

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

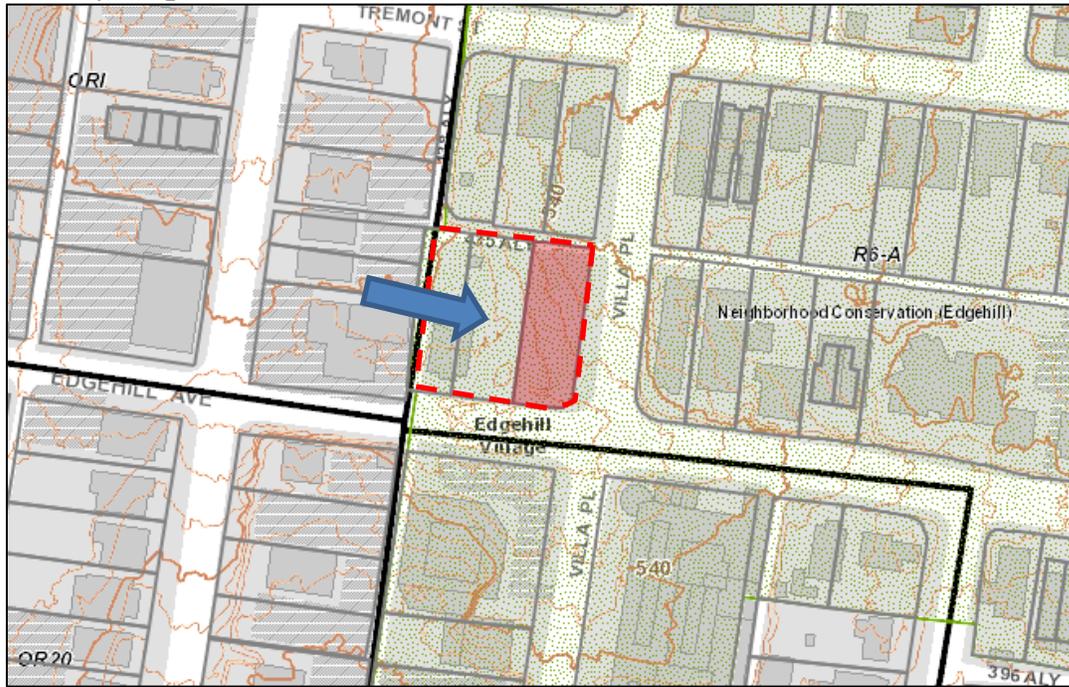
Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1514, 1516 & 1518 Edgehill Avenue
May 15, 2019

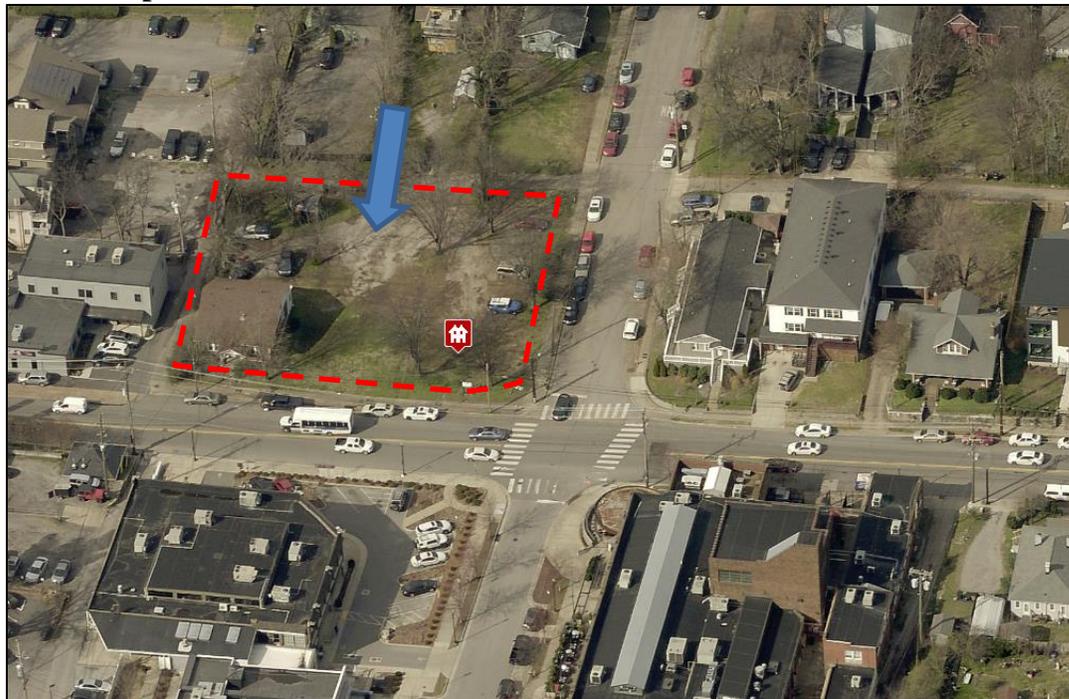
Application: New Construction--Preliminary SP
District: Edgehill Neighborhood Conservation Zoning Overlay
Council District: 19
Base Zoning: R6-A
Map and Parcel Numbers: 10501022500, 10501022600 & 10501022700
Applicant: Chris Strickland, Pfeffer Torode Architecture
Project Lead: Melissa Sajid, melissa.sajid@nashville.gov

