveways on the street, as there is no alley.

Staff finds that the orientation of the project meets section II.B.6 of the design guidelines.

**Proportion and Rhythm of Openings:** The window openings on the new building will be vertically oriented, arranged in single windows and pairs of single-light sashes of double-hung and fixed sashes. The sizes and spaces between openings on the primary facades will be consistent with the openings on nearby historic houses. The plans show shutters on the first-story windows of the front façade and while these shutters may not be operable, they are appropriately scaled for the window sizes.

Staff finds that the window proportions and rhythms are generally compatible with the surrounding context and that the project will meet section II.B.7 of the design guidelines.

**Appurtenances & Utilities:** The site plan shows a new walkway added from the porch to the front of the property, and driveway strips will be constructed along the left side of the

lot from the street to the approximate midpoint of the building. The location of the HVAC and other utilities were not noted.

With the condition that the HVAC is located on the rear façade, or on a side façade beyond the midpoint of the house, Staff finds the appurtenances will be compatible with surrounding historic properties and will meet section II.B.9 of the design guidelines.

**Recommendation:** Staff recommends approval of the proposed one and one-half-story infill at 1203 B Lillian Street with conditions that:

1. The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. The front setback shall be consistent with the setbacks of the adjacent historic houses, to be verified by MHZC staff in the field;
3. The window and door selections shall be approved by MHZC Staff; and
4. The roof color shall be approved by MHZC Staff; and
5. The utility connections and HVAC units shall be located behind the midpoint of the building on a non-street facing façade.

With those conditions met, Staff finds that the project will meet the design guidelines for new construction in the Lockeland Springs East-End Neighborhood Conservation Zoning Overlay.

