

DAVID BRILEY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

**STAFF RECOMMENDATION**  
**1417 Roberts Avenue**  
**June 19, 2019**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**Application:** Violation—Outbuilding/DADU  
**District:** Eastwood Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Base Zoning:** R6  
**Map and Parcel Number:** 08302008100  
**Applicant:** Manuel Zeitlin, Architect  
**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

**Description of Project:** The applicant is requesting to retain and complete the construction of a detached accessory dwelling unit that has deviated from plans approved by the MHZC in May of 2016. As built, the eaves and roof ridge of the outbuilding are taller than the corresponding heights of the house which does not meet the design guidelines nor 17.16.30.G, the DADU ordinance.

**Recommendation Summary:** Staff recommends disapproval of the application to retain and complete construction of the outbuilding with eaves and roof ridge height taller than the corresponding heights on the principal building and further recommends that the violation be corrected within sixty (60) days. Staff finds that the outbuilding/DADU, as built, does not meet Section II.B.2.h. of the design guidelines for the Eastwood Neighborhood Conservation Zoning Overlay. It also does not meet 17.16.30.G, the DADU ordinance.

**Attachments**  
**A:** Photograph  
**B:** Site Plan  
**C:** Elevations

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### II.B.2. GUIDELINES

#### h. Outbuildings

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

#### *Outbuildings: Height & Scale*

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

#### *Outbuildings: Character, Materials and Details*

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

#### *Outbuildings: Roof*

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

#### *Outbuildings: Windows and Doors*

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

#### *Outbuildings: Siding and Trim*

- *Brick, weatherboard, and board-and-batten are typical siding materials.*
- *Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or*

*smooth cement-fiberboard board-and-batten or masonry.*

- *Four inch (4" nominal) corner-boards are required at the face of each exposed corner.*
- *Stud wall lumber and embossed wood grain are prohibited.*
- *Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*
- *Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.*

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

*Setbacks & Site Requirements.*

- *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

***Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.***

- *The lot area on which a DADU is placed shall comply with Table 17.12.020A.*
- *The DADU may not exceed the maximums outlined previously for outbuildings.*
- *No additional accessory structure shall exceed two hundred square feet when there is a*
- *DADU on the lot.*

*Density.*

- *A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.*

*Ownership.*

- a. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.*
  - b. The DADU cannot be divided from the property ownership of the principal dwelling.*
- *The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.*
  - *Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.*

*Bulk and Massing.*

- *The living space of a DADU shall not exceed seven hundred square feet.*

**Background:** The building at 1417 Roberts Avenue is a one and one-half story Craftsman house, constructed circa 1930. An outbuilding with a Detached Accessory Dwelling Unit (DADU) component was approved by the MHZC in May of 2016.



Figure 1: 1417 Roberts Avenue

Because the approved outbuilding is to include a DADU component, the standards of Ordinance No. 17.16.030.G. for Detached Accessory Dwelling Units must be met in addition to the design guidelines for the Greenwood Neighborhood Conservation Zoning Overlay.

The standards and guidelines for one-story DADUs and other outbuildings permit a maximum eave height of ten feet (10') and a roof ridge height up to twenty-five feet (25'), with neither dimension exceeding the corresponding height on the principal building. Two-story outbuildings may have an eave height up to seventeen feet (17') with a roof ridge height up to twenty-five feet (25'), but those heights are still not permitted to exceed the corresponding heights of the principal building.

The outbuilding approved in 2016 is currently under construction. During a recent inspection it was discovered that the construction had deviated from the approved plans, with the eaves and roof height taller than the corresponding heights of the house.

**Analysis and Findings:** The applicant is proposing to retain and complete the outbuilding in its current size.

The DADU at 1417 Roberts Avenue was approved with an eave height of ten feet (10') and a ridge height of twenty one feet (21'). These heights equal the eave and roof ridge height of the house. The DADU has been constructed with an eave height of thirteen feet, ten inches (13'-10") and a roof ridge height of twenty-three feet, seven inches (23'-7").

As constructed, the outbuilding does not meet Section II.B.2.h of the design guidelines or the standards for bulk and massing of Detached Accessory Dwelling Units in Section 17.16.030.G of the Metro Code.

**Recommendation:** Staff recommends disapproval of the application to retain and complete construction of the outbuilding with eaves and roof ridge height taller than the corresponding heights on the principal building and further recommends that the violation be corrected within sixty (60) days. Staff finds that the outbuilding/DADU, as built, does not meet Section II.B.2.h. of the design guidelines for the Eastwood Neighborhood Conservation Zoning Overlay. It also does not meet 17.16.30.G, the DADU ordinance.