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| <p>Description of Project: Application is to construct a townhome development at the corner of Edgehill Avenue and Villa Place, across the street from the White Way development. The project requires a rezoning to a Specific Plan District (SP). The current proposal is for approval of the overall massing and site plan only. If the SP is approved by the Planning Commission, the project will return to this Commission for final review.</p> <p>Recommendation Summary: Staff recommends approval with the condition that if the SP is approved by the Planning Commission, the applicant will return to the Commission with a second application or additional applications, including full plans complete with design details review of materials; windows and doors; proportion and rhythm of openings; porches and stoops, fences and walls, appurtenances and utility locations; and the overall detailing of the proposal.</p> <p>With this condition, staff finds the massing of the project to meet the design guidelines for new construction in the Edgehill Neighborhood Conservation Zoning Overlay.</p> | <p>Attachments A: Photographs B: Site Plan C: Massing Drawings</p> |
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III. New Construction – Infill

A. Height

1. The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings. The majority of the historic context is one and one-half stories with a small number of two-story buildings, primarily following the American-foursquare form.

B. Scale

1. The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

C. Setback and Rhythm of Spacing

1. The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.
2. The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. *17.40.410*).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;
- Shape of lot;
- Alley access or lack thereof;
- Proximity of adjoining structures; and
- Property lines.

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity
- Existing or planned slope and grade

3. In most cases, an infill duplex for property that is zoned for duplexes should be one building as seen historically in order to maintain the rhythm of the street. Detached infill duplexes are only appropriate as Detached Accessory Dwelling Unit, where zoning allows.

D. Materials, Texture, Details, and Material Color

1. The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Primary cladding should be brick, stone or stucco.
2. Appropriate secondary cladding materials include stone, brick, stucco, lap siding, board-and-batten and half-timbering. When different materials are used, it is most appropriate to have the change happen at floor lines.

- b. Additional appropriate materials include: pre-cast stone for foundations, composite materials for trim and decking, and asphalt shingle for roofing.
 - Lap siding, when used as an accent material, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.
 - Shingle siding, when used as an accent material, should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").
 - Stone or brick foundations should be of a compatible color and texture to historic foundations.
 - Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.
 - Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate for chimneys.
 - Texture and tooling of mortar on new construction should be similar to historic examples.
 - Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.
 - Asphalt shingle is an appropriate roof materials for residential buildings and rolled roofing is appropriate for flat roof commercial buildings.

Generally, roofing should NOT have: strong simulated shadows in the granule colors which results in a rough, pitted appearance; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; or uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof or a dominant historic example.

- a. Inappropriate materials include vinyl and aluminum, T-1-11- type building panels, "permastone", and E.F.I.S. Stud wall lumber and embossed wood grain are prohibited.