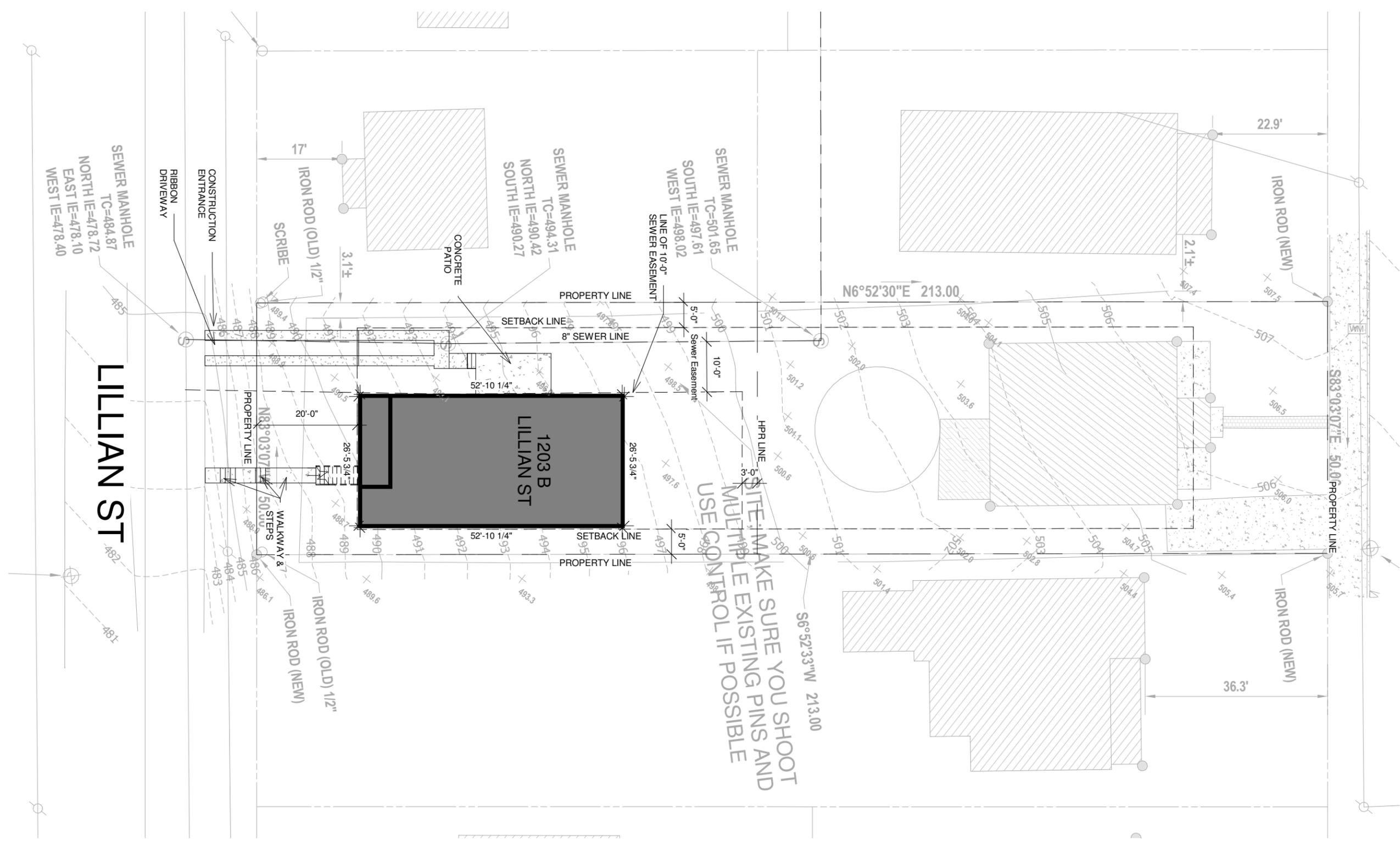
**ATTACHMENT A:**



1113 Lillian Street, approved by MHZC in 2015.



1115 Lillian Street, approved by MHZC in 2015.



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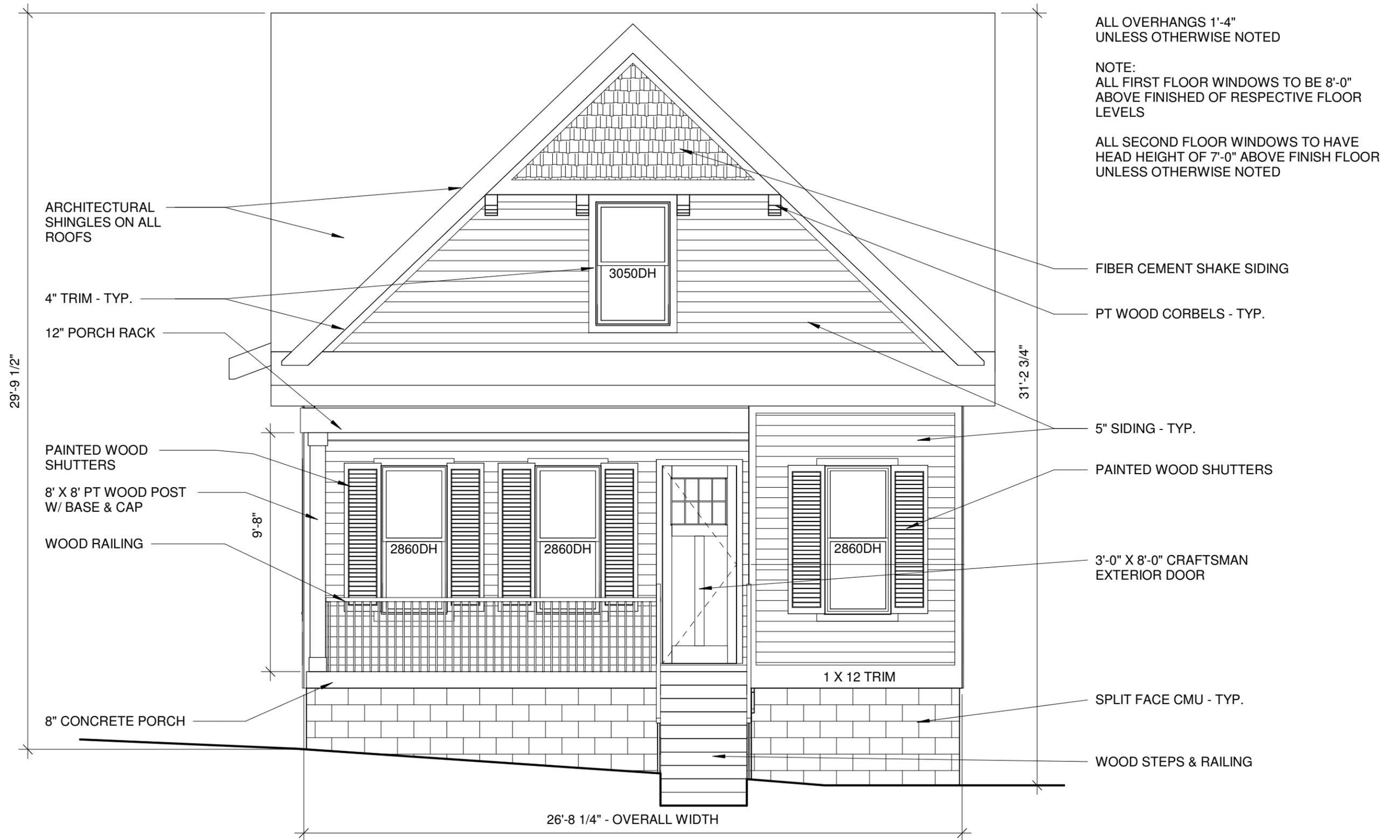
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**1203 B LILLIAN ST.**  
**Nashville, TN 37206**