**ATTACHMENT A: PHOTOGRAPHS**



1417 Roberts Avenue, front.



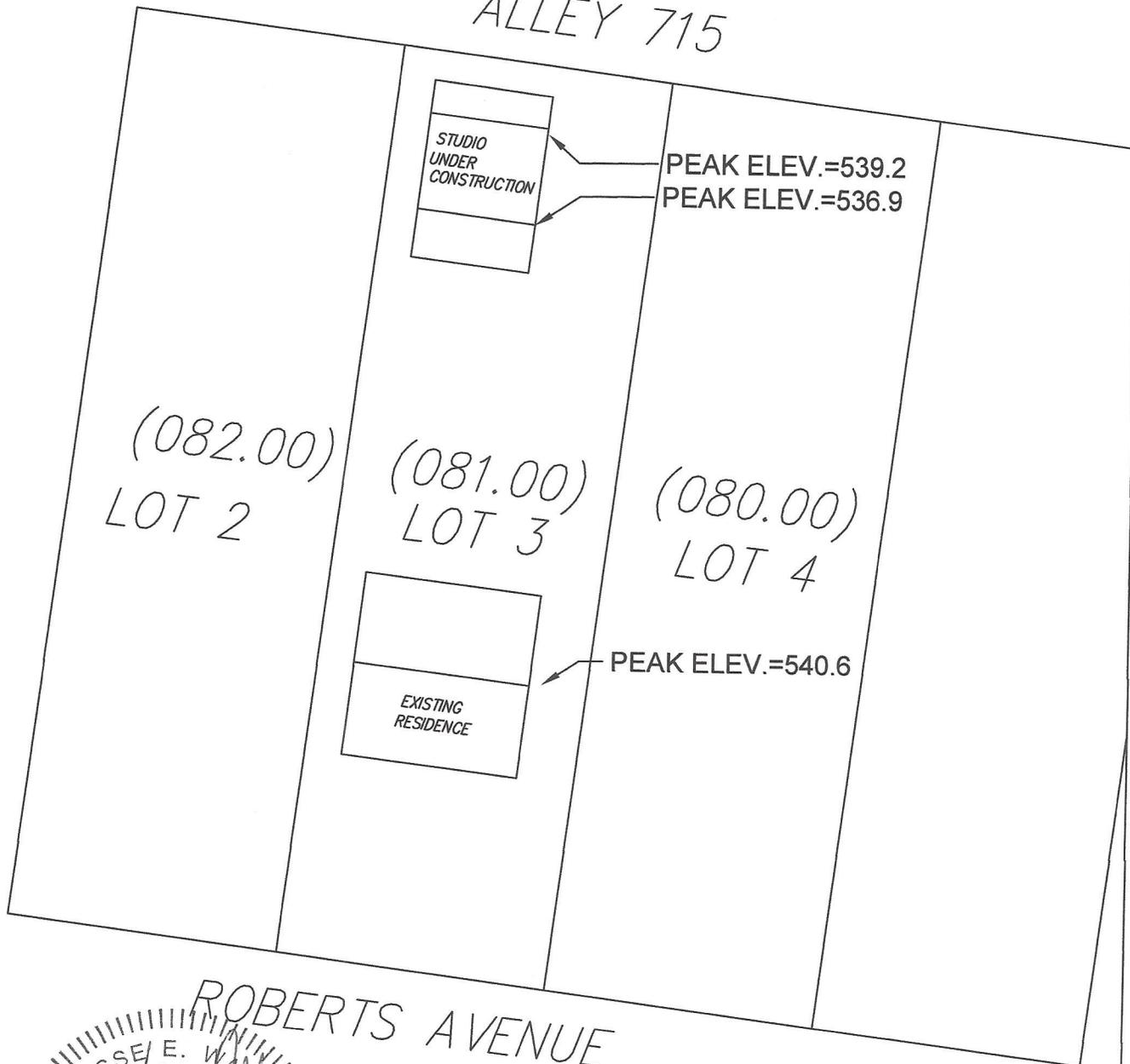
Outbuilding under construction at 1417 Roberts Avenue, right side, viewed from alley.



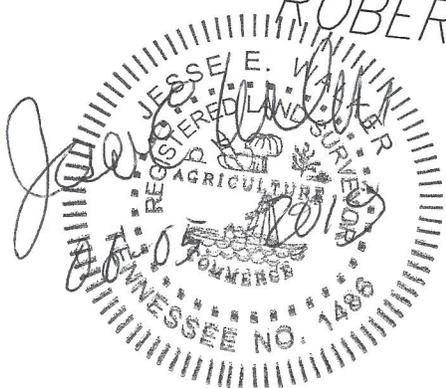
Outbuilding under construction at 1417 Roberts Avenue, left side, viewed from alley.