E. Roof Shape

1. The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. Common roof forms in the neighborhood include side, front and cross gabled, hipped and pyramidal. Typically roof pitches are between 6/12 and 12/12. Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

2. Small roof dormers are typical throughout the district. Wall dormers are only appropriate on the rear.

F. Orientation

1. The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
2. Primary entrances are an important component of most of the historic buildings in the neighborhood and include partial– or full-width porches attached to the main body of the house. Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.
3. Porches should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.
4. Generally, curb cuts should not be added. Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot. In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

G. Proportion and Rhythm of Openings

1. The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.
2. Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.
3. Double-hung windows should exhibit a height to width ratio of at least 2:1. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.
4. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

5. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4” to 6” mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

H. Utilities

1. Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.
2. Generally, utility connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

I. Public Spaces

1. Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.
2. Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

J: White-Way Commercial Corner

1. The White Way Commercial Corner consists of 1200-1207 Villa Place. New construction at this historic development is not appropriate unless to replace a building. Demolition of historic buildings should meet the design guidelines for demolition.
2. Signage and building illumination is not reviewed by the MHZC.

Background: This proposal is for a ten-unit townhome development on three parcels located at the corner of Edgehill Avenue and Villa Place (Figure 1). Two of the parcels are currently vacant, and one parcel has an existing building. The existing building is non-contributing, and staff administratively issued a preservation permit to demolish the structure in May 2019.



Figure 1: Two vacant parcels nearest to the intersection of Edgehill Avenue and Villa Place.

The project requires a rezoning to a Specific Plan (SP), so the current proposal is for approval of the overall massing only. If the SP is approved by the Planning Commission, the project will return to the Commission for final review. Any details shown in this application are for illustration purposes only and should not be included in the decision about the appropriateness of the massing.

Analysis and Findings: Application is to construct a townhome development.

Height, Scale The project includes a three-story building that fronts Edgehill Avenue and a two-story building that fronts Villa Place. The three-story building along Edgehill Avenue is approximately forty-two feet, six inches (42'-6") tall from grade to the top of the parapet wall whereas the two-story structure along Villa Place will be approximately thirty feet, six inches (30'-6") tall from grade to the top of the parapet. Both buildings will occupy nearly the full width of their respective street frontages.

The historic context along Edgehill Avenue includes single and two-story commercial structures on the corners across Edgehill Avenue. The one- to two-story White Way complex has one building with a tall center core so the heights of the complex vary between approximately thirty feet to fifty feet (30' - 50'). To the right of the site, across Villa Place, there are single-story and three-story non-contributing houses. The three-story buildings are between thirty feet (38') and forty-two feet (42') tall. In this section there is also a one and one-half story historic house at 1508 Edgehill Avenue. Outside of the overlay, but in the neighborhood, are several tall historic homes along 16th Avenue South that range from thirty-five feet to thirty-nine feet (35'-39') in height. There is no historic context on the block of Villa Place north of Edgehill Avenue. Only two buildings are oriented to Villa Place on this block, 1100 Villa Place and 1503 Tremont Street, and both are non-contributing.

Although the Edgehill portion of the project is taller than most of the surrounding historic context, the most important historic building in the immediate vicinity is a large previously industrial, now commercial, complex with a variety of heights and that sits well off the street. Staff finds that the form as well as the height and scale of the proposed development can be appropriate at this location given the variety of land uses and building forms in the immediate area, the context of taller structures nearby, the fact that White Way has a deep setback off Edgehill, and the project's transition from three to two stories as the development leaves the commercial corridor and enters the residential portion of the district. Staff finds the heights of the proposed buildings to be compatible with the historic context and to meet Sections III.A and B for height and scale.