<b>Site Plan</b>		<b>H1</b>
Date	5/2/2019	
Drawn by	MP	Scale 1" = 20'-0"



ALL OVERHANGS 1'-4"  
UNLESS OTHERWISE NOTED

NOTE:  
ALL FIRST FLOOR WINDOWS TO BE 8'-0"  
ABOVE FINISHED OF RESPECTIVE FLOOR  
LEVELS

ALL SECOND FLOOR WINDOWS TO HAVE  
HEAD HEIGHT OF 7'-0" ABOVE FINISH FLOOR  
UNLESS OTHERWISE NOTED

ARCHITECTURAL  
SHINGLES ON ALL  
ROOFS

4" TRIM - TYP.

12" PORCH RACK

29'-9 1/2"

PAINTED WOOD  
SHUTTERS

8' X 8' PT WOOD POST  
W/ BASE & CAP

WOOD RAILING

9'-8"

8" CONCRETE PORCH

3050DH

2860DH

2860DH

2860DH

1 X 12 TRIM

26'-8 1/4" - OVERALL WIDTH

FIBER CEMENT SHAKE SIDING

PT WOOD CORBELS - TYP.

31'-2 3/4"

5" SIDING - TYP.

PAINTED WOOD SHUTTERS

3'-0" X 8'-0" CRAFTSMAN  
EXTERIOR DOOR

SPLIT FACE CMU - TYP.

WOOD STEPS & RAILING



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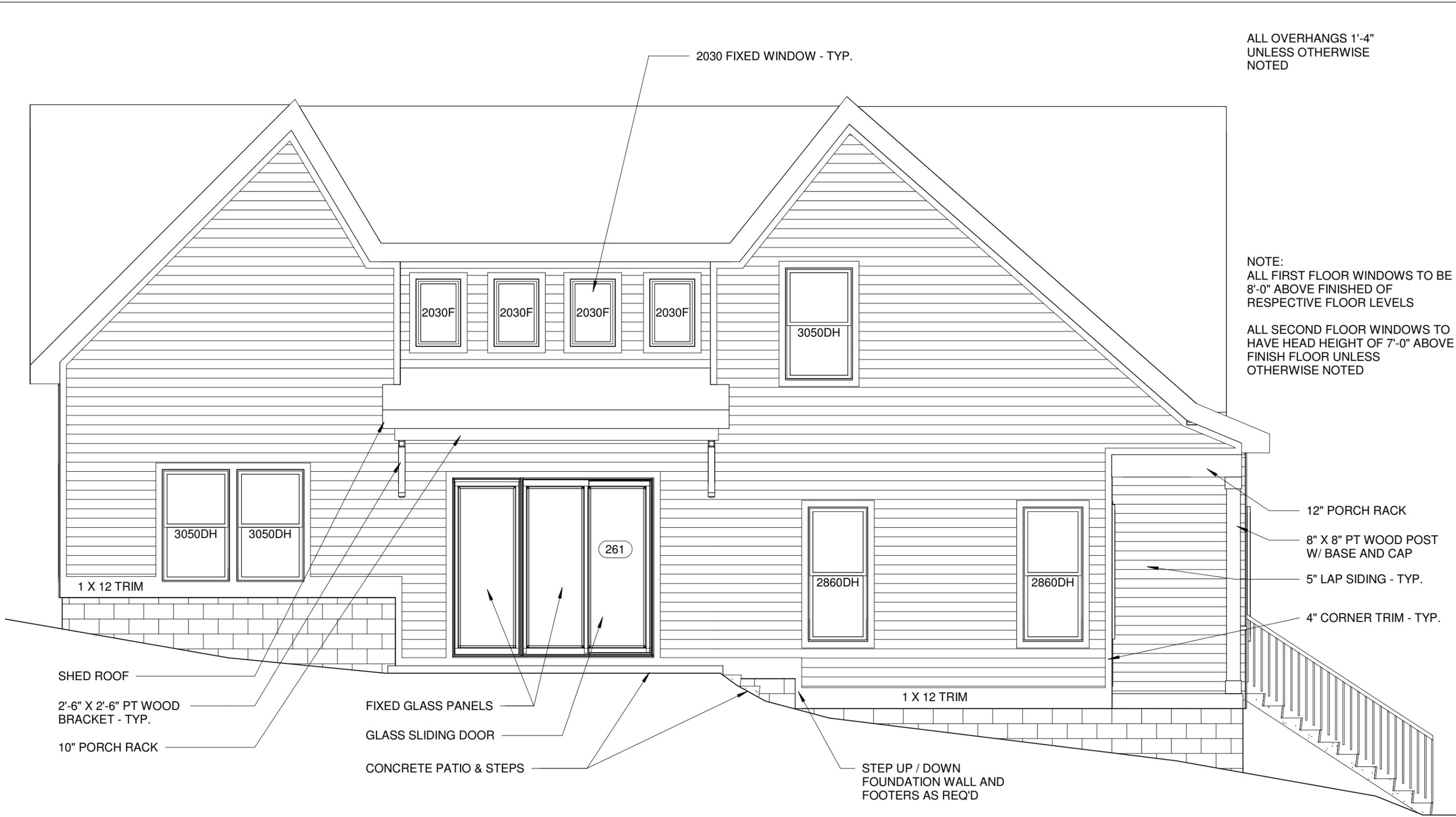
1203 B LILLIAN ST.  
Nashville, TN 37206