ALLEY 715



ROBERTS AVENUE



ROOF ELEVATION EXHIBIT  
 1417 ROBERTS AVENUE  
 FOR JAMES P. ABEGG  
 MAP 083-02, PARCEL 081.00  
 DEED BOOK 9053, PAGE 478  
 LOT 3 SHARPE & HORN'S SUBDIVISION OF ELWOOD PLACE  
 PLAN BOOK 332, PAGE 018  
 NASHVILLE SIXTH COUNCILMANIC DISTRICT  
 CITY OF NASHVILLE  
 DAVIDSON COUNTY, TENNESSEE

# JESSE WALKER ENGINEERING

Professional Survey & Engineering Services

P.O.Box 210456, Nashville, TN 37221-0456

Phone: (615) 646-8228 Fax: (615) 646-8828

Website: [www.jesse-walker.com](http://www.jesse-walker.com)

DATE: 06-05-2019

SCALE: 1"=30'

JOB: 19176

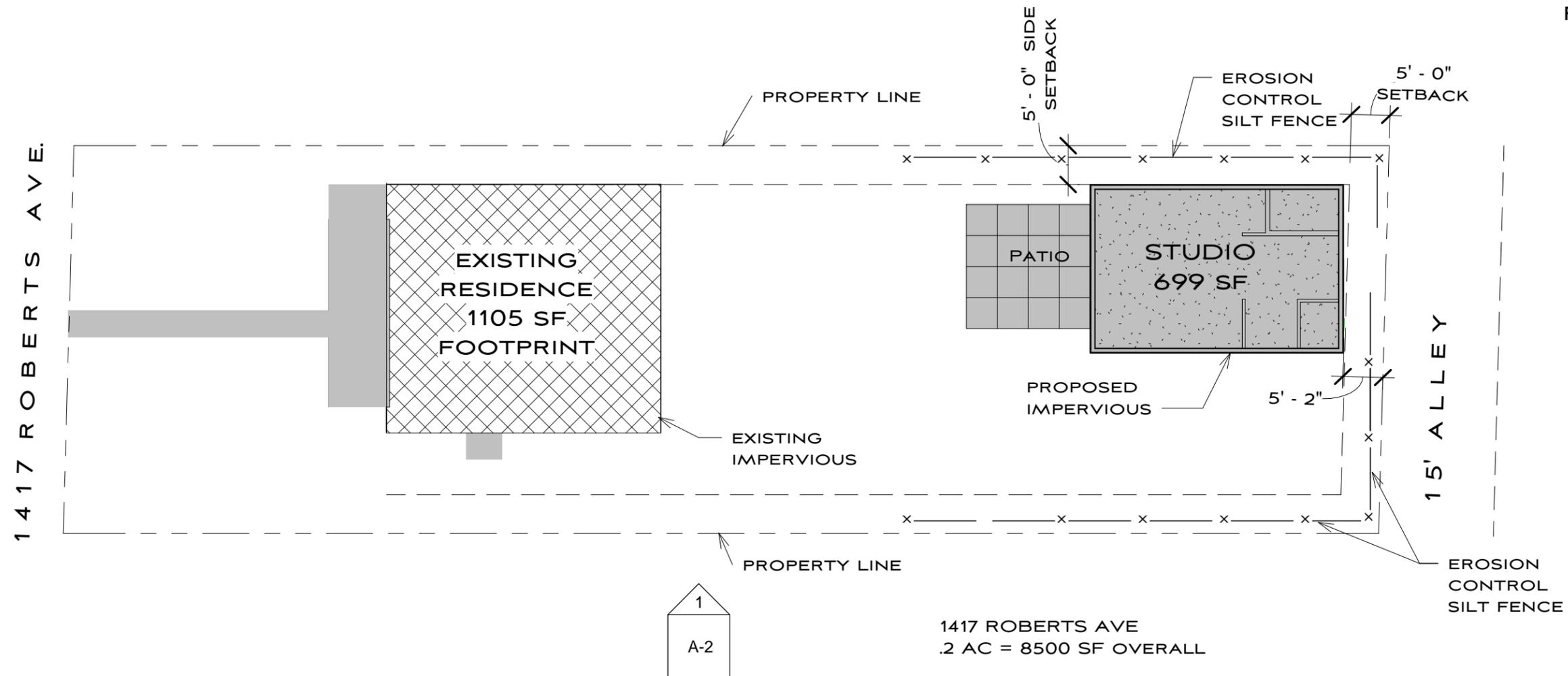
ZONING: R6

OV-NHC AND UZO



INDEX

- A-1 SITE PLAN
- A-2 ELEVATION - ROOF  
PROPOSED & AS-BUILT



1417 ROBERTS AVE  
.2 AC = 8500 SF OVERALL

8500 SF X .30% = 2550 SF ALLOWED IMPERVIOUS

EXISTING IMPERVIOUS = 1485 SF  
PROPOSED IMPERVIOUS = 968 SF

TOTAL IMPERVIOUS = 2453 SF

① Site Plan - 1417 Roberts Ave  
1/16" = 1'-0"