Setback & Rhythm of Spacing: The three-story building will be setback two feet (2') from the property line on Edgehill Avenue while the two-story building will be setback four feet (4') from Villa Place. Both buildings will also be separated from the street by an additional ten feet (10') that will accommodate the sidewalk. There will be twelve feet (12') of separation between the two buildings. The site is bounded by alleys at the left side and rear; the building will be at least twelve feet (12') from the alley on the left side and ten feet (10') from the alley at the rear. Staff finds that the proposed setbacks can be appropriate at this location as there is context in the immediate area for non-single-family structures to be located directly behind the sidewalk (i.e. White Way). In addition, the proposed setback is more typical and appropriate for the townhouse form than a deeper setback as it allows the parking to be located entirely behind the buildings. Staff finds the proposal to meet Section III.C for setback and rhythm of spacing.

Building and Roof forms: Both buildings will have a flat roof with a parapet wall that will add one to three feet (1' – 3') to the height. This roof type is represented in the immediate historic context. Staff finds the proposal to meet Section III.E for roof form.

Second-story Juliette balconies are proposed for each unit. The balconies project two feet (2') from the building, and all but one balcony will be recessed to create a total depth of five feet (5'). Juliette balconies are not characteristic of the residential historic context. The proposed is a multi-family building form that is seen throughout the larger neighborhood; however, this particular design incorporates more industrial design elements because of its proximity to the White Way complex. Since the design and form are somewhat unique to the neighborhood overall, staff finds the balconies could be appropriate in this case. Staff finds the proposal to meet Section III.E for roof form.

Orientation: The proposal includes four units facing Edgehill Avenue and six units facing Villa Place. Each unit will have a stoop that connects to the public sidewalk. Staff finds the proposal to meet Section III.F for orientation.

Public Spaces: There is alley access along the north and west property lines. An existing sidewalk runs along both street frontages, and it appears that the sidewalk will be widened as part of the SP. A new driveway will be constructed on the interior of the lot, providing garage access to the units fronting Edgehill Avenue. Parking for the units fronting Villa Place will be oriented to an interior green space. All vehicular access will

be from the alley, and all parking will be internal to the project. Additional interior walkways will connect the surface parking to the green space, units, and public sidewalk. Staff finds that the proposal meets the guidelines for Section III.I.

Recommendation: Staff recommends approval with the condition that if the SP is approved by the Planning Commission, the applicant will return to the Commission with a second application or additional applications, including full plans complete with design details review of materials; windows and doors; proportion and rhythm of openings; porches and stoops, fences and walls, appurtenances and utility locations; and the overall detailing of the proposal.

With this condition, staff finds the massing of the project to meet the design guidelines for new construction in the Waverly-Belmont Neighborhood Conservation Zoning Overlay.

ATTACHMENT A: CONTEXT PHOTOS



Houses to the right (across Villa Place) of the subject property



Contributing building at 1201 Villa Place (across the street from subject property)



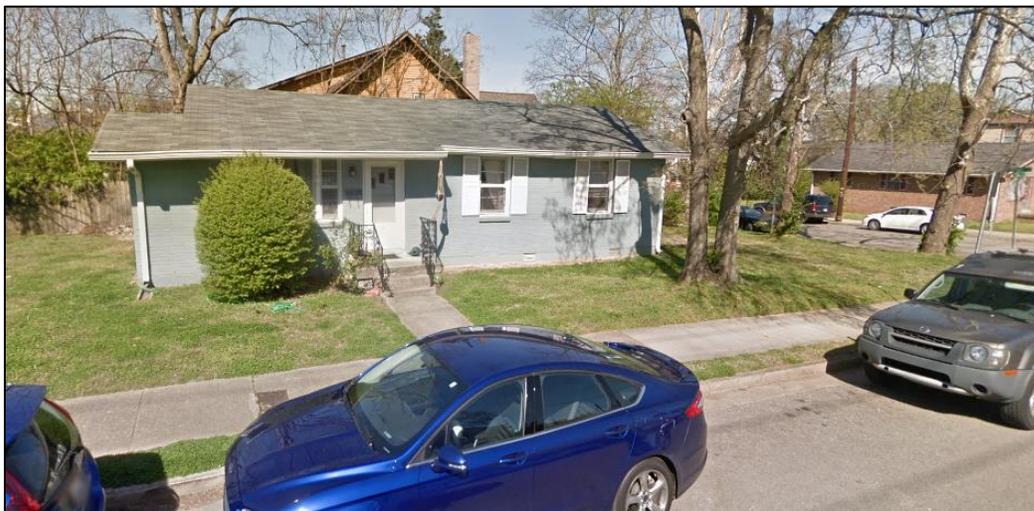
Contributing building at 1200 Villa Place (across the street from subject property)