Front Elevation

Date 5/2/2019  
Drawn by MP

H2

Scale 1/4" = 1'-0"



ALL OVERHANGS 1'-4"  
UNLESS OTHERWISE  
NOTED

NOTE:  
ALL FIRST FLOOR WINDOWS TO BE  
8'-0" ABOVE FINISHED OF  
RESPECTIVE FLOOR LEVELS  
  
ALL SECOND FLOOR WINDOWS TO  
HAVE HEAD HEIGHT OF 7'-0" ABOVE  
FINISH FLOOR UNLESS  
OTHERWISE NOTED

2030 FIXED WINDOW - TYP.

2030F

2030F

2030F

2030F

3050DH

3050DH

3050DH

261

2860DH

2860DH

1 X 12 TRIM

1 X 12 TRIM

12" PORCH RACK

8" X 8" PT WOOD POST  
W/ BASE AND CAP

5" LAP SIDING - TYP.

4" CORNER TRIM - TYP.

SHED ROOF

2'-6" X 2'-6" PT WOOD  
BRACKET - TYP.

10" PORCH RACK

FIXED GLASS PANELS

GLASS SLIDING DOOR

CONCRETE PATIO & STEPS

STEP UP / DOWN  
FOUNDATION WALL AND  
FOOTERS AS REQ'D



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**1203 B LILLIAN ST.**  
**Nashville, TN 37206**

<b>Left Elevation</b>		<b>H3</b>
Date	5/2/2019	
Drawn by	MP	Scale 1/4" = 1'-0"

ALL OVERHANGS 1'-4"  
UNLESS OTHERWISE NOTED

NOTE:  
ALL FIRST FLOOR WINDOWS TO  
BE 8'-0" ABOVE FINISHED OF  
RESPECTIVE FLOOR LEVELS

ALL SECOND FLOOR WINDOWS  
TO HAVE HEAD HEIGHT OF 7'-0"  
ABOVE FINISH FLOOR UNLESS  
OTHERWISE NOTED

2036 FIXED  
WINDOW - TYP.

4" CORNER TRIM  
ON ALL OUTSIDE  
EDGES OF SIDING



5" SIDING - TYP.