SITE PLAN  
**ABEGG STUDIO**  
1414 ROBERTS AVENUE

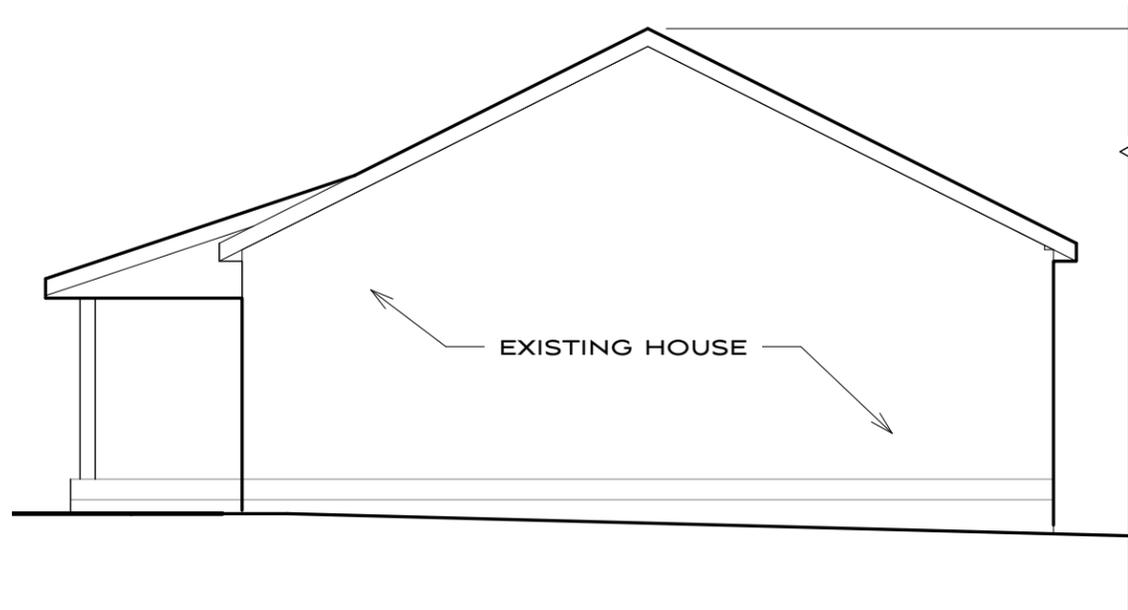
MANUEL ZEITLIN ARCHITECTS, LLC



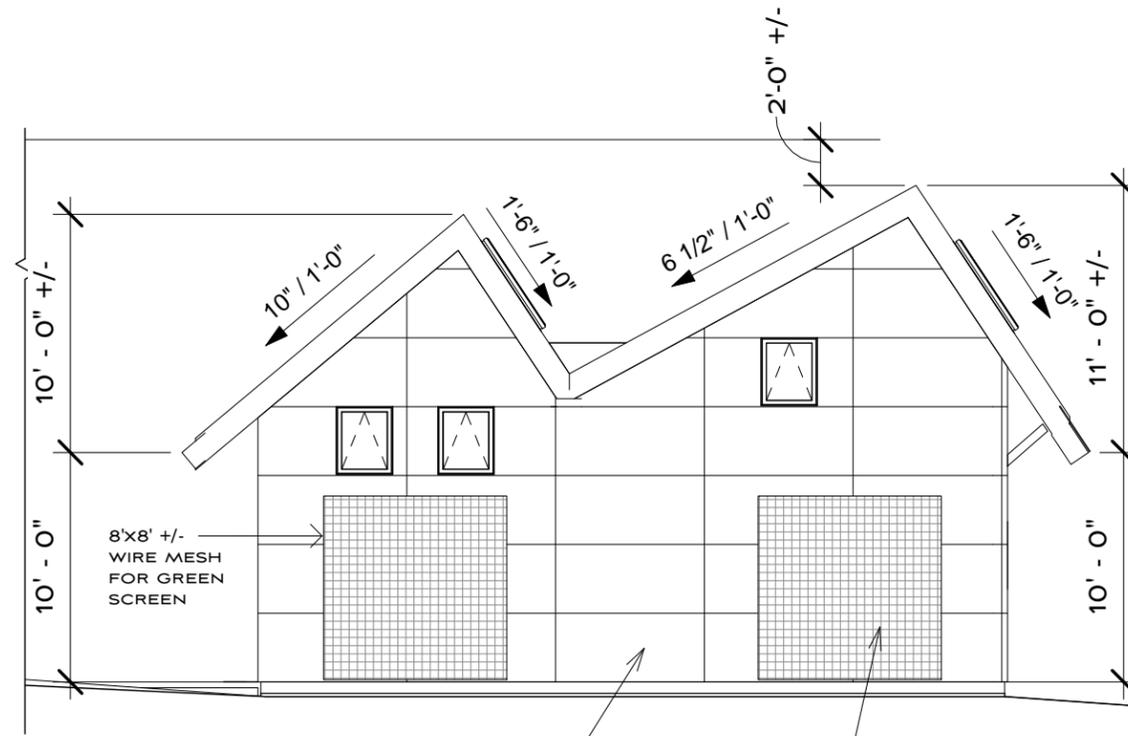
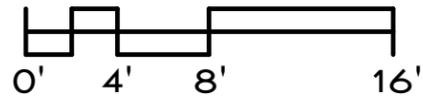
TEL 615 256.2880

516 HAGAN ST. STE 100 NASHVILLE, TN 37203

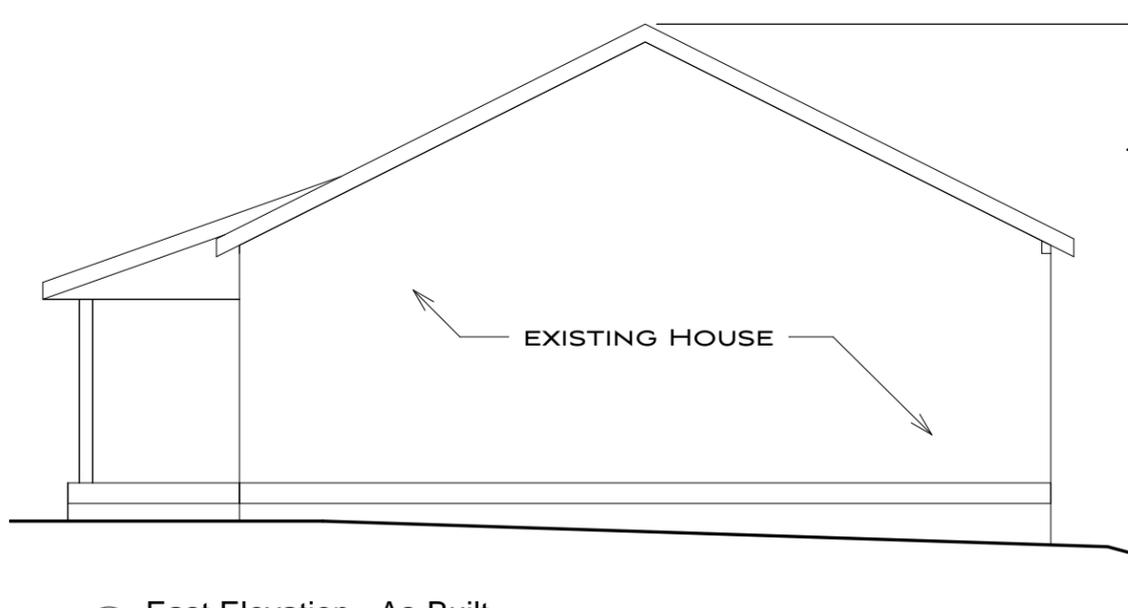
**A-1**  
PROPOSED  
STUDIO



1 East Elevation - Original Proposed  
1/8" = 1'-0"



8'x8' +/- WIRE MESH FOR GREEN SCREEN  
 3'-0" X 6'-6" +/- HARDI-PANEL W/EASY TRIM REVEALS 2'X6' HORIZ. GRID  
 8'x8' +/- WIRE MESH FOR GREEN SCREEN



2 East Elevation - As-Built  
1/8" = 1'-0"