Contributing building at 1200 Villa Place



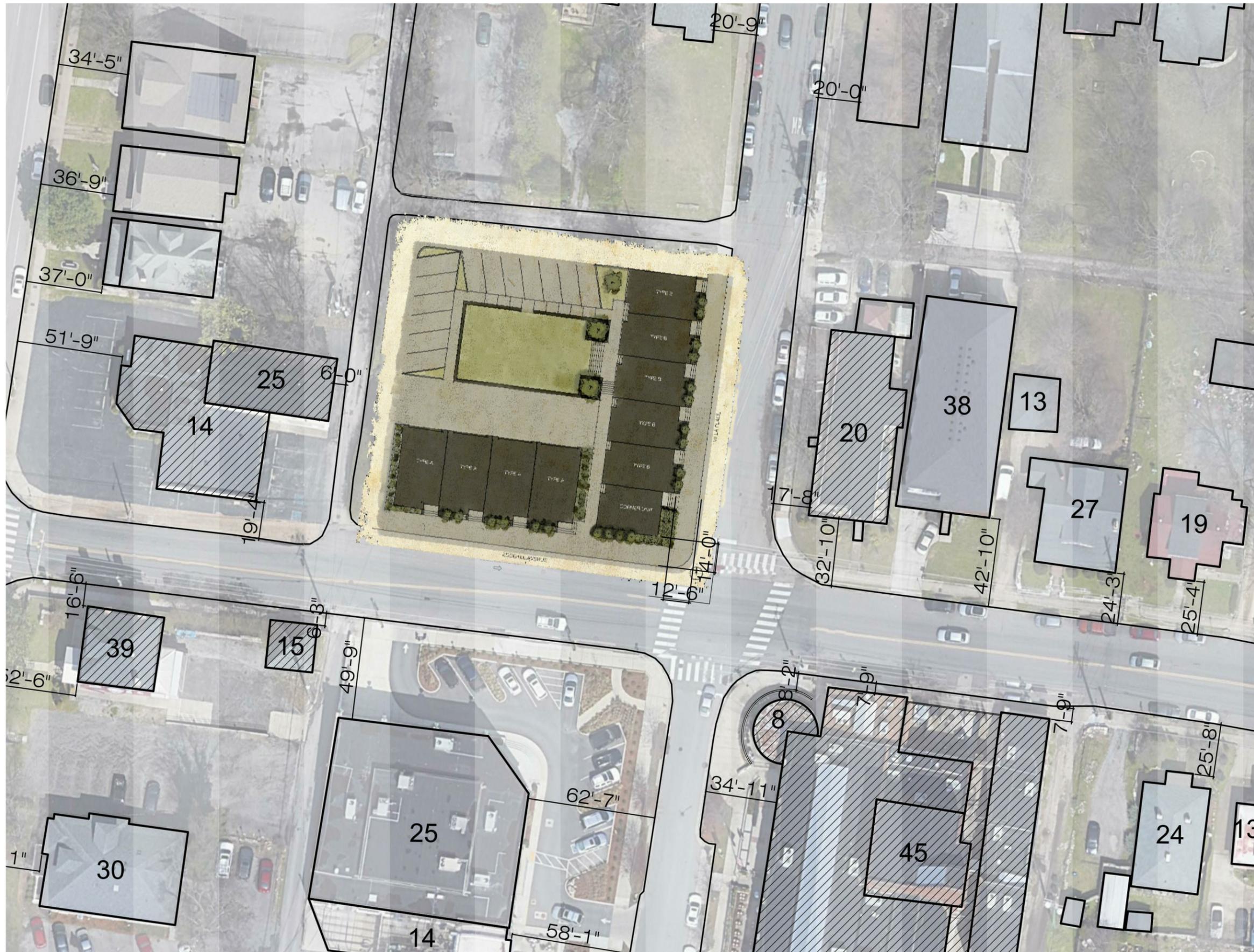
1200 & 1201 16th Avenue S are historic buildings located at the corner of Edgehill Avenue and 16th Avenue South, outside of the Edgehill Neighborhood Conservation Zoning Overlay