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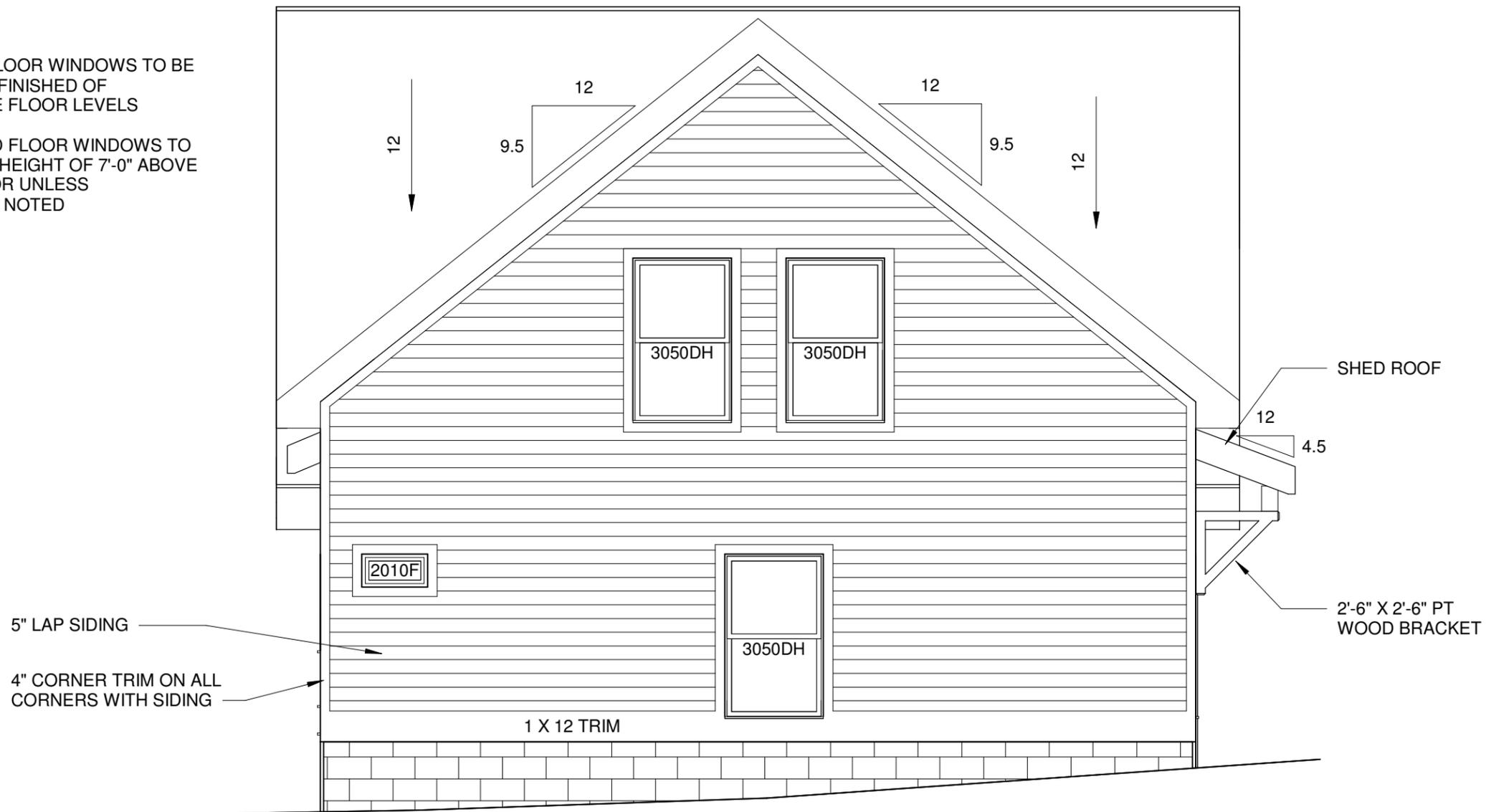
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**1203 B LILLIAN ST.**  
**Nashville, TN 37206**

<b>Right Elevation</b>		<b>H4</b>
Date	5/2/2019	
Drawn by	MP	Scale 1/4" = 1'-0"

NOTE:  
ALL FIRST FLOOR WINDOWS TO BE  
8'-0" ABOVE FINISHED OF  
RESPECTIVE FLOOR LEVELS

ALL SECOND FLOOR WINDOWS TO  
HAVE HEAD HEIGHT OF 7'-0" ABOVE  
FINISH FLOOR UNLESS  
OTHERWISE NOTED



5" LAP SIDING

4" CORNER TRIM ON ALL  
CORNERS WITH SIDING

1 X 12 TRIM

SHED ROOF

2'-6" X 2'-6" PT  
WOOD BRACKET

1203 B LILLIAN ST.  
Nashville, TN 37206

Rear Elevation

Date 5/2/2019  
Drawn by MP

H5

Scale 1/4" = 1'-0"



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