Non-contributing house at 1503 Tremont Street (entrance is on Villa Place)



Non-contributing house at 1100 Villa Place



1 CONTEXT PLAN
1" = 200'-0"

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COMMISSION SUBMITTAL

EDGEHILL VILLAGE TOWNHOMES

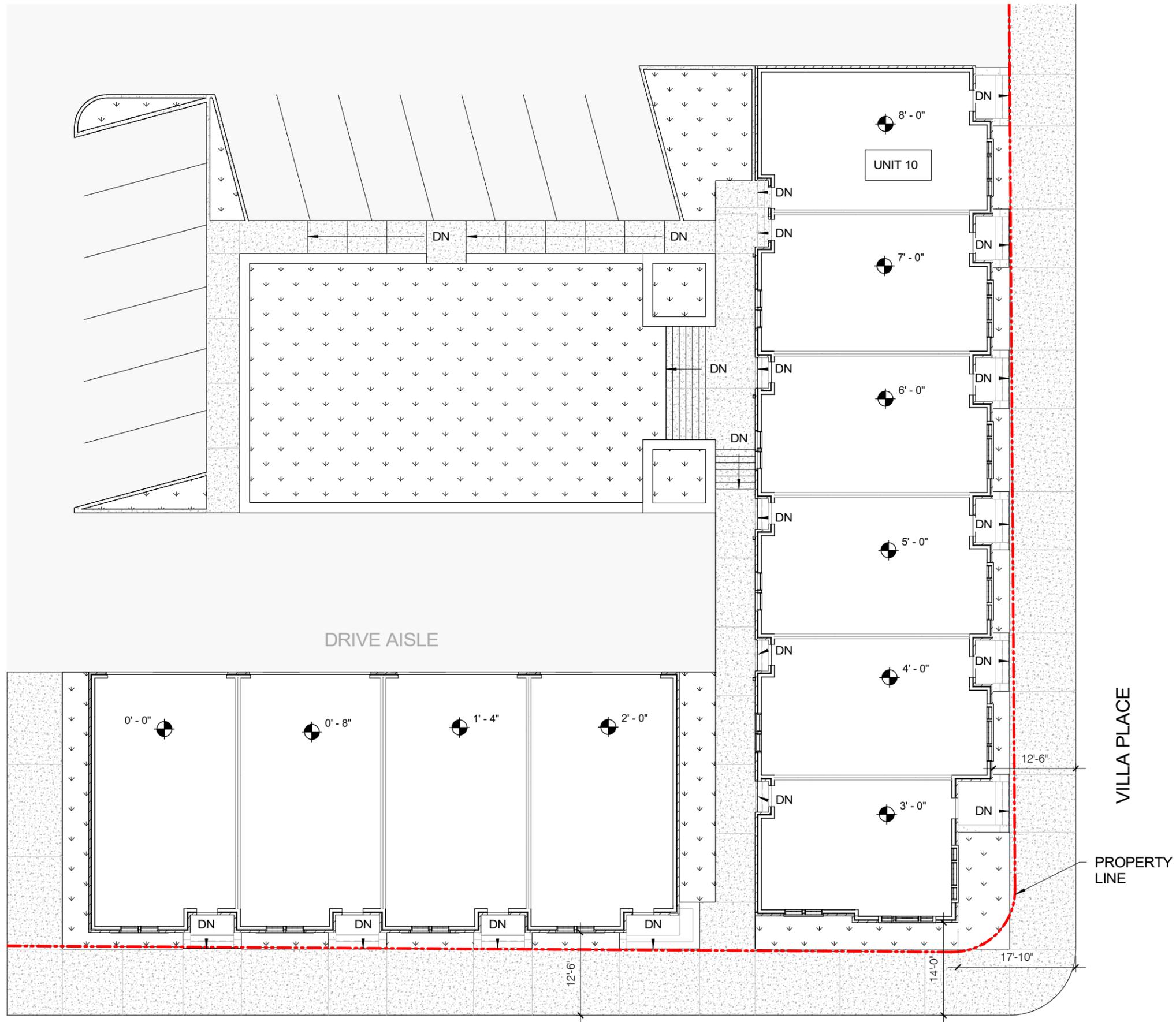
EDGEHILL AVENUE & VILLA PLACE
NASHVILLE, TENNESSEE 37212

DATE

04/25/19

CONTEXT PLAN

MHZC.01



1 ARCHITECTURAL SITE PLAN
1/16" = 1'-0"

EDGEHILL AVENUE

VILLA PLACE

PROPERTY LINE

METRO HISTORIC ZONING
COMMISSION SUBMITTAL

EDGEHILL VILLAGE TOWNHOMES

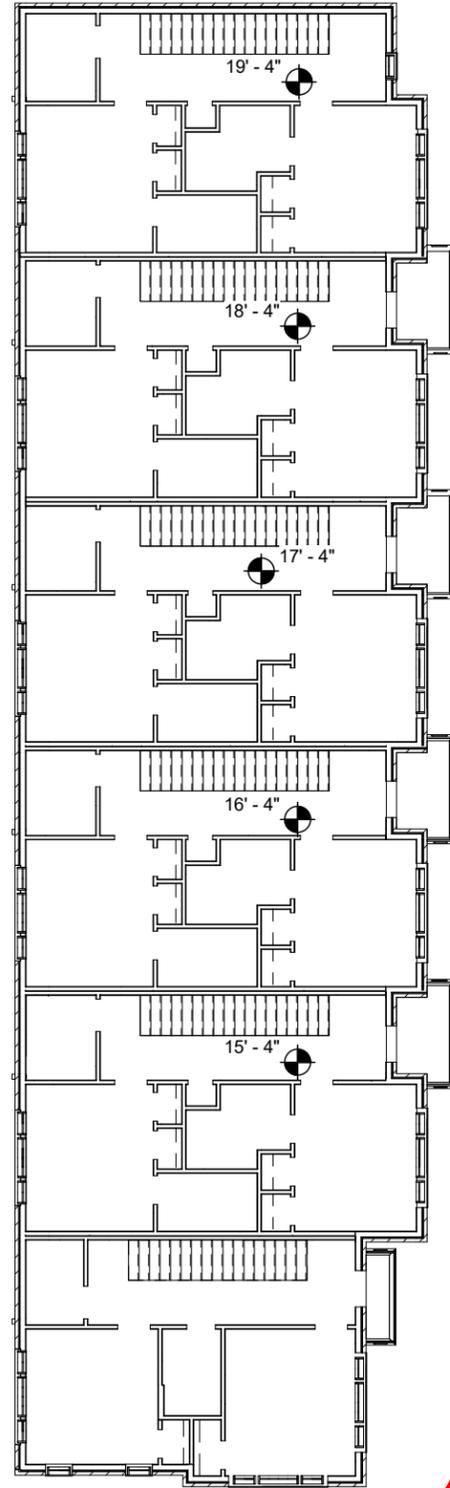
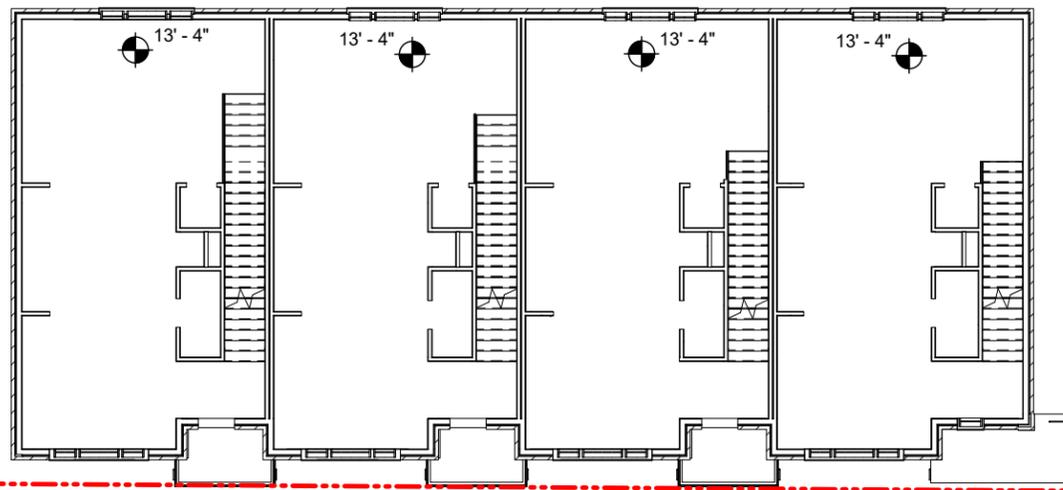
EDGEHILL AVENUE & VILLA PLACE
NASHVILLE, TENNESSEE 37212

DATE

04/25/19

SITE PLAN/FIRST
FLOOR PLAN

MHZZ.02



PROPERTY LINE

1 SECOND FLOOR PLAN
1/16" = 1'-0"

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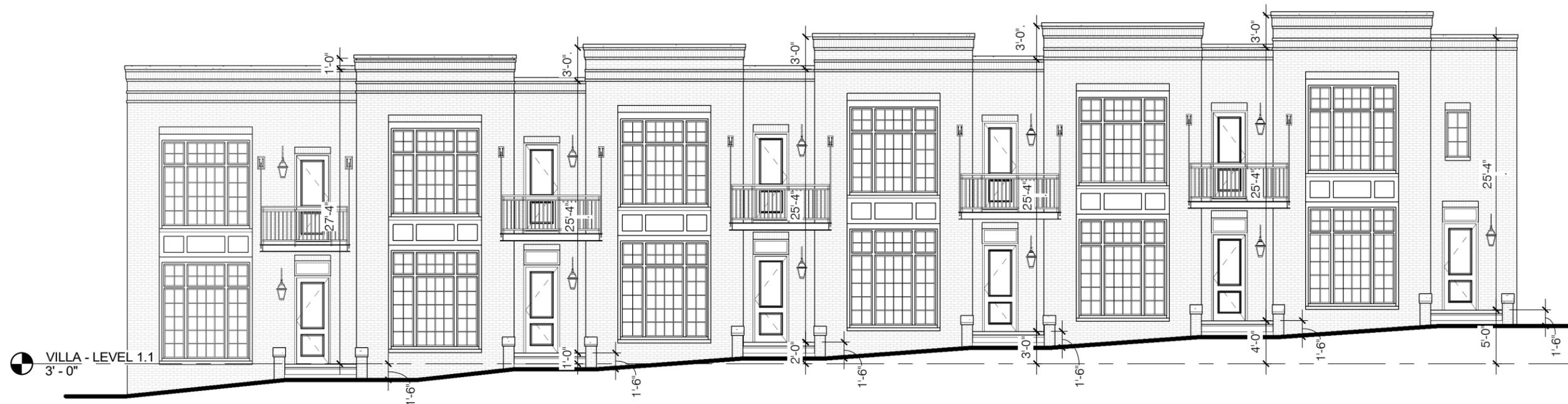
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SECOND FLOOR PLAN

MHZC.03



1 SOUTH ELEVATION - EDGEHILL AVENUE
3/32" = 1'-0"



2 EAST ELEVATION - VILLA PLACE
3/32" = 1'-0"



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METRO HISTORIC ZONING
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EDGEHILL VILLAGE TOWNHOMES

EDGEHILL AVENUE & VILLA PLACE
NASHVILLE, TENNESSEE 37212

DATE

04/25/19

ELEVATIONS

MHZC.04

EDGEHILL TOWNHOMES



1 INTERSECTION OF EDGEHILL AVENUE & VILLA PLACE

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DATE

04/24/19

PERSPECTIVE

MHZC.